



# Main Street

## PROGRAM GUIDELINES AND REQUIREMENTS

### November 2020

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In partnership with:



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## Introduction and Project Goals

Houston is an internationally-known culinary and entertainment destination. Our restaurants and bars contribute to our identity, while significantly adding to our economy. The City of Houston is working hard to support these businesses during the stressful times of COVID-19, identifying options to convert unutilized vehicle space into active space for people through the More Space program.

**More Space: Main Street** focuses on the businesses along Main Street in downtown Houston, continuing the program goals of supporting our businesses, while also re-energizing Main Street as an interesting and vibrant corridor. With an urban form unique to Houston, Main Street offers opportunities to continue the City’s More Space program. Features such as businesses at the sidewalk level, METRO’s Light Rail bisecting the street, and no dedicated off-street parking set Main Street apart from other areas of the city and require a tailored approach. This effort is a partnership between the City of Houston, Downtown District, and METRO.

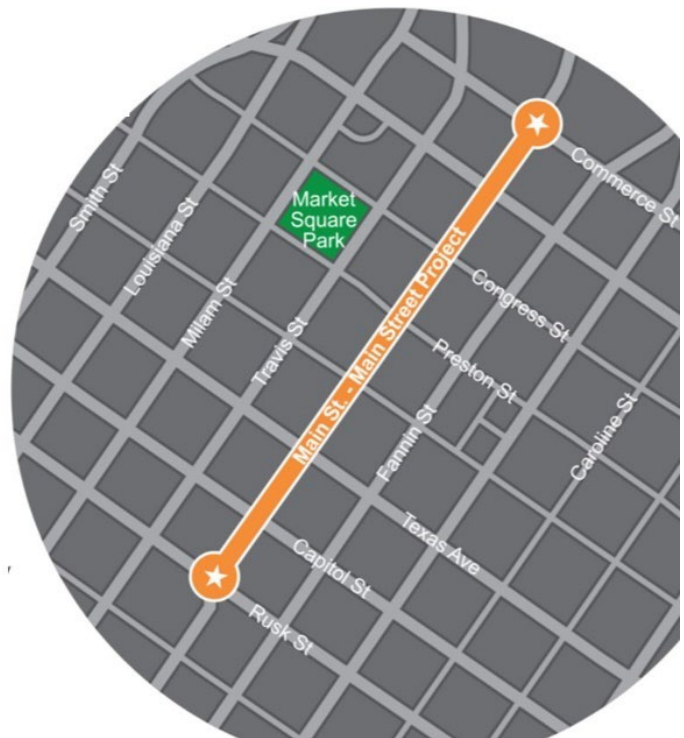
This Program Guidelines document provides guidance for Main Street business owners to participate in the program (for this program, a business is defined as a bar or restaurant). Any questions about this program should be directed to the City of Houston’s Planning & Development Department at (832) 393-6660 and [morespace@houston.tx.gov](mailto:morespace@houston.tx.gov).

The More Space: Main Street program is scheduled to extend until March 31, 2022.

On February 2, 2022, The City of Houston Council voted and passed to extend the program through March 31, 2023 or the end of all City-adopted COVID directives, whichever is later.

## Eligibility and Location

The More Space: Main Street program will close portions of Main Street from Commerce Street to Rusk Street to vehicles. Any restaurants or bars that fronts Main Street on these blocks may apply to use that reclaimed space as an outdoor dining area to serve



customers.<sup>1</sup> Through these Program Guidelines, that space will be known as “More Space Area.” Properties with different businesses on multiple floors must share the More Space Area available to them. Sidewalks will continue to provide space for walking along Main Street. Review of applications will balance the goals of the program with public safety and access for public safety responders.

## General Operations

All businesses participating in the More Space: Main Street program must fulfill these requirements:

- In general, this program follows the application information, insurance requirements, and review process of the City of Houston Sidewalk Café Ordinance, Sec. 40—10.1 of the Code of Ordinances of the City of Houston, with some modifications to accommodate the unique nature of this location. These modifications were approved by City Council by Ordinance No. 2020-896, effective November 18, 2020.
- Submit the program application and receive approval from the City of Houston Planning and Development Department, following review by the Planning and Development Department, Houston Fire Department, and Houston Public Works.
- Obtain the appropriate Texas Alcoholic Beverage Commission (TABC) permit: <https://bit.ly/2GmkZMS>.
- Obtain material for and establish a four-sided enclosure for the More Space Area that will be staged with patio furniture.
- Maintain a clear path of travel for pedestrians along the Main Street sidewalk with the same clear space as provided prior to the application for pedestrian flow including customer queuing.
- Maintain clear access to public utilities, fire hydrants, standpipes, and building entrances, per Fire Code. The Chief of the Houston Fire Department may modify applications for public safety needs.
- Maintain all More Space Area physical components and keep it clean of trash and debris.
- Adhere to Americans with Disabilities Act (ADA) requirements.
- Each business approved to participate in the More Space: Main Street Program is responsible for maintenance of their approved More Space Area, and removal of all trash.
- Conclude food and beverage service and close all food and beverage service within the More Space Area at the close of business.
- Store and/or lock down outdoor furniture and patio accessories during off-hours, at the close of business.
- Train staff on procedures for serving in the new extended area, including stepping between levels, if applicable.
- Participation does not allow for any additional amplification beyond what has been previously approved for the site.
- No heating, cooking, open flames, food preparation, or food storage allowed in the More Space Area.
- Any businesses participating in the More Space: Main Street program must ensure the inside Tenant Space Occupant Load (OL) of the lease space is not exceeded for their design occupant load and egress system (per Houston Construction Code Chapter 10, Section 1004.1 and Chapter 29).

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<sup>1</sup> When those businesses are allowed to operate per State and City protocols, including COVID-19 operating and social distancing restrictions.



## Components

### Space Allotments

- For the More Space: Main Street Program, a “business” is defined as a bar or restaurant.
  - A business may use the space equivalent to their frontage, subject to space needed for emergency access.
  - A business may extend beyond their frontage, provided the adjacent businesses does not want that space and provided that space is not required for emergency access (see *Figure 1* through *Figure 7* for space available on each block).
  - Businesses may also cooperatively agree to share space (subject to any TABC restrictions).
  - All businesses are encouraged to apply for only the amount of space they can actively use. Expanding or contracting later will require submission of an updated application.
- **IMPORTANT NOTE:** A business that is allocated space must acknowledge in the application their confirmation that the space allocation will be determined during the application process based on public safety needs in the vicinity, whether neighboring businesses are also applying for the use of space in the same blockface, in which case the original business may be required to reduce their allocated More Space Area. Finally, all applicants acknowledge and accept that the allocated More Space Area may be modified at any time for public safety, or the public convenience and necessity.

Figure 1: Space Available: Commerce Street to Franklin Street

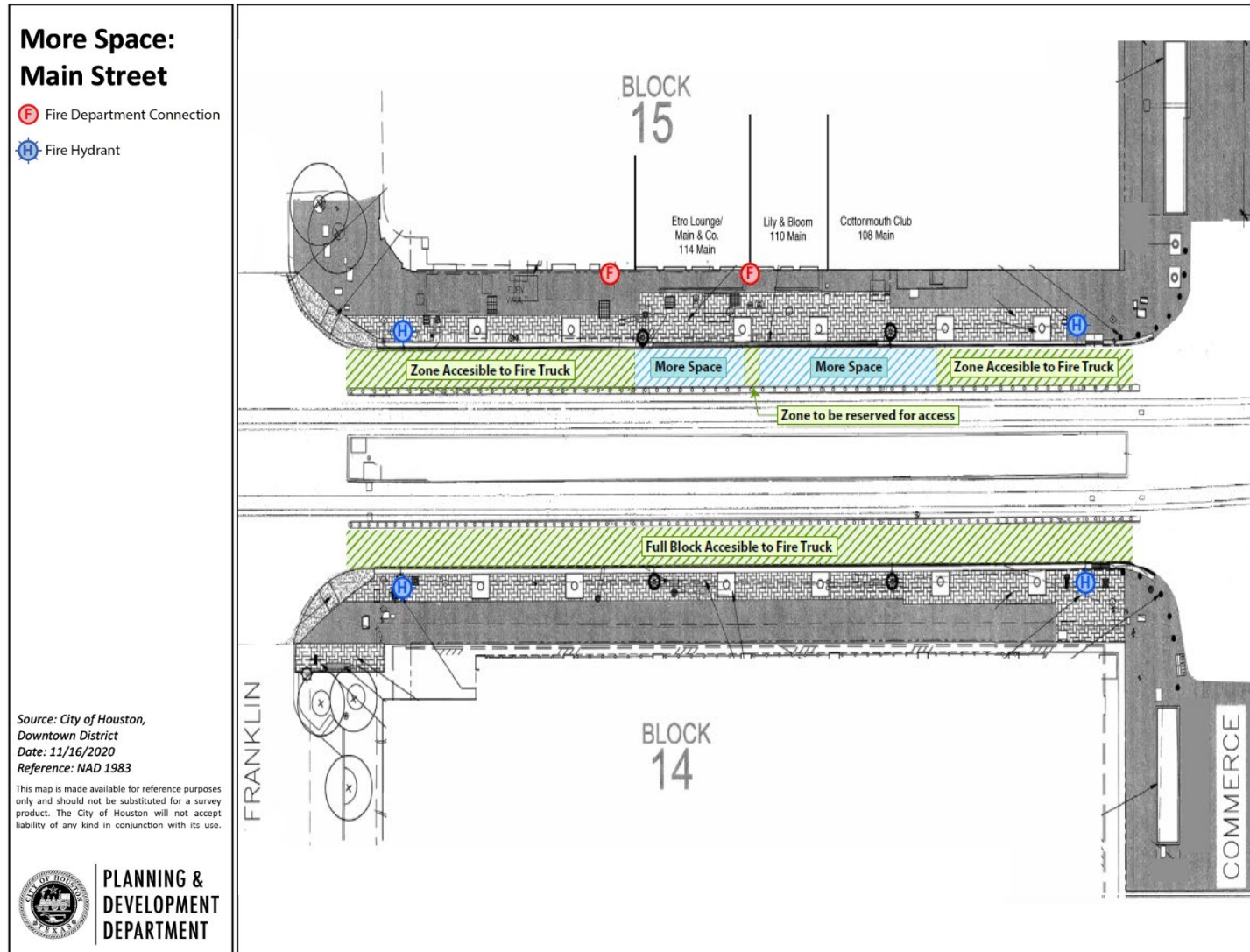


Figure 2: Space Available: Franklin Street to Congress Street

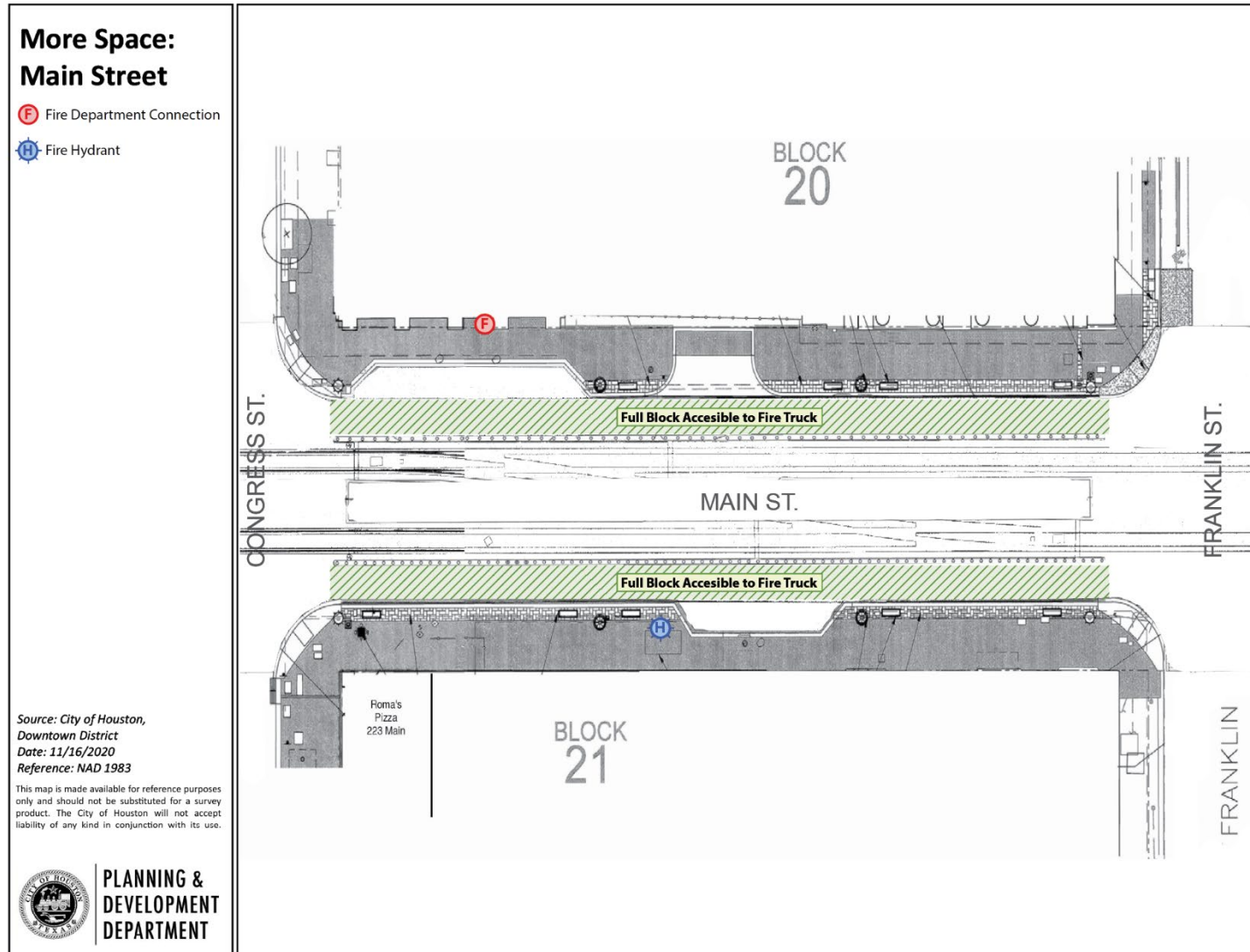




Figure 3: Space Available: Congress Street to Preston Street

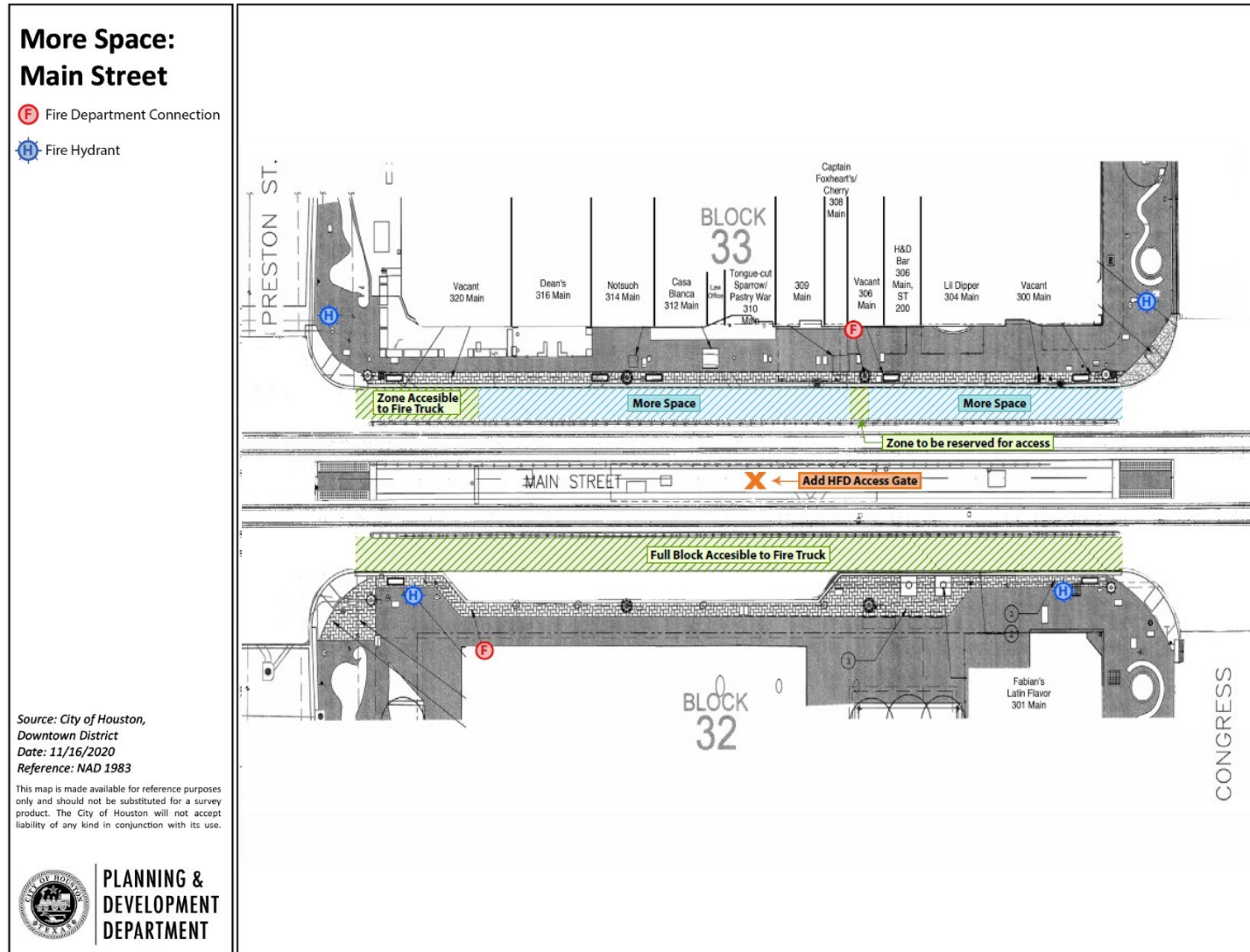


Figure 4: Space Available: Preston Street to Prairie Street

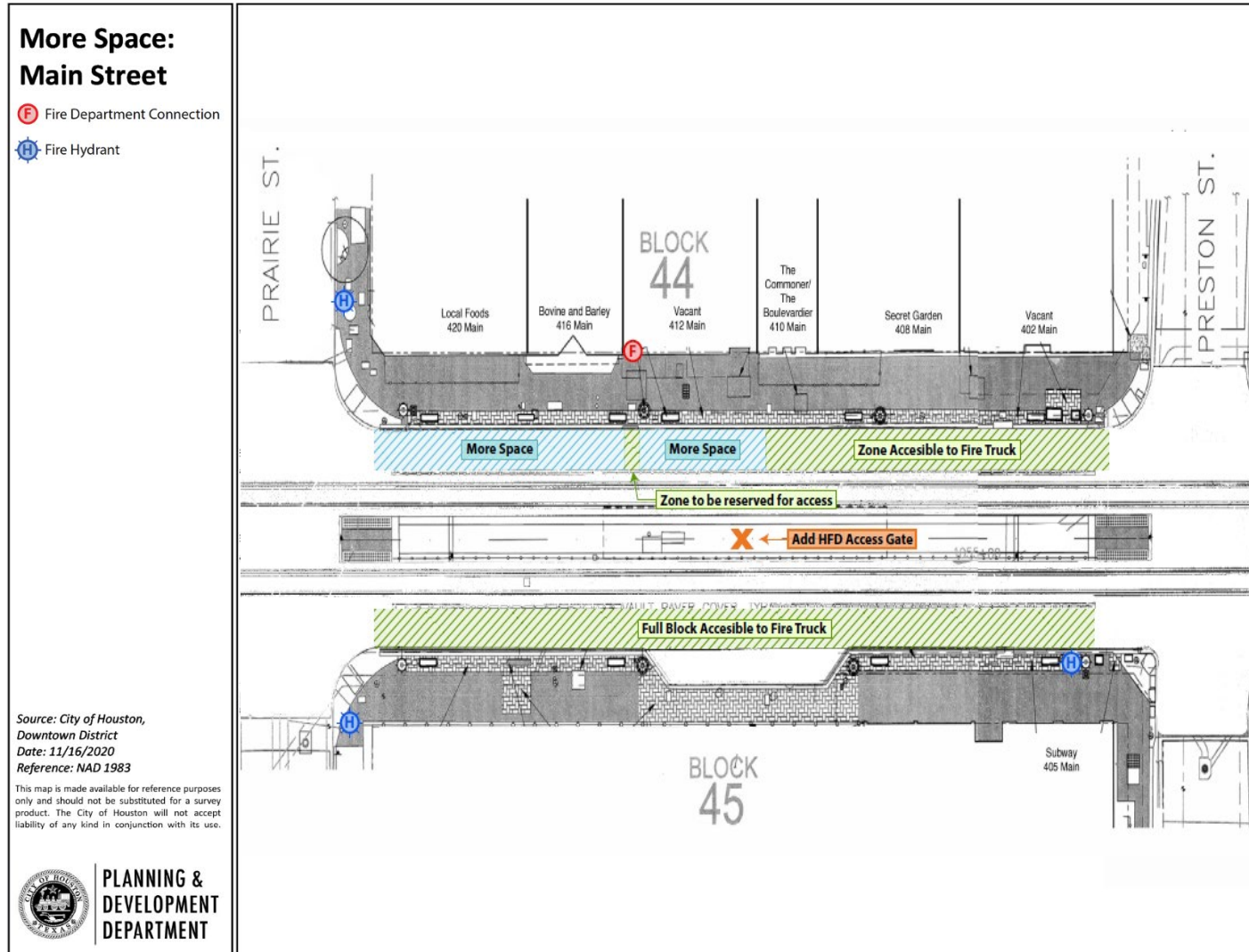


Figure 5: Space Available: Prairie Street to Texas Street

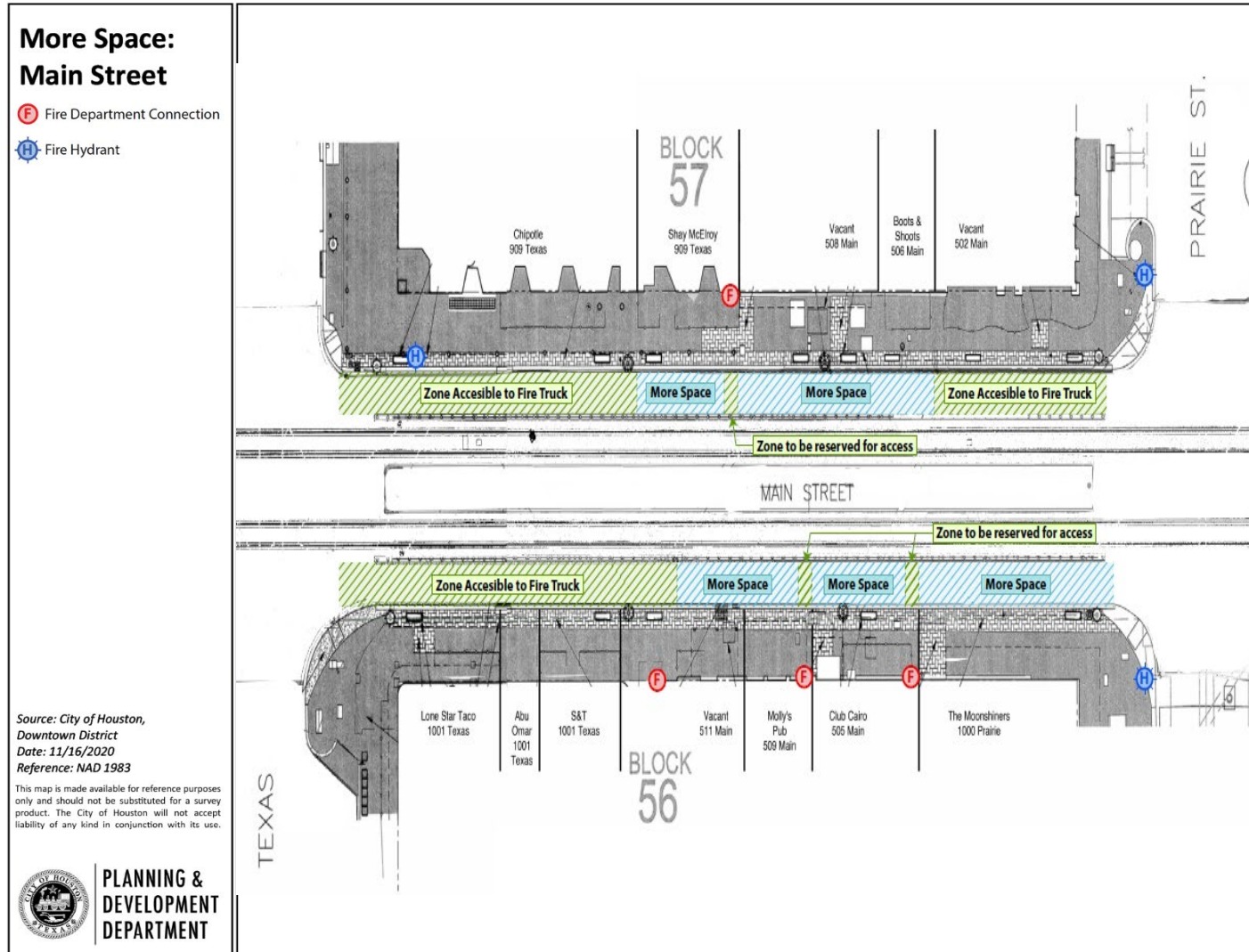


Figure 6: Space Available: Texas Street to Capitol Street

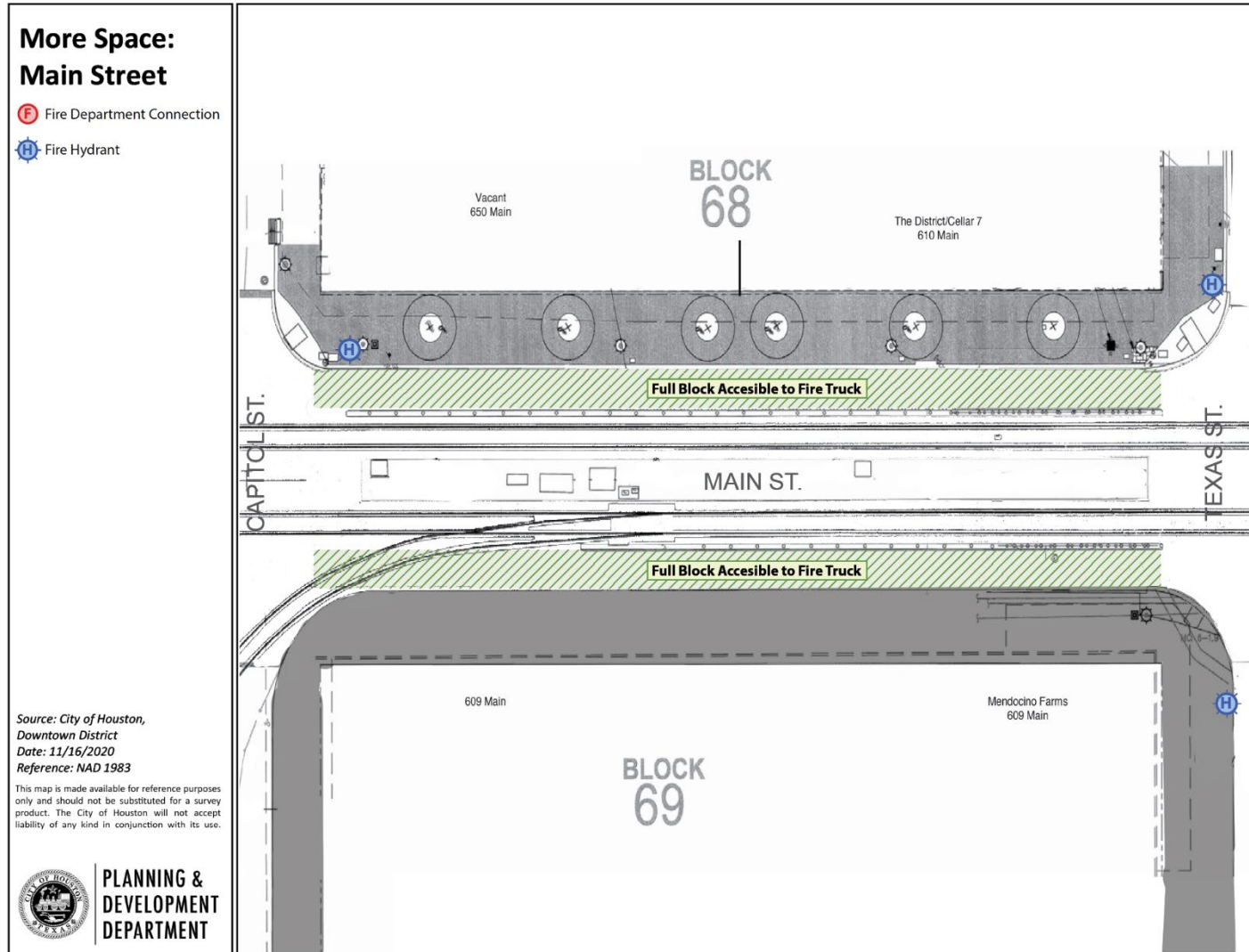
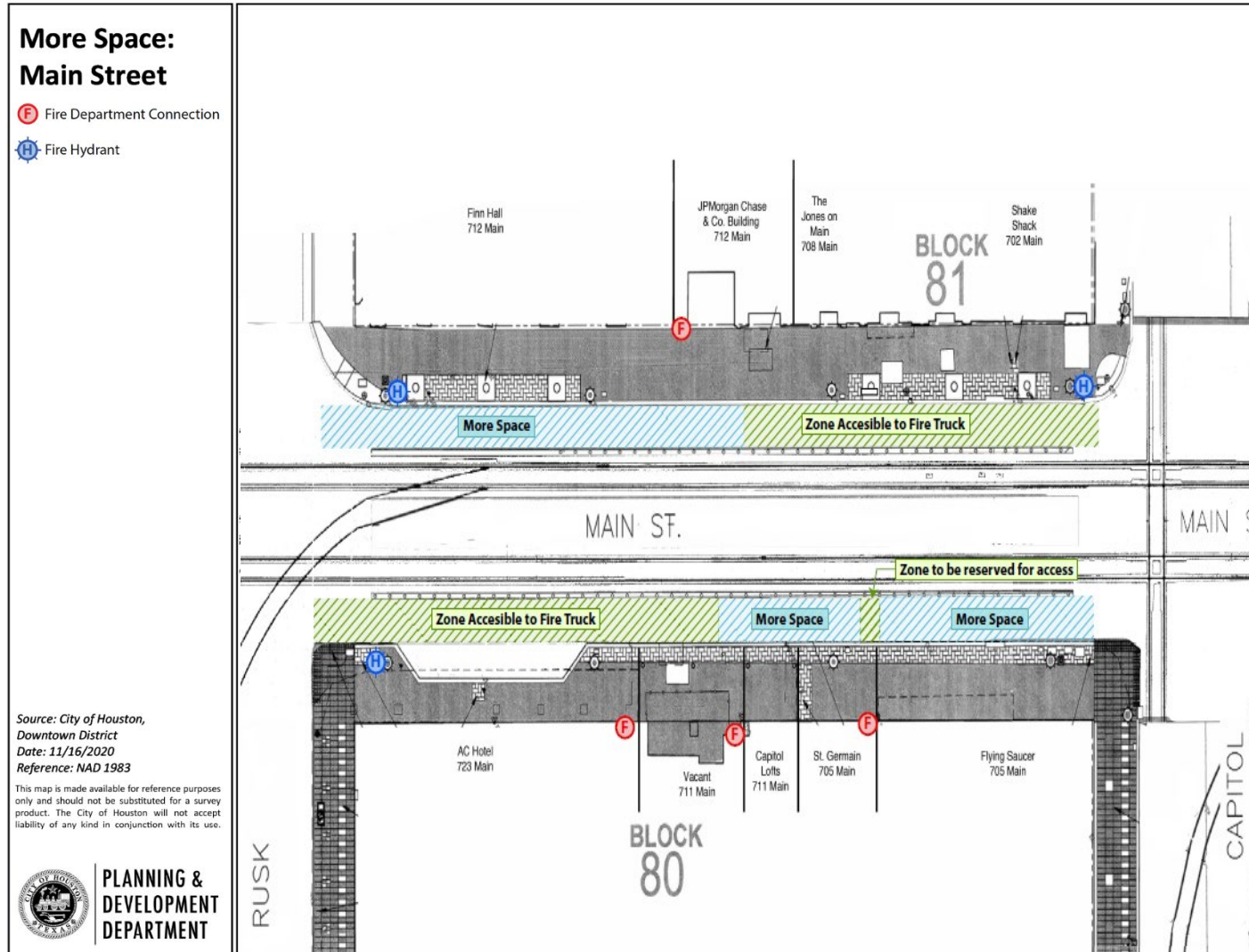


Figure 7: Space Available: Capitol Street to Rusk Street



### Perimeter Fencing

- The perimeter of each More Space Area must be enclosed on all four sides with the exception of a patio entrance(s).
- Perimeter fencing must provide at least 18" clearance from METRO-delineated right-of-way (see Figure 8 and Figure 9).
- Material and design of perimeter fencing must be fabricated wood or metal or a combination of the two. Planter boxes may be incorporated into the design.
- The minimum design loads of all proposed perimeter fencing must meet or exceed the Houston Construction Code provisions of Section 1607.8 for guards and resist a load of 50 pounds per linear foot and a concentrated load of 200 pounds applied in any direction.
- Perimeter fencing must have a minimum 5' entrance. Aside from this entrance, there should be no opening in the perimeter fencing that will allow the passage of a 4" diameter sphere.
- Perimeter fencing around each More Space Area must adhere to the following dimensions and placement:
  - Be designed with guards, as specified in the Houston Construction Code Section 1013 having a minimum height of 42-inches from the top of the highest adjacent street or platform to the top of the fencing or guard;
  - Have flat and tapered edges that are between  $\frac{1}{4}$  and  $\frac{1}{2}$  inch thick, with no sharp edges;
  - Use 8-10" Hilti-brand anchors through pavers into the concrete subslab (to provide sufficient anchoring of the perimeter fencing to the roadway to meet the above minimum design loads); and
  - Be designed to prohibit people from sitting on the fencing.

Figure 8: Perimeter clearance from METRO right-of-way (street)



Image Credit: Downtown District

Figure 9: Perimeter clearance from METRO right-of-way (platform)



Image Credit: Downtown District

Figure 10: Examples of perimeter fencing



Image Credit: METRO



Image Credit: National Association of City Transportation Officials

Ramps

All participants must accommodate ADA access through one of the following options:

- Use existing sidewalk corner ADA ramp(s) where More Space Area will be directly proximate to the bottom of the existing ramp;
- Place a shared ramp located in an inactive portion of the roadway that can be shared by one or more businesses (note: neighboring businesses may share a ramp if ramp base is within 20' of each More Space Area);
- Provide an ADA access ramp to the More Space Area;
- Install a level platform across the More Space Area, so no ramps will be needed;
- If after coordinating and evaluating all options, the business, the Mayor’s Office of Persons with Disabilities, and City of Houston Planning & Development cannot identify a reasonable option, the business may be granted an exemption to provide ADA access to the More Space Area.
- Ramps must adhere to the following specifications (see Figure 11 and Figure 12):
  - Maximum slope of 1:10;
  - Minimum width of 48 inches with detectable edging of 2 inches minimum height;
  - Landing area at top of 48 inches x 48 inches with detectable edging of 6 inches minimum height;
  - Non-slip protection;
  - Minimum width of 12 inches between the ramp and the gutter to maintain drainage;
- Ramps must be securely attached to the concrete sub-slab to prevent their displacement by winds or flooding, per Chapter 16 of the Houston Construction Code;
- Ramps may not restrict access to manholes, valve boxes, standpipes, fire hydrants or water supply outlets, any meters, or any public utilities. This includes either clear access at all times or an immediately accessible hatch with signage; and
- Understand there is a risk of destruction if emergency access is necessary; emergency vehicles may drive over the ramps if required.

Figure 11: Ramp Parallel to Curb

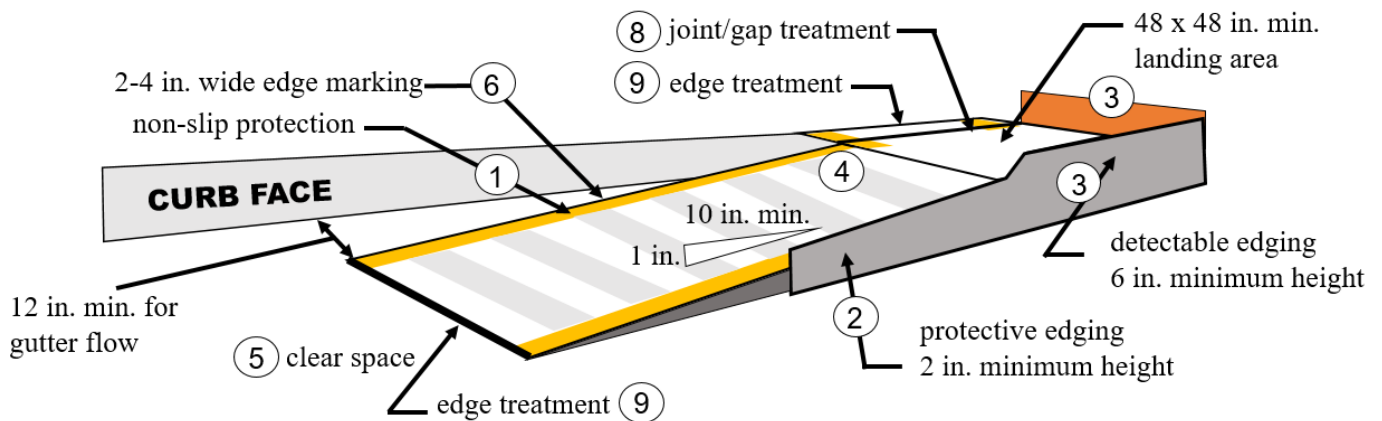
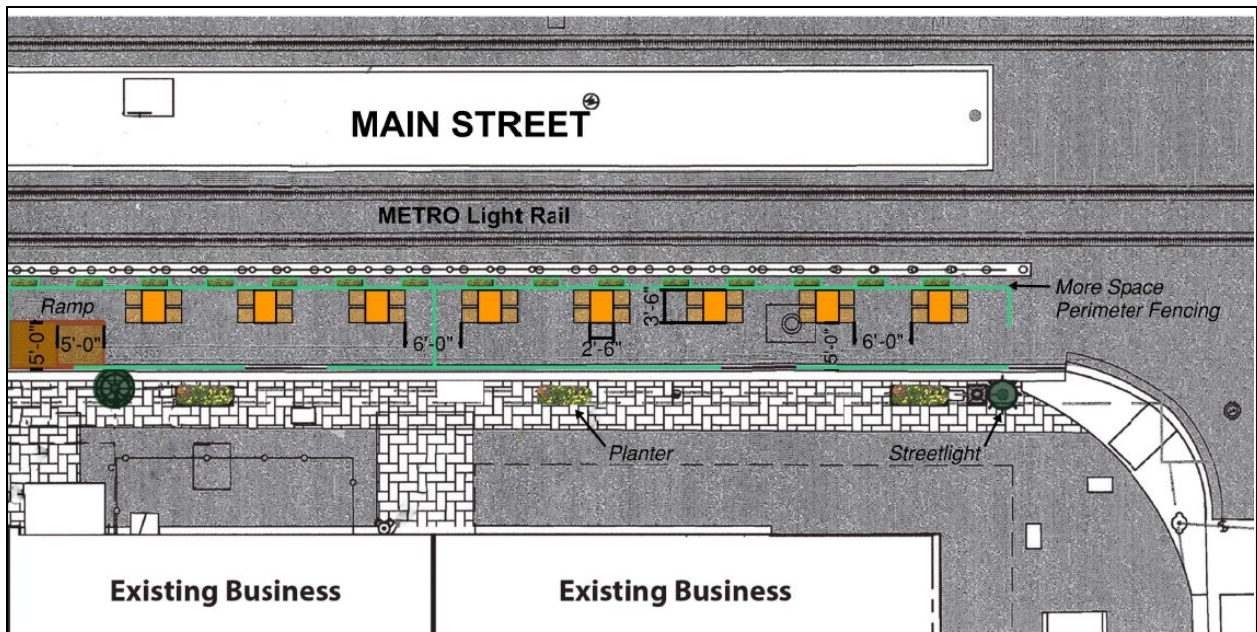
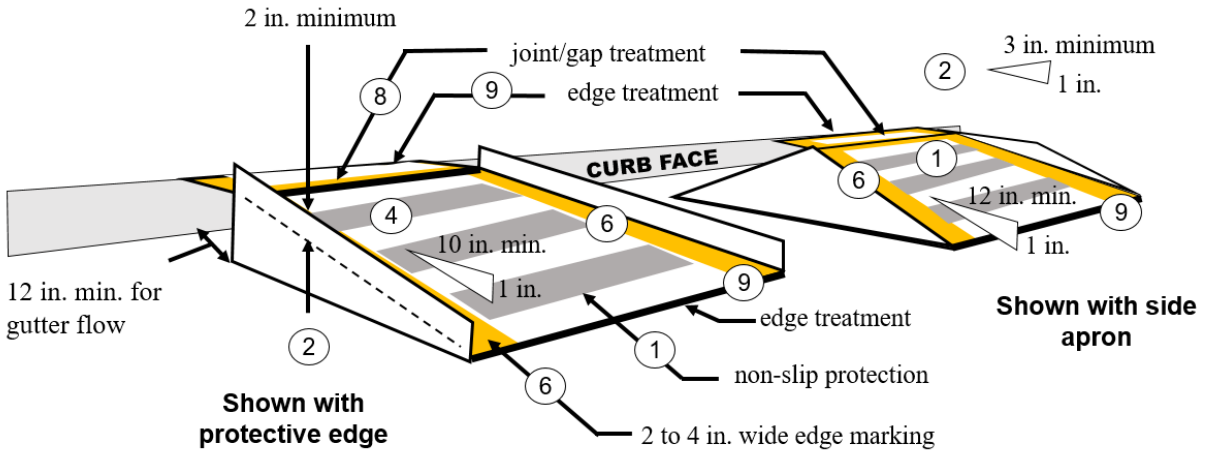




Figure 12: Ramp Perpendicular to Curb



## Platforms

A business may install a platform covering the same space as described in the Space Allotments section. Material options for platforms are presented in Figure 17.

Platforms must adhere to the following specifications:

- Platforms must be designed to comply with the prescriptive design requirements for (assembly) platforms with a minimum uniform distributed live load of 100 (psf) as required by Table 1607.1 and Section 1607.1 of the Houston Construction Code.
- The platform design must accommodate storm water runoff in the roadway at the curb and along street gutters sufficient to address a storm rainfall rate of 8-inch per hour for the area served (Section 1101.11.1 of the Houston Plumbing Code).
- Wood framing used for platform construction that will be located within 18-inches of the ground or in contact with the ground, masonry, or concrete must be constructed using preservative-treated materials (in accordance with the provisions of Sections 1807.1.4 and 2304.11). It is imperative that preservative-treated wood platform joists maintain appropriate clearance along all curbs to allow for storm water runoff sufficient to accommodate the area served as required by the Office of City Engineer to prevent street and building flooding and displacement of platforms and ramps. (Chapter 16, 18 and 23 of the Houston Construction Code. Chapter 11 of the Houston Plumbing Code.)
- No more than a 1/4-inch gap is allowed between planks of platform.
- Platforms must be flush with curb to facilitate ADA-access and to eliminate tripping hazards.
- Platforms must adhere to enclosure Perimeter Fencing specifications.
- Platforms may not restrict access to manholes, valve boxes, standpipes, fire hydrants or water supply outlets, any meters, or any public utilities. This includes either clear access at all times or an immediately accessible hatch with signage.
- Texas engineer designed and sealed plans for all platforms and fencing must be submitted to BCE for structural plan review and approval by Houston Public Works.
- Understand there is a risk of destruction if emergency access is necessary; emergency vehicles may drive over the platforms if required.

Figure 14: Platform (example)



Figure 15: Platform (schematic)

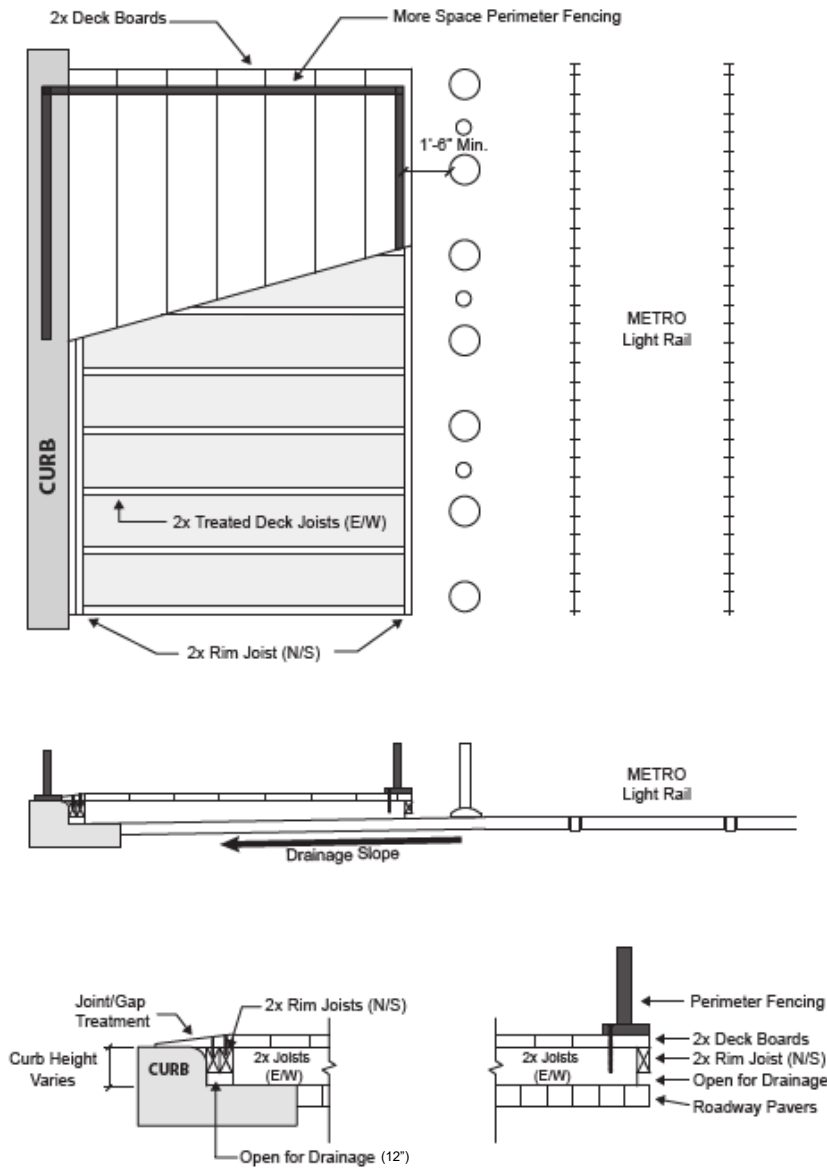
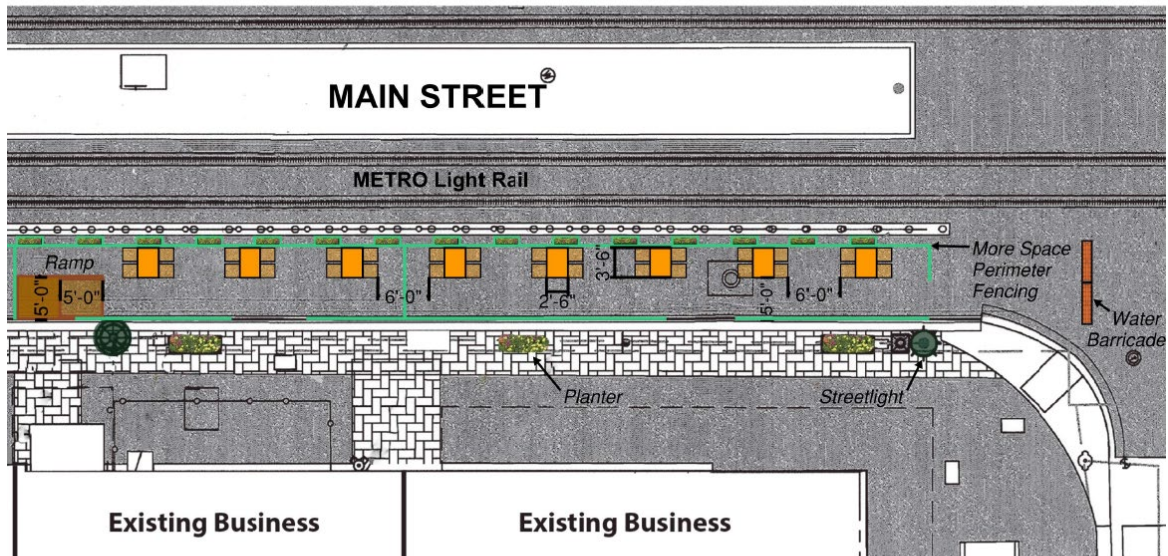


Figure 16: More Space Area at Platform Level



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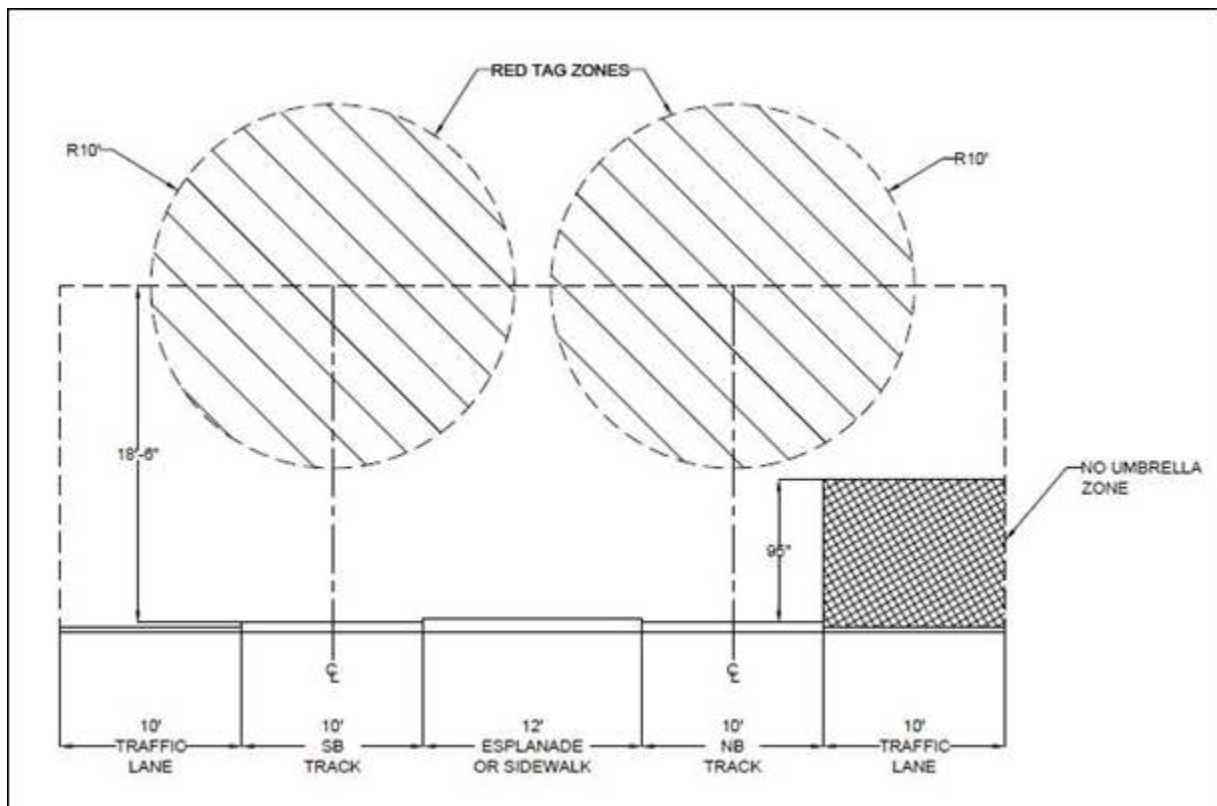
Wood Frames	Steel Frame
<p>A wood-frame deck support system is framed similarly to a floor: pressure-treated wood or plastic lumber members spaced at regular intervals act as joists that support the wood or plastic lumber decking above. A wood-frame system can be completely site built or prefabricated in modules that are fastened to one another in the field. To maintain drainage and allow for a level deck, a wood frame is lifted off of the street surface using point supports. The design shall maintain a minimum of 12" of clear space along the gutter line for drainage, unless calculations during permitting establish that more clear space is required, while the top of platform should remain flush with the top of the curb.</p>	<p>A steel-frame deck support system uses the strength of steel to span between the curb and an adjustable point support at the street edge of the More Space area; no intermediary supports are required. Comprised of four by six-foot modules, a steel frame is fabricated off-site; the modules are then connected to one another in the field. A minimal amount of material is required for a steel frame, but a registered Houston-approved fabricator is required for the fabrication of the modules. The design shall maintain 12" of clear space along the gutter line for drainage while the top of platform should remain flush with the top of the curb.</p>

<sup>2</sup> Los Angeles Department of Transportation, *Kit of Parts for Parklets*

Furniture and Umbrellas

- Material and design of furniture must be specific for outdoor use. A high level of quality is encouraged to maintain the unique character of Main Street.
- Moveable furniture (tables, chairs, etc.) must be secured or stored off-street when not in use.
- No tents or canopies are allowed in the More Space Area.
- Umbrellas are allowed in the More Space Area provided they adhere to the following dimensions and placements (see *Figure 18*):
  - The umbrella must be placed and kept outside of the safety zone surrounding METRORail’s energized wires (indicated as “Red Tag Zones” in *Figure 18* below).
  - The bottom of the umbrella canopy must be no lower than 95” above the top of the adjacent light rail tracks.
  - Umbrellas must be anchored by a base weighing 10 pounds for every 1 foot of canopy width (e.g. a 9-foot umbrella needs a 90-pound base).

Figure 18: Umbrella Placement Specifications



Signs and Traffic or Pedestrian Devices

All signage and traffic or pedestrian devices must conform to the Sign Ordinance of the City of Houston, and all traffic device regulations of Houston Public Works or Texas Department of Transportation Sign Manual.

## Application, Insurance, Indemnification, and Fees

The information required for submission in the More Space: Main Street application is provided below. The application can be downloaded from the project's website at <http://houstontx.gov/planning/MoreSpace.html>. There is no application fee to participate in the More Space: Main Street Program.

The application requires submission of the following information.

- The name and street address of the applicant.
- The name and street address of the owner of the abutting property and the owner of the abutting business.
- A color photograph of the existing business location and neighboring business.
- Written authority in the form of a power of attorney from the owner to submit the application if the applicant is not the owner of the abutting property.
- The name under which the business operates.
- The street address and the city food establishment license number of the business.
- Schematic layout and plan of the proposed More Space Area boundaries, design/materials, furnishings and umbrellas, measurements, and ADA access.
- The seating capacity of the interior business, the sidewalk café (if applicable) and the More Space Area. Capacity should be provided based on approved permits (not specific to COVID-19 limitations)
- A copy or copies of the certificate or certificates of insurance required (previously required as part of business license):
  - \$1 million combined single limit for bodily injury and property damage for each occurrence;
  - \$2 million annual aggregate; and
  - City of Houston, Downtown District, and METRO all as additional insured.
- A copy of the TABC permit, if applicable.

## Insurance, Indemnification and Release by Participant

Each participant in the More Space: Main Street Program shall provide insurance and a signed indemnification agreement including the following language, as outlined in Section 40-10.1, Sidewalk Cafés, of the Code of Ordinances of the City of Houston, and a signed and notarized Indemnification and Release form as provided in the Appendix to these Design Guidelines.

## Texas Alcoholic Beverage Commission (TABC)

The Texas Alcoholic Beverage Commission (TABC) is a Texas public agency responsible for regulating, inspecting, and taxing the production, sale, and use of alcoholic beverages within the state. Each individual restaurant or bar is solely responsible for coordinating with TABC and ensuring that their permits allow the service provided in the More Space Area. TABC has established the following permit applicable to the More Space: Main Street program: <https://bit.ly/2GmkZMS>.

## Appendix: More Space: Main Street Application

1. What is the name and street address of the applicant? \_\_\_\_\_  
\_\_\_\_\_
2. What is the name under which the business operates? \_\_\_\_\_  
\_\_\_\_\_
3. What is the name and street address of the owner of the abutting property? \_\_\_\_\_  
\_\_\_\_\_
4. If different than #3, what is the name and the owner of the abutting business? \_\_\_\_\_  
\_\_\_\_\_
5. What is the street address and the city food establishment license number of the business? \_\_\_\_\_  
\_\_\_\_\_
6. What is the seating capacity of?
  - a. interior business: \_\_\_\_\_
  - b. any existing sidewalk café space (if applicable): \_\_\_\_\_
  - c. requested More Space Area: \_\_\_\_\_

*Note: Capacity should be provided based on approved permits (not specific to COVID-19 limitations)*
7. Attach a color photograph of the existing business location and neighboring business.
8. Attach written authority in the form of a power of attorney from the owner to submit the application if the applicant is not the owner of the abutting property.
9. Attach schematic layout and plan of the proposed More Space Area boundaries, design/materials, furnishings and umbrellas, measurements, and ADA access.
10. Attach a copy or copies of the certificate or certificates of insurance required as identified in the (previously required as part of business license):
  - a. \$1 million combined single limit for bodily injury and property damage for each occurrence.
  - b. \$2 million annual aggregate
  - c. City of Houston, Downtown District, and METRO all as additional insured.
11. Applicant acknowledges that participation in the Main Street: More Spaces Program entails submitting the Insurance, Indemnification, and Release as stated in the Program Guidelines and Requirements and also attached to this application.  
**Initial Here:** \_\_\_\_\_
12. Applicant acknowledges and certifies that the approved More Space Area may be reduced, modified, or terminated if a neighboring business applies for the use of their own frontage, or if it is determined that the public safety or public necessity and convenience requires same.  
**Initial Here:** \_\_\_\_\_

**Applicant Signature** \_\_\_\_\_ **Date** \_\_\_\_\_

## Conditions and Exceptions

- The permit issued pursuant to this application is issued in the licensee's name and cannot be assigned, sold, or otherwise transferred.
- All patrons, restaurant and bar management and owners, and employees must comply with all other applicable laws, regulations, permits, and orders of government officials, including the then-current COVID-19 related orders issued by the Mayor, County Judge with authority, or Governor of the State of Texas, including the Governor's Executive Order Nos. GA-28, GA-29, and GA-32, issued by the Governor of the State of Texas and any amendments or successor orders or proclamations thereto, and any orders issued by the Harris County Judge authorizing bars to open in any capacity. All persons utilizing the additional space of the More Space: Main Street Program shall operate in compliance with the Governor's Order GA-28 including its provisions on the minimum standard health protocols recommended by Texas Department of State Health Services (DSHS): <https://www.dshs.texas.gov/coronavirus/opentexas.aspx>
- Pursuant to the City of Houston Health Department rules, approval to participate in the More Space: Main Street program authorizes applicant to serve food and beverages includes food service only; food preparation, display and storage are not allowed in these areas.
- All participating restaurants, bars, and their owners, management, and staff, shall conclude food and beverage service and close all food and beverage service within the More Space Area at close of business.
- Furniture may be utilized in the More Space as described in the More Space: Main Street Program Design Guide. No permanent structures are allowed. The restaurant or bar owner, management, and staff must secure or remove all furniture at the close of business. The City is not liable for any loss of furniture or other business items.
- Restaurant owners and staff must place furniture only within the More Space Area and in a manner that does not obstruct a clear path of pedestrian travel along the Main Street sidewalk with the same clear space as provided prior to the application including customer queuing, and does not obstruct a clear access to public utilities, fire hydrants, and building entrances.
- Manholes and any other public infrastructure must be made accessible for maintenance or emergency repairs. This includes either clear access at all times or an immediately accessible hatch with signage.
- The More Space: Main Street Program may be activated, suspended, or terminated in whole or in part at the discretion of the Mayor of the City of Houston or the Mayor's designee.
- The City of Houston may terminate the participation of any restaurant or bar upon its failure to comply with the requirements of the More Space: Main Street Program, or receipt of proof of the suspension or revocation of the restaurant's or bar's TABC permit or license. The City of Houston may also terminate participation upon receipt of proof that the restaurant owner, operator, manager, or other person in charge of the restaurant has received a civil penalty in a civil adjudication proceeding, or proof of a criminal conviction of a violation of any statutes, ordinances, regulations, orders relating to the operation of the restaurant, including provisions related to the service or preparation of foods and beverages, or regulations enacted to control the spread of COVID-19.
- The More Space: Main Street Program does not provide an applicant with an expectation of continued or permanent use of the More Space Area. The Program may be terminated and any permit may be revoked at any time if the Mayor or his designee determines that the public safety or public necessity and convenience require it.
- Applicants must adhere to all federal, state and local regulatory requirements, including all Insurance, Indemnification and Release by Participant conditions in the More Space: Main Street Program Design Guide.



## INDEMNIFICATION AND RELEASE BY PARTICIPANT

PARTICIPANT SHALL INDEMNIFY AND HOLD HARMLESS THE CITY OF HOUSTON, DOWNTOWN MANAGEMENT DISTRICT, METRO, AND EACH OF THEIR RESPECTIVE BOARDS, DIRECTORS, PARTNERS, OFFICERS, CONSULTANTS, EMPLOYEES AND AGENTS (COLLECTIVELY, THE “INDEMNITEES”), FROM AND AGAINST ANY AND ALL CLAIMS, DEMANDS, SUITS, CAUSES OF ACTION, SETTLEMENTS, LIABILITIES, COSTS, EXPENSES, FINES, AND JUDGMENTS (INCLUDING, WITHOUT LIMITATION, REASONABLE AND NECESSARY COURT COSTS, EXPERTS’ FEES AND ATTORNEYS’ FEES) (COLLECTIVELY, “LOSSES”), WHETHER ARISING IN EQUITY, AT COMMON LAW, OR BY STATUTE, INCLUDING WITHOUT LIMITATION THE TEXAS DECEPTIVE TRADE PRACTICES ACT (AS AMENDED) OR SIMILAR STATUTE OF OTHER JURISDICTIONS, OR UNDER THE LAW OF CONTRACTS, TORTS (INCLUDING, WITHOUT LIMITATION, NEGLIGENCE AND STRICT LIABILITY WITHOUT REGARD TO FAULT) OR PROPERTY, OF EVERY KIND OR CHARACTER (INCLUDING, WITHOUT LIMITATION, CLAIMS FOR PROPERTY DAMAGE, PERSONAL INJURY (INCLUDING WITHOUT LIMITATION EMOTIONAL DISTRESS, AND ECONOMIC LOSS), ARISING IN FAVOR OF OR BROUGHT BY ANY OF PARTICIPANT, ITS EMPLOYEES, AGENTS, SUBCONTRACTORS, SUPPLIERS OR REPRESENTATIVES, OR BY ANY GOVERNMENTAL AGENCY OR ANY OTHER THIRD PARTY, BASED UPON, IN CONNECTION WITH, RELATING TO OR ARISING OUT OF THE PARTICIPANT’S BUSINESS OR PROPOSED BUSINESS, OR PARTICIPANT’S ACTIONS OR INACTIONS UNDER THIS AGREEMENT, INCLUDING WITHOUT LIMITATION ANY FAILURE BY PARTICIPANT TO PAY TAXES OR FAILURE TO COMPLY WITH ANY APPLICABLE LAW, EXCEPT TO THE EXTENT ANY SUCH LOSSES ARE DUE TO ANY INDEMNITEES’ SOLE NEGLIGENCE OR OTHER FAULT, BREACH OF THIS AGREEMENT, VIOLATION OF STATUTE, OR STRICT LIABILITY WITHOUT REGARD TO FAULT.

THE FOREGOING INDEMNIFICATION OBLIGATION SHALL APPLY REGARDLESS OF THE AMOUNT OF INSURANCE COVERAGE HELD BY PARTICIPANT INCLUDING WITHOUT LIMITATION ANY SUCH COVERAGE UNDER ANY WORKER’S COMPENSATION ACT, DISABILITY ACT, OR OTHER ACT OR LAW WHICH WOULD LIMIT THE AMOUNT OR TYPE OF DAMAGES, COMPENSATION, OR BENEFITS PAYABLE BY OR FOR PARTICIPANT AND SHALL NOT BE LIMITED BY ANY INSURANCE CARRIED OR PROVIDED BY PARTICIPANT IN ACCORDANCE WITH THIS AGREEMENT.

PARTICIPANT’S CONTRACTUAL OBLIGATIONS OF INDEMNIFICATION SHALL EXTEND TO AND COVER CLAIMS, DEMANDS AND CAUSES OF ACTION ALLEGING CONCURRENT ACTS OF NEGLIGENCE, FAULT OR OTHER ACT OR OMISSION BY OR ON THE PART OF THE INDEMNITEES PROVIDED THAT IN THE EVENT THAT BOTH PARTICIPANT AND SUCH INDEMNITEE ARE ADJUDICATED AT FAULT WITH RESPECT TO DAMAGE OR INJURY SUSTAINED BY A CLAIMANT, PARTICIPANT SHALL INDEMNIFY INDEMNITEES ONLY FOR THAT PORTION OF THE DAMAGE OR INJURY ADJUDICATED TO HAVE BEEN CAUSED BY PARTICIPANT, AND ACCORDINGLY, THE INDEMNITEES SHALL BEAR ALL COSTS AND DAMAGES FOR WHICH EACH OR ANY IS FOUND LEGALLY LIABLE. PARTICIPANT SHALL NOT INDEMNIFY THE INDEMNITEES FOR THEIR SOLE NEGLIGENCE.

## RELEASE

Participant shall and does hereby waive all causes of action it has for, and releases and forever discharges the indemnitees from, losses for injuries (including death) to any person or damage to or destruction of any property sustained or alleged to have been sustained in connection with or arising out of or incidental to the Main Street: More Space Program.

*[Signatures on the next page.]*

Applicant Signature(s) \_\_\_\_\_ Date \_\_\_\_\_

State of Texas

County of \_\_\_\_\_

This instrument was acknowledged before me on the \_\_\_ day of \_\_\_\_\_, 20\_\_ by  
(name) \_\_\_\_\_, (title) \_\_\_\_\_, for (corporation, partnership,  
LLC) \_\_\_\_\_, a (State of incorporation) \_\_\_\_\_, on behalf of said  
\_\_\_\_\_.

(Seal)

Notary Public's Signature  
My Commission Expires: \_\_\_\_\_