

Document 00910

ADDENDUM NO. 1

Date of Addendum: 01/23/2024

PROJECT NAME: *611 Walker Mitigation-Hurricane Harvey*

PROJECT NO: WBS No. D-200006-0001

SUBMITTAL DATE: February 1, 2024 (There is no change to the Proposal Date)

FROM: City of Houston, General Services Department
900 Bagby, 2nd Floor
Houston, Texas 77002
Attn: Wei Jue, Senior Project Manager

TO: Prospective Proposers

This Addendum forms a part of the Proposal Documents and will be incorporated into the Contract, as applicable. Insofar as the original RFP is inconsistent, this Addendum governs.

DRAWINGS

1. Delete Sheet AD 102 – Architectural Demolition Plan-LVL-B2 dated May 23, 2023, and replace with attached sheet AD 102-Architectural Demolition Plan-LVL-B2 dated January 22, 2024.
2. Delete Sheet A 101 – Architectural Floor Plan-LVL-B1 dated May 23, 2023, and replace with attached sheet A 101 – Architectural Floor Plan-LVL-B1 dated January 22, 2024.
3. Delete Sheet A 640 – Door & Window Schedule, Types & Notes dated May 23, 2023, and replace with attached sheet A 640 – Door & Window Schedule, Types & Notes dated January 22, 2024.

CLARIFICATIONS

1. RFI Question #1: On sheet AS 101/Keyed Note S38 indicated to relocate the existing parking meter. Please provide contact information for the vendor that maintains the parking meters for the City of Houston. Also, confirm the networking and power requirements for the parking meter.

Response: City of Houston Meter Operation team will handle the meter relocation. Contractors should exclude the cost.

2. RFI Question #2: Please see attached drawing of B1 and B2, Yellow are areas where there is no existing flooring. Red is area that I was not able to access. Do you want any flooring or base done in these areas? If you do, please let me know what type. Carpet or VCT.

Response: Please refer to sheet AD 101 and 102 for the floor demolition scope and refer to sheet A 101 and 102 for the area that will require new flooring and base. On LVL B1-The 2 offices on the north side (B103 & B108) are to receive new VCT. On LVL B2 – See updated sheet AD 102 and A 640 for additional information.

END OF ADDENDUM NO. 1

(TRC) 

Richard Vella
Assistant Director
Real Estate, Design & Construction Division
General Services Department

DATED: 01/23/24

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1 REFER TO SHEET G001 INDEX FOR GENERAL NOTES, SYMBOL LEGEND, AND OTHER IMPORTANT INFORMATION.

2 FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES IN THE DRAWINGS TO THE ARCHITECT BEFORE ANY WORK COMMENCES.

3 ALL DEMOLITION SHALL BE EXECUTED NEATLY AND WITHOUT ANY DAMAGE TO REMAINING CONSTRUCTION INCLUDING ALL EXISTING FINISHES & EQUIPMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE.

4 ALL EXISTING WINDOW COVERINGS SHALL REMAIN, UNLESS NOTED OTHERWISE. PROTECT (RAISE OR REMOVE) DURING DEMOLITION AND CONSTRUCTION.

5 CONTRACTOR SHALL PROTECT ELEVATOR CAB WALLS AND FLOOR AS DIRECTED BY BUILDING MANAGEMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ELEVATOR CABS.

6 EXISTING SECURITY SYSTEM, FIRE HOSE CABINETS, SMOKE AND FIRE ALARM DEVICES, FIRE ALARM SYSTEM, MOTION DETECTORS, SPEAKERS, STROBE LIGHTS, EXIT SIGNS, ETC. SHALL REMAIN UNLESS NOTED OTHERWISE. CONTRACTOR SHALL PROTECT THESE DEVICES DURING DEMOLITION AND CONSTRUCTION.

7 ALL REMOVED DOORS, FRAMES, AND HARDWARE SHALL BE STORED FOR REUSE, UNLESS NOTED OTHERWISE.

8 EXISTING CEILING GRID AND TILES SHALL REMAIN, UNLESS NOTED OTHERWISE.

9 AT AREAS WHERE FLOOR COVER IS TO BE REMOVED, ALL EXISTING GROUT, CARPET PAD, NAILS AND REMNANTS SHALL BE REMOVED. CONTRACTOR SHALL PREPARE SLAB AS REQUIRED TO RECEIVE NEW FINISHES. EXISTING SLAB SHALL BE FLOATED AS NECESSARY THROUGHOUT THE SPACE TO REMOVE PITS, RIDGES, AND OTHER IMPERFECTIONS FOR A SMOOTH LEVEL SURFACE.

10 THERMOSTATS LOCATED ON WALLS TO BE REMOVED, SHALL BE PROTECTED AND SECURED ABOVE THE CEILING AND TAGGED WITH THE ZONE NUMBER.

11 AT ALL EXISTING FLOOR MOUNTED OUTLETS DESIGNATED TO BE REMOVED, CONTRACTOR SHALL FILL CORES WITH CONCRETE OR EPOXY AND FIRE SEALED AS PER CODE.

12 CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE REMOVAL AND DISCARDING OF ALL DEMOLITION WASTE.

13 ALL REMOVED PLUMBING EQUIPMENT SHALL HAVE DRAINS, DRAIN LINES, SUPPLY LINES AND VENTS REMOVED AND CAPPED AS REQUIRED BY APPLICABLE BUILDING CODES.

14 ITEMS IDENTIFIED IN THE DOCUMENTS FOR RELOCATION OR AS HAVING A SALVAGEABLE VALUE SHALL BE CAREFULLY REMOVED AND STORED AS DIRECTED.

15 CONTRACTOR SHALL RECYCLE AS MUCH NONHAZARDOUS DEMOLITION AND CONSTRUCTION WASTE AS POSSIBLE. MINIMUM CRITERIA INCLUDES THE FOLLOWING MATERIALS:
 A) CONCRETE, CONCRETE REINFORCING STEEL, MASONRY AND CMU, STRUCTURAL AND MISCELLANEOUS STEEL, WOOD, INSULATION, GYPSUM BOARD, ACOUSTICAL TILE AND PANELS, METAL STUDS, CARPET AND PAD, EQUIPMENT, PIPING, SUPPORT HANGERS, COPPER WIRING, LIGHTING FIXTURES, ELECTRICAL CONDUIT, ROOFING, AND SITE CLEARING WASTE
 B) PACKING: REGARDLESS OF SALVAGE/RECYCLE GOAL ABOVE, SALVAGE OR RECYCLE 100 PERCENT OF THE FOLLOWING UNCONTAMINATED PACKAGING MATERIALS:
 1) PAPER, CARDBOARD, BOXES, PLASTIC SHEET FILM, POLYSTYRENE PACKAGING, WOOD CREATES & PALLETS, AND PLASTIC PAILS

16 CONTRACTOR SHALL IMPLEMENT WASTE MANAGEMENT PLAN AS APPROVED BY OWNER. PROVIDE HANDLING, CONTAINERS, STORAGE, TRANSPORTATION, AND OTHER ITEMS AS REQUIRED TO IMPLEMENT WASTE MANAGEMENT PLAN DURING THE ENTIRE DURATION OF THE CONTRACT.

17 CONTRACTOR SHALL SEPARATE RECYCLABLE WASTE FROM OTHER WASTE MATERIALS, TRASH, AND DEBRIS. SEPARATE RECYCLABLE WASTE BY TYPE AT PROJECT SITE TO THE MAXIMUM EXTENT PRACTICAL.
 A) PROVIDE APPROPRIATELY MARKED CONTAINERS, BINS OR PALLETS FOR CONTROLLING RECYCLABLE WASTE UNTIL THEY ARE REMOVED FROM PROJECT SITE. INCLUDE LIST OF ACCEPTABLE AND UNACCEPTABLE MATERIALS AT EACH CONTAINER AND BIN.
 B) INSPECT CONTAINERS, BINS AND PALLETS FOR CONTAMINATION AND REMOVE CONTAMINATED MATERIALS IF FOUND.

A90	EXIST. RUBBER FLOOR TO REMAIN, TYP.
D04	EXIST. ABANDONED RETURN AIR TRENCHES.
D05	EXIST. BELW FLOOR MECHANICAL EQUIPMENT
D19	EXIST. DOOR TO BE REMOVED/REPLACED, TYP.
D20	DEMO EXISTING VCT FLOORING & RUBBER BASE IN THIS AREA
D32	REMOVE EXIST. CARPET TILES, TYP.
S10	PROPERTY LINE; RE: SURVEY & CIVIL DWGS

- FORENSIC WATER PENETRATION TESTING OF EXISTING FENESTRATION (VERTICAL AND HORIZONTAL) PER AAMA511: 2022
- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE REMOVED
- EXISTING DOOR TO REMAIN / NEW DOOR
- EXISTING DOOR TO BE DEMOLISHED
- REMOVED DUPLEX OUTLET
- REMOVED QUADRAPLEX OUTLET
- REMOVED FLOOR MOUNTED DUPLEX OUTLET
- REMOVED COMMUNICATION OUTLET
- REMOVED FLOOR MOUNTED PHONE/DATA OUTLET
- REMOVED THERMOSTAT

GENERAL NOTES

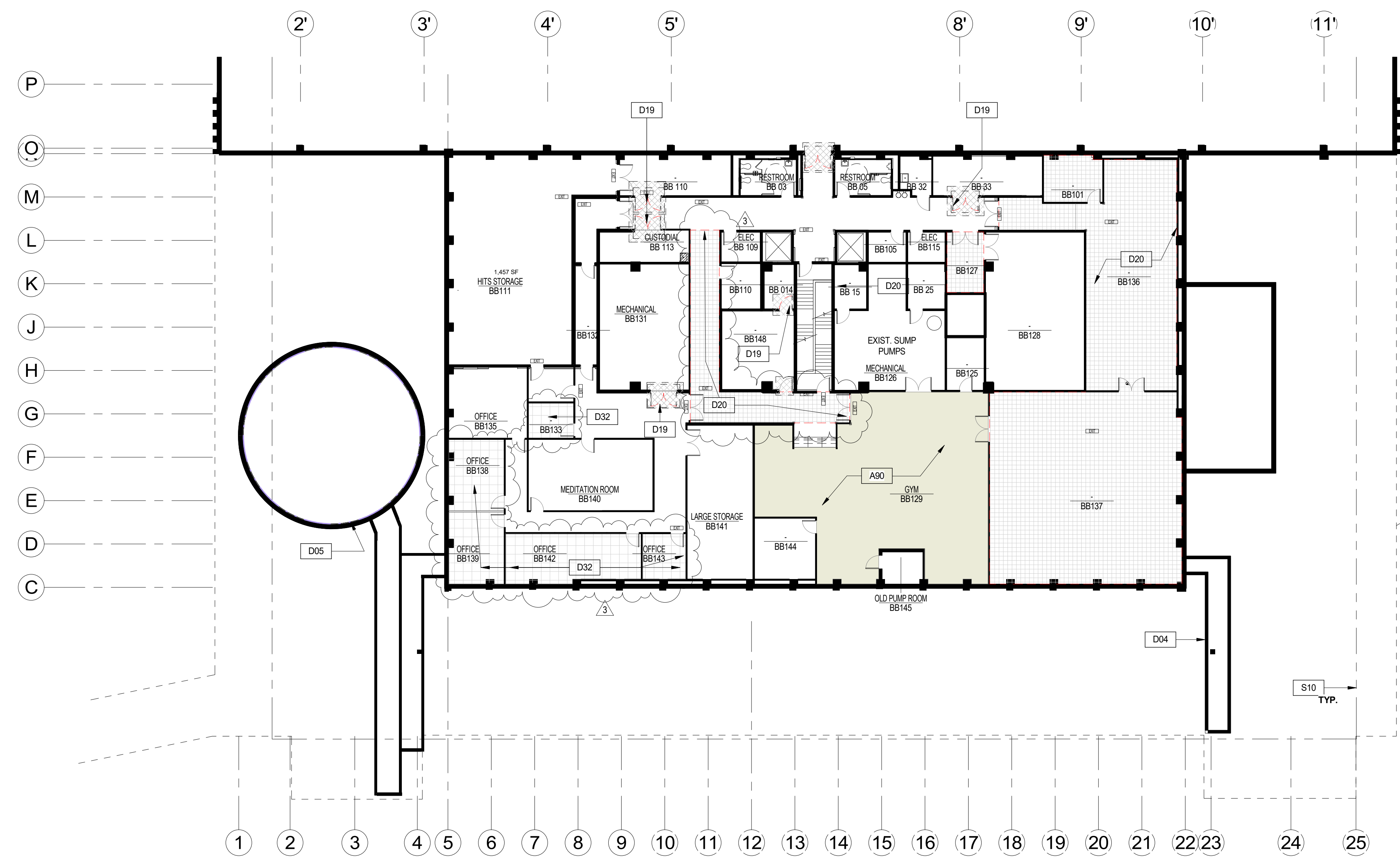
D3

KEYED NOTES

D4

SYMBOLS LEGEND

D5



FLOOR PLAN LEVEL 1 SCALE 1/16" = 1'-0" A5

ISSUE LOG

NO.	DATE	DESCRIPTION
1	2023-05-23	Issue for Permit
3	2024-01-22	ADDENDUM 1

CONSULTANT: ARCHITECT:

English + Associates Architects, Inc
 1919 DECATUR HOUSTON, TEXAS
 77007 - 7636
 713.850.0400 T
 713.850.0411 F

SEAL:

PROJECT NAME:
611 Walker Mitigation Project-Hurricane Harvey

PROJECT ADDRESS:
 611 Walker Street
 Houston Texas 77002

CITY OF HOUSTON

APPROVALS

WATER ENGINEERING	TRAFFIC AND TRANSPORTATION
WASTEWATER ENGINEERING	STREET, BRIDGE, & ROW ENG.
STORMWATER ENGINEERING	PLANNING & DEVELOPMENT

DATE: 2024-01-22
 PROJECT NO.: 22001.01
 SCALE: As indicated
 DRAWN BY: CT
 CHECKED BY: Checker

SHEET TITLE:
ARCHITECTURAL DEMOLITION PLAN - LVL-B2

SHEET NO.:
AD102

1/23/2024 10:28:46 AM

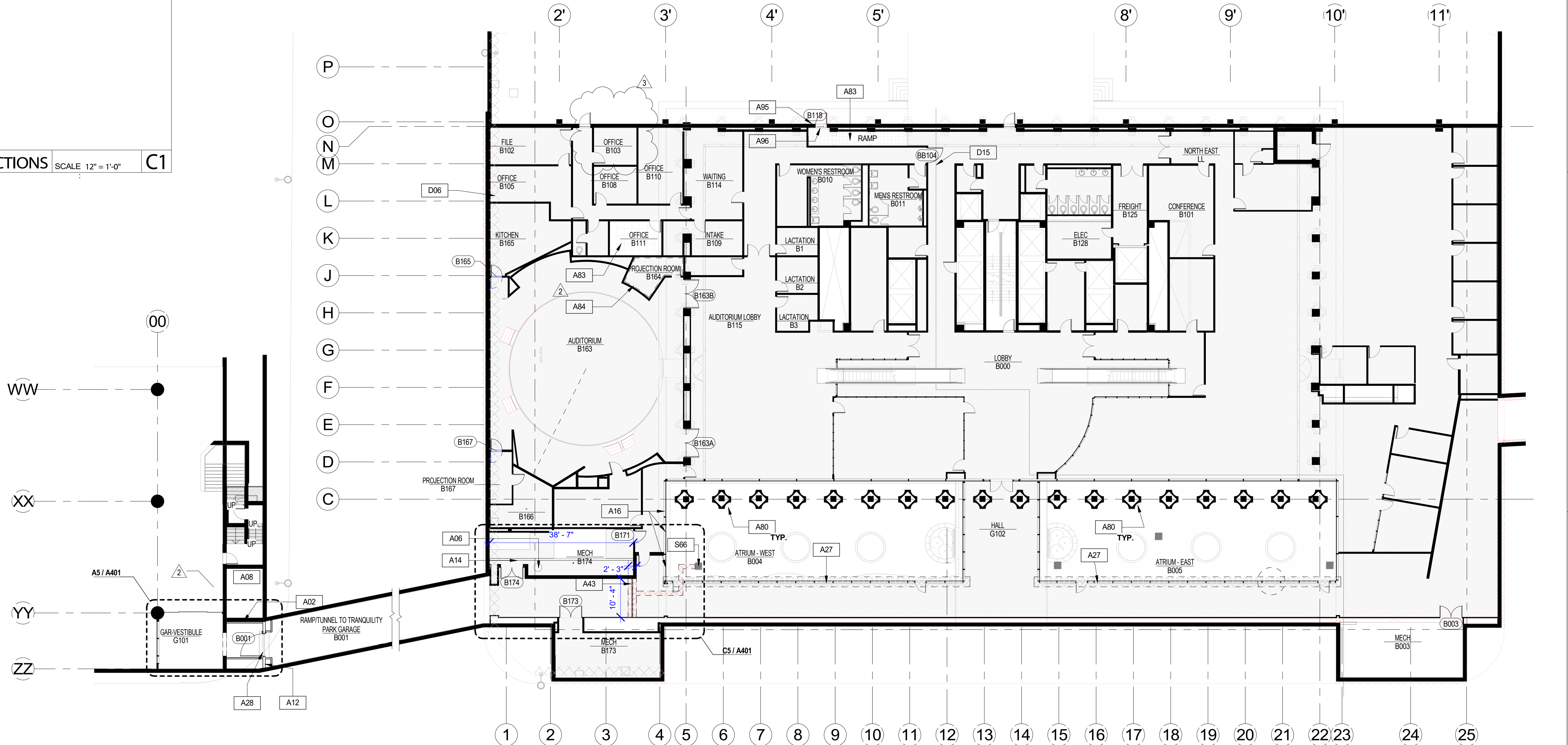
<p>1 REFER TO SHEET G001 INDEX FOR GENERAL NOTES, SYMBOLS LEGEND, AND OTHER IMPORTANT INFORMATION.</p> <p>2 FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES IN THE DRAWINGS TO THE ARCHITECT AND ENGINEER BEFORE ANY WORK COMMENCES.</p> <p>3 ALL DOORS AND HARDWARE NOT TAGGED ON THE PLAN ARE EXISTING TO REMAIN. PROTECT EXISTING DOORS TO REMAIN. CONTRACTOR SHALL REPAIR OR REPLACE ANY DOORS THAT ARE DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES.</p> <p>4 REFER TO XX/XXX FOR TYPICAL MOUNTING HEIGHTS.</p> <p>5 ALL WOOD BLOCKING AND COMPONENTS WITHIN PARTITIONS AND CEILING PLENUM SHALL BE FIRE TREATED AND SHALL MEET APPLICABLE MINIMUM LOAD REQUIREMENTS.</p> <p>6 ALIGN MEANS THAT SIMILAR COMPONENTS OF CONSTRUCTION SUCH AS WALLS, JAMBS, ETC. SHALL ALIGN ACROSS VOIDS OR ADJACENT TO EXISTING CONSTRUCTION.</p> <p>7 THE CONTRACTOR SHALL LAYOUT ALL PARTITIONS IN FLOOR TRACK FOR ARCHITECT'S REVIEW PRIOR TO ERECTING ANY PARTITIONS OR INSTALLING ANY PLUMBING, ELECTRICAL OR CEILING COMPONENTS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES GREATER THAN 2" FAILURE ON THE PART OF THE CONTRACTOR TO NOTIFY THE ARCHITECT OF DISCREPANCIES SHALL RENDER THE CONTRACTOR RESPONSIBLE FOR CORRECTIVE ACTION.</p> <p>8 A. ALL PARTITIONS SHALL BE TYPE (A) UNLESS NOTED OTHERWISE. B. ALL CEILINGS SHALL BE TYPE (C-1) UNLESS NOTED OTHERWISE. C. ALL WALL FINISHES SHALL BE TYPE (P-1) UNLESS NOTED OTHERWISE. D. ALL FLOOR FINISHES SHALL BE TYPE (CP-1) UNLESS NOTED OTHERWISE.</p>	<p>E. ALL BASE MATERIAL SHALL BE TYPE (RB-1) UNLESS NOTED OTHERWISE.</p> <p>9 ALL GYPSUM BOARD CONSTRUCTION OF PLUMBING WALLS OR CHASES SHALL BE 5/8" WATER RESISTANT BOARD.</p> <p>10 ALL PIPE WORK AND DUCT WORK WHICH PENETRATES THROUGH FLOOR, SLABS, AND WALLS SHALL BE SLEEVED, EXCEPT WHERE SHAFTS OR CHASES ARE PROVIDED. VOIDS WITHIN SLEEVES SHALL BE PACKED TIGHT WITH FIRE RESISTANT MATERIAL.</p> <p>11 THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SUPPORTS OR BLOCKING IN WALLS OR CEILINGS FOR THE SUPPORT OF ITEMS SUCH AS SHELVES, CABINETS, SINKS, CURTAINS, FANS, MONITORS, AV EQUIPMENT, ETC.</p> <p>12 AT ALL PARTITIONS WHICH EXTEND TO STRUCTURE ABOVE, DRYWALL SHALL BE TAPED & FLOATED. PENETRATIONS THROUGH THE PARTITION SHALL BE TAPED AND CAULKED TO COMPLETELY SEAL ALL VOIDS AND CRACKS.</p> <p>13 THE CONTRACTOR SHALL, CONCURRENT WITH EACH APPLICATION FOR PAYMENT AND BEFORE REQUEST FOR SUBSTANTIAL COMPLETION, SUBMIT COPIES OF REPORTS AND RECEIPTS OF ACCEPTANCE OF SALVAGEABLE WASTE DONATED, SALVAGEABLE WASTE SOLD, RECYCLABLE WASTE ACCEPTED BY LICENSED RECYCLING AND PROCESSING FACILITIES, AND WASTE BY LICENSED LANDFILLS AND INCINERATORS FACILITIES. INCLUDE MANIFESTS, WEIGHT TICKETS, RECEIPTS, AND INVOICES.</p> <p>14 REPAIR WALLS AT AREAS OF WORK INVOLVING DOOR HARDWARE, IE CARDKEY READERS. REPAIR, REPAINT AND RETURN TO LIKE NEW CONDITION.</p>	<p>A02 EXIST. CMU WALL, TYP.</p> <p>A06 EXIST. SUMP PIT TO REMAIN. SEE MEP DWGS FOR PUMP INFORMATION</p> <p>A08 EXIST. 3-STORY CHASE SERVING PARKING GARAGE</p> <p>A12 NEW WALL PER STRUCTURAL ENGINEER DESIGN. SEE STRUCT. DWGS.</p> <p>A14 NEW 6" CONC. CURB, ANCHOR TO EXISTING FLOOR SLAB. COORD. W/ LOCATION OF EXIST. CONC. HOUSE-KEEPING PADS.</p> <p>A16 REPLACE EXISTING RETURN AIR VENTS IN MULLION W/ TYPICAL HORIZONTAL MULLION COVER @ SILL OF WINDOW - MATCH EXISTING</p> <p>A27 EXISTING VERTICAL & HORIZONTAL CURTAINWALL GLAZING TO BE WET SEALED - SEE NOTE C1/A101</p> <p>A28 NEW FLOOD GATE - STRENGTHEN OPENING PER STRUCT. DWGS.</p> <p>A43 NEW LINEAR FLOOR DRAIN LINES - SEE MEP DWGS.</p> <p>A80 PATCH OPENING FROM REMOVED IN-GROUND LIGHT FIXTURES W/ FINISH TO MATCH ADJ. FLOOR.</p> <p>A83 NEW VCT FLOOD-RESISTANT FINISH FLOORING, TYP.</p> <p>A84 NEW RUBBER BASE, MATCH EXIST. BASE, TYP.</p> <p>A95 EXISTING CARDKEY READER, REMOVE AND REPLACE PER ELEC. DRAWINGS.</p> <p>A96 COORDINATE CARDKEY READER AND MAGLOCK ETC.</p> <p>D06 EXIST. UTILITY TROUGH ABOVE. APPLY NEW WATERPROOFING PER STRUCT. ENGINEER DESIGN.</p> <p>D15 EXTENT OF DAMAGE OF HARVEY FLOOD DAMAGE, FOR REFERENCE ONLY</p> <p>S66 EXIST. AREA DRAINAGE INLET, SEE MEP DWGS</p>	<p>EXISTING PARTITION TO REMAIN</p> <p>NEW PARTITION</p> <p>EXISTING DOOR TO REMAIN / NEW DOOR</p> <p>DOOR NUMBER TAG</p> <p>PARTITION TYPE</p> <p>WINDOW TYPE</p>	<p>1/A101 Ref INTERIOR ELEVATION</p> <p>X'-X' DIMENSION LINE</p> <p>1/A101 INTERIOR SECTION</p> <p>1 SIM BUILDING SECTION</p> <p>1/A101 DETAIL CALL OUT</p> <p>1 HR FIRE RATED PARTITION</p> <p>2 HR FIRE RATED PARTITION</p>
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ISSUE LOG		
NO.	DATE	DESCRIPTION
1	2023-05-23	Issue for Permit
2	2023-08-26	Issue for Permit Resubmittal
3	2024-01-22	ADDENDUM 1

D1 GENERAL NOTES D4 KEYED NOTES D5 SYMBOLS LEGEND

1. ON EXTERIOR SIDE OF WINDOW, CUT BACK EXISTING RUBBER GASKET AND EXISTING SEALANT EVEN W/ WINDOW FRAME.
2. THOROUGHLY CLEAN EXTERIOR OF WINDOWS.
3. INSTALL QUARTER ROUND BACKER ROD ALONG PERIMETER OF GLAZING & FRAME.
4. APPLY GUN-GRADE ELASTOMERIC, SILICON BASED SEALANT @ INTERSECTION OF GLASS & FRAME.
5. TOOL SEALANT INTO FILLET SHAPE.

WET SEAL INSTRUCTIONS SCALE 12" = 1'-0" C1



CONSULTANT: ARCHITECT:

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SEAL:

PROJECT NAME:
611 Walker Mitigation Project-Hurricane Harvey

PROJECT ADDRESS:
 611 Walker Street
 Houston Texas 77002

CITY OF HOUSTON
 GENERAL SERVICES DEPARTMENT

APPROVALS

WATER ENGINEERING	TRAFFIC AND TRANSPORTATION
WASTEWATER ENGINEERING	STREET, BRIDGE, & ROW ENG.
STORMWATER ENGINEERING	PLANNING & DEVELOPMENT

DATE: 2024-01-22
 PROJECT NO.: 22001.01
 SCALE: As indicated
 DRAWN BY: CT
 CHECKED BY: KE

SHEET TITLE:
ARCHITECTURAL FLOOR PLAN - LEVEL B1

SHEET NO.:

A101

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<p>TYPE 01 - (SINGLE EXIT W/ CARD KEY & CLOSER)</p> <p>1 1/2 PR. HINGES 1 ea. PANIC EXIT DEVICE W/ MORTISE LOCK 1 ea. EXIT DEVICE LEVER TRIM 1 ea. SURFACE CLOSER 1 ea. KICK PLATE 1 ea. DOOR SWEEP 1 ea. GASKETING 1 ea. DOOR THRESHOLD 1 ea. CARD KEY READER 1 ea. PUSH BUTTON DOOR</p> <p>TYPE 01A - (DOUBLE EXIT W/ CARD-KEY & CLOSER)</p> <p>1 1/2 PR. HINGES (EA. LEAF) 1 ea. PANIC HARDWARE (EA. LEAF) 1 ea. EXIT DEVICE LEVER TRIM (EA. LEAF) 1 ea. SURFACE CLOSER (EA. LEAF) 1 ea. KICK PLATE 1 ea. DOOR SWEEP 1 ea. GASKETING 1 ea. DOOR THRESHOLD 1 ea. CARD KEY READER 1 ea. PUSH BUTTON DOOR</p> <p>TYPE 02 - (CUSTODIAL / STOREROOM LOCKSET)</p> <p>2 PR. HINGES 1 ea. LOCKSET 1 ea. FLOORSTOP 1 ea. SILENCER</p>	<p>TYPE 03</p> <p>2 PR. HINGES 1 ea. PANIC EXIT DEVICE W/ MORTISE LOCK 1 ea. EXIT DEVICE LEVER TRIM 1 ea. SURFACE CLOSER 1 ea. WALL STOP 1 ea. CLOSER 1 ea. KICK PLATE</p> <p>TYPE 04 - (UTILITY LOCKSET-SINGLE DOOR)</p> <p>2 PR. HINGES 1 ea. LOCKSET 1 ea. KICK PLATE 1 ea. CLOSER</p> <p>TYPE 04A - (UTILITY LOCKSET-DOUBLE DOOR)</p> <p>2 PR. HINGES 1 ea. LOCKSET 1 ea. FLUSH BOLTS 1 ea. T7 ASTRAGAL 2 ea. CLOSERS W/ COORDINATOR</p>	<p>TYPE 05 - (PIVOT HINGE - SINGLE DOOR)</p> <p>PIVOT HINGE - MOUNTED TO FLOOR AND HEAD 1 ea. LATCHSET 1 ea. FLOOR STOP 1 ea. SILENCER</p> <p>TYPE 06 - (PIVOT HINGE - DOUBLE DOOR)</p> <p>PIVOT HINGE - MOUNTED TO FLOOR AND HEAD 1 ea. LATCHSET 2 ea. FLOORSTOP 1 ea. SILENCER 1 ea. CLOSER 1 ea. DEAD BOLT LOCK 1 ea. DOOR STOP</p>
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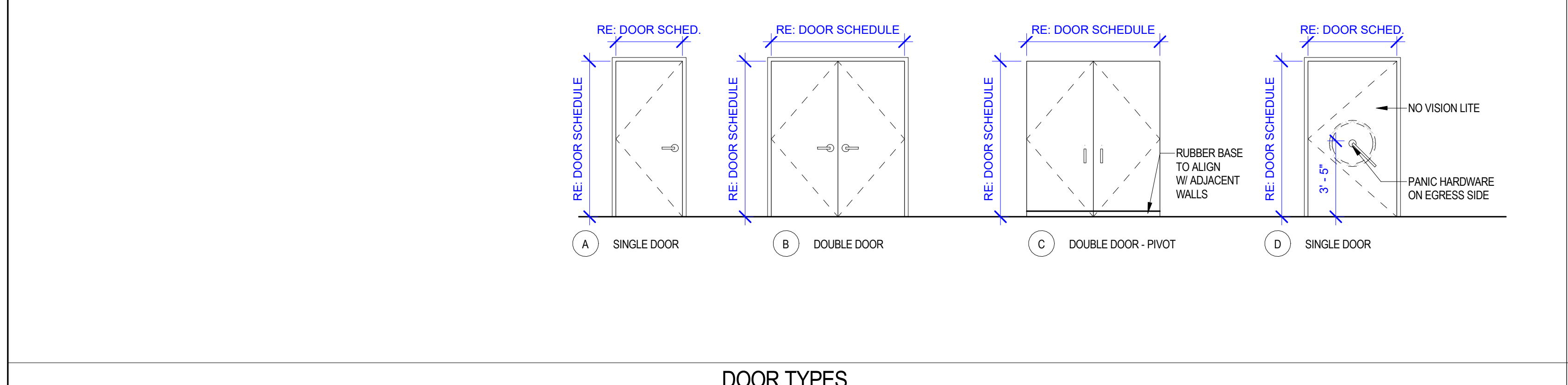
DOOR HARDWARE

- * CENTER HINGE SHALL BE POWER TRANSFER HINGE
- * PROVIDE A PIGTAIL FROM HINGE TO PLENUM ABOVE DOOR
- * CORE OR ROUTE DOOR OPERATOR FROM HINGE TO MORTISE SET.
- * PROVIDE 18 GAGE 4 CONDUCTOR CABLE CONNECTING HINGE TO MORTISE SET
- * LOCKS TO BE INSTALLED W/ CONSTRUCTION CORES; COORDINATE PERMANENT CORES W/ OWNER.
- * DOOR INSTALLER TO COORDINATE PERMANENT CORES W/ OWNER.

DOOR SCHEDULE-LVL-B2												
#	WIDTH	HEIGHT	DOOR			FRAME			GLAZING	HARDWARE	FIRE RATED	Comments
			Door Type	Door Material	Door Finish	FRAME TYPE	FRAME MATERIAL	FRAME FINISH				
LEVEL B2												
BB122	3'-0"	7'-0"	A	SCW	BLACK-PAINT	MATCH EXISTING	HM	BLACK-PAINT	N/A	02		REMOVE EXISTING LOCK CYLINDER FOR RE-USE IN NEW DOOR.
BB005	6'-0"	7'-0"	B	HM	BLACK-PAINT	MATCH EXISTING	HM	BLACK-PAINT	N/A	01A		CARD KEY READER-REMOVE EXISTING LOCK CYLINDER FOR RE-USE IN NEW DOOR.
BB103	6'-0"	7'-0"	B	HM	BLACK-PAINT	MATCH EXISTING	HM	BLACK-PAINT	N/A	02A		REMOVE EXISTING LOCK CYLINDER FOR RE-USE IN NEW DOOR.
BB110	6'-0"	7'-0"	B	HM	BLACK-PAINT	MATCH EXISTING	HM	BLACK-PAINT	N/A	02A		REMOVE EXISTING LOCK CYLINDER FOR RE-USE IN NEW DOOR.
BB113	6'-0"	7'-0"	B	HM	BLACK-PAINT	MATCH EXISTING	HM	BLACK-PAINT	N/A	02A		REMOVE EXISTING LOCK CYLINDER FOR RE-USE IN NEW DOOR.
BB131	6'-0"	7'-0"	B	SCW	BLACK-PAINT	MATCH EXISTING	HM	BLACK-PAINT	N/A	04A		REMOVE EXISTING LOCK CYLINDER FOR RE-USE IN NEW DOOR.

DOOR SCHEDULE-LVL-B1												
#	WIDTH	HEIGHT	DOOR			FRAME			GLAZING	HARDWARE	FIRE RATED	Comments
			Door Type	Door Material	Door Finish	FRAME TYPE	FRAME MATERIAL	FRAME FINISH				
LVL B1												
B118	3'-0"	7'-0"	A	HM	BLACK-PAINT	MATCH EXISTING	HM	BLACK-PAINT	N/A	01		REMOVE EXISTING ADA OPENING DEVICE FOR REINSTALLATION IN NEW DOOR
B165	3'-0"	9'-0"	A	SCW	BLACK-PAINT	MATCH EXISTING	ALUM	BLACK-PAINT	N/A	06		COORDINATE NEW LOCK CYLINDER CORE W/ OWNER, NO NEW CYBER CORE TO GO BACK IN DOOR.
B167	3'-0"	9'-0"	A	SCW	BLACK-PAINT	MATCH EXISTING	ALUM	BLACK-PAINT	N/A	06		COORDINATE NEW LOCK CYLINDER CORE W/ OWNER, NO NEW CYBER CORE TO GO BACK IN DOOR.
B171	3'-0"	9'-0"	A	SCW	P-LAM	MATCH EXISTING	HM	BLACK-PAINT	N/A	04		COORDINATE NEW LOCK CYLINDER CORE W/ OWNER, NO NEW CYBER CORE TO GO BACK IN DOOR.
BB104	4'-0"	7'-0"	A	STEEL	BLACK-PAINT	MATCH EXISTING	HM	BLACK-PAINT	N/A	03		COORDINATE NEW LOCK CYLINDER CORE W/ OWNER, NO NEW CYBER CORE TO GO BACK IN DOOR.
B001	6'-0"	7'-0"	D	HM	TBD	STANDARD	STANDARD	TBD	N/A	-		NEW WATERTIGHT DOOR BY PRESRAY OR APPROVED EQUAL.
B003	6'-0"	9'-0"	B	SCW	GREY PAINT	MATCH EXISTING	HM	GRAY PAINT	N/A	04A		REMOVE EXISTING KEY CYLINDER FOR RE-USE IN NEW DOOR
B173	6'-0"	9'-0"	B	SCW	GREY PAINT	MATCH EXISTING	HM	GRAY PAINT	N/A	04A		REMOVE EXISTING KEY CYLINDER FOR RE-USE IN NEW DOOR
B174	6'-0"	9'-0"	B	SCW	GRAY PAINT	MATCH EXISTING	HM	GRAY PAINT	N/A	04A		REMOVE EXISTING KEY CYLINDER FOR RE-USE IN NEW DOOR
B163A	7'-8"	8'-0"	C	SCW	PAINT TO MATCH EXIST.	PAINT-TO MATCH EXISTING	EXIST	EXIST	N/A	05		2 1/4" THK CUSTOM DOOR; COORDINATE NEW LOCK CYLINDER CORE W/ OWNER, NO NEW CYBER CORE TO GO BACK IN DOOR.
B163B	7'-8"	8'-0"	C	SCW	PAINT TO MATCH EXIST.	PAINT-TO MATCH EXISTING	EXIST	EXIST	N/A	05		2 1/4" THK CUSTOM DOOR; COORDINATE NEW LOCK CYLINDER CORE W/ OWNER, NO NEW CYBER CORE TO GO BACK IN DOOR.

DOOR SCHEDULE

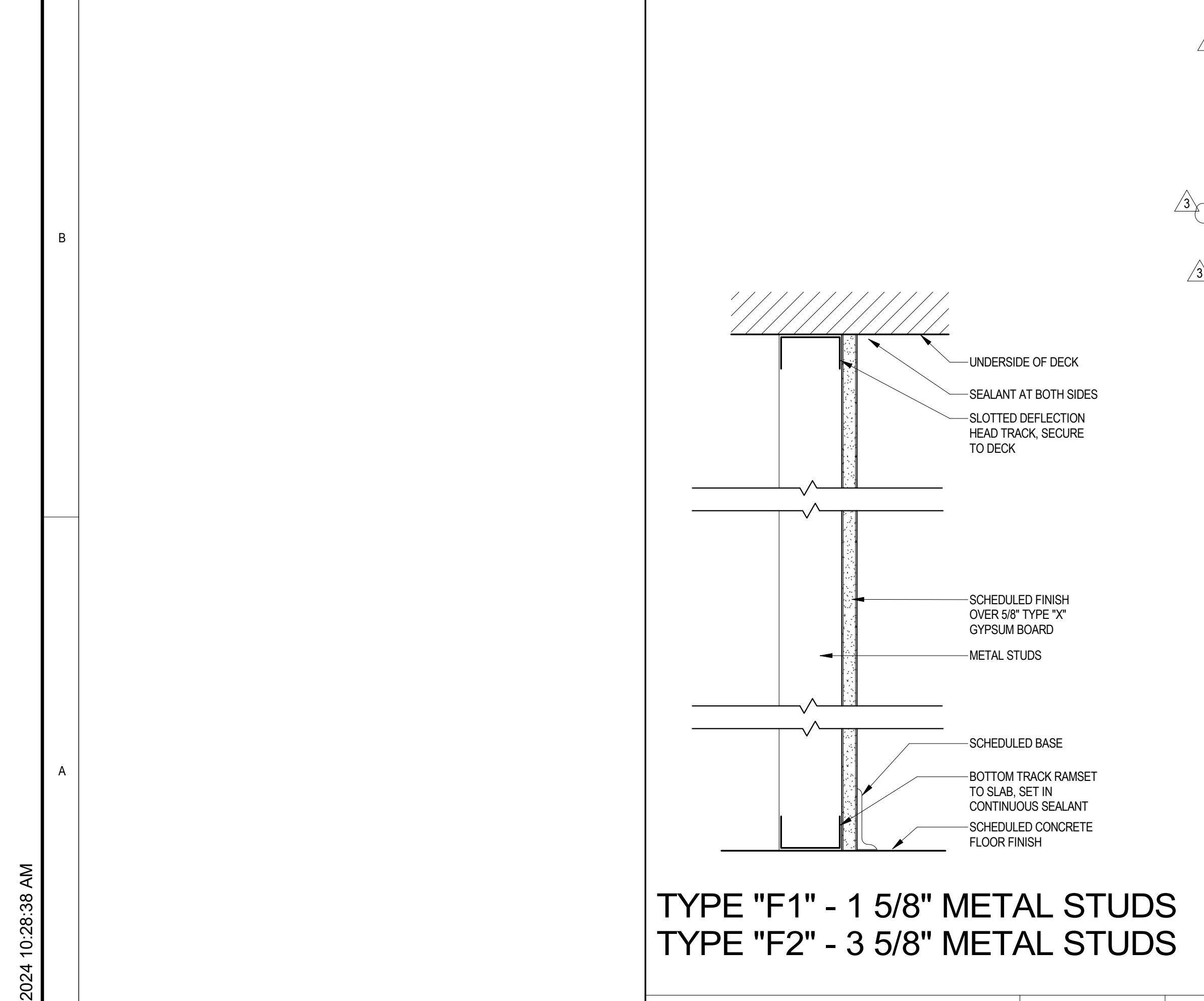


DOOR TYPES

FINISH SCHEDULE												
Number	Name	NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL	Ceiling Finish	Floor Finish	Base Finish	Comments			
B000	RAMP						VCT-1	RB-1				
B103	OFFICE						VCT-1	RB-1				
B108	OFFICE						VCT-1	RB-1				
B111	OFFICE						VCT-1	RB-1				
B164	PROJECTION ROOM						EXIST.	RB-1				
B165	KITCHEN					REPLACE STAINED CEILING TILES						
B166						REPLACE STAINED CEILING TILES						
B167	PROJECTION ROOM					REPLACE STAINED CEILING TILES						
B169	HALL-B2						VCT-1	RB-1				
BB129	GYM						EXIST	RB-1				EXISTING RUBBER FLOOR TO REMAIN.
BB133							VCT-1	RB-1				
BB138	OFFICE						VCT-1	RB-1				
BB139	OFFICE						VCT-1	RB-1				
BB142	OFFICE						VCT-1	RB-1				
BB143	OFFICE						VCT-1	RB-1				

FLOORS				WALLS		BASE		CEILING	
VCT-1	VINYL COMPOSITE TILE MFR: ARMSTRONG COLOR: WHITE MARBELIZED 12" X 12" X 1/8"	PT-1	PAINT MFR: BENJAMIN MOORE COLOR: GRAY M0255 FINISH: EGGSHELL CONTRACTOR TO MATCH	RB-1	RUBBER BASE MFR: ROPPE COLOR: BLACK SIZE: 4"	C1	ACOUSTICAL CEILING TILE & GRID CEILING TILE MFR: - STYLE: FINE TEXTURE SIZE: 2x2 EDGE PROFILE: MATCH EXISTING		CEILING GRID MATCH EXISTING
FT-1	FLOOR TILE MFR: PATTER- COLOR: - SIZE: - INSTALL METHOD: -	PT-2	PAINT MFR: BENJAMIN MOORE COLOR: WHITE CONTRACTOR TO MATCH EXACT COLOR AND FINISH						
GR-1	MAPEI TYPE: POLYMER MODIFIED COLOR: -								
RF-1	ECOFIT PLUS RUBBER FLOOR 23" INTERLOCKING TILES BLUE MOOD 20 #602 I23 (15.2 MM)								

- REFER TO SHEET G001 INDEX FOR GENERAL NOTES, SYMBOL LEGEND, AND OTHER IMPORTANT INFORMATION.
- FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES IN THE DRAWINGS TO THE ARCHITECT AND ENGINEER BEFORE ANY WORK COMMENCES.
- WHERE NEW CONSTRUCTION MODIFIES EXISTING FINISHES TO REMAIN, CONTRACTOR SHALL PATCH AND REPAIR THE EXISTING FINISHES TO LIKE NEW CONDITION AS REQUIRED.
- ALL FLOOR FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. FLOORING CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF SLAB CONDITION PRIOR TO FLOOR FINISH INSTALLATION.
- MATERIALS SPECIFIED ARE REFERENCED BY A PRODUCT NAME AND NUMBER. THE CONTRACTOR SHALL VERIFY THAT THE PRODUCT NAME MATCHES THE PRODUCT NUMBER PRIOR TO ORDERING MATERIALS. NOTIFY ARCHITECT OF ANY DISCREPANCIES. CONTRACTOR IS RESPONSIBLE FOR ORDERING SUFFICIENT QUANTITIES OF ALL MATERIALS TO ENSURE A COMPLETE INSTALLATION.
- ALL FLOOR FINISH TRANSITIONS BETWEEN ROOMS WITH DOORS SHALL OCCUR AT THE CENTERLINE OF THE CLOSED DOORS.
- WHERE FLOOR FINISHES OF DIFFERENT THICKNESS MEET, THE FLOOR SHALL BE FLOATED TO A MAXIMUM SLOPE OF 1" OVER 8'-0" TO ALLOW A SMOOTH TRANSITION BETWEEN SURFACES.
- ALL FLOOR TRANSITION PIECES SHALL MATCH THE RUBBER BASE COLOR.
- RUBBER BASE SHALL HAVE PREFORMED CORNERS.
- ALL EXISTING FINISHES TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. FINISHES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT NO EXPENSE TO THE OWNER.
- CONTRACTOR SHALL PROVIDE SAMPLES OF ALL FINISHES FOR ARCHITECT'S APPROVAL PRIOR TO ORDERING MATERIALS.
- NO SUBSTITUTION SHALL BE ACCEPTED FOR ANY FINISHES WITHOUT WRITTEN APPROVAL BY THE ARCHITECT. REQUESTS FOR SUBSTITUTIONS MUST BE SUBMITTED IN THE TIME FRAME SO AS NOT TO CAUSE ANY DELAY IN ORDERING OR ACQUIRING THE ORIGINALLY SPECIFIED MATERIAL.
- FLAME SPREAD RATINGS FOR INTERIOR FINISHES ARE TO BE IN ACCORDANCE WITH APPLICABLE CODES.
- ALL PAINT SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR A LEVEL 4 FINISH. PROVIDE A TWO COAT MINIMUM APPLICATION.
- WALLS SCHEDULED TO BE PAINTED SHALL BE LATEX PAINT, ROLLED ON, UNLESS NOTED OTHERWISE. USE MANUFACTURER'S RECOMMENDED PRIMER AND FOLLOW MANUFACTURER'S RECOMMENDED INSTALLATION FOR APPLICATION.
- INSPECT DRY WALL AND VERIFY THAT CONDITIONS ARE SUITABLE FOR THE APPLICATION OF WALL COVERING PRIOR TO INSTALLATION. USE MANUFACTURER'S RECOMMENDED PRIMER AND FOLLOW MANUFACTURER'S RECOMMENDED INSTALLATION FOR APPLICATION.
- CONTRACTOR SHALL PAINT ONE WALL FOR ARCHITECT'S APPROVAL WITH EACH COLOR SPECIFIED, PRIOR TO PURCHASING THE BALANCE OF THE PAINT FOR THE REMINDER OF THE JOB.
- PAINT ALL 4 SIDES OF COLUMNS, INCLUDING COLUMNS AT EXTERIOR WINDOWS.
- ALL FIRE HOSE CABINET DOORS SHALL BE PREPARED AND PAINTED TO MATCH ADJACENT WALL.



TYPE "F1" - 1 5/8" METAL STUDS
TYPE "F2" - 3 5/8" METAL STUDS

INT PARTITION F SCALE: 3" = 1'-0" **A2**

ISSUE LOG		
NO.	DATE	DESCRIPTION
1	2023-05-23	Issue for Permit
3	2024-01-22	ADDENDUM 1

CONSULTANT: ARCHITECT:

English + Associates Architects, Inc

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SEAL:

PROJECT NAME:
611 Walker Mitigation Project-Hurricane Harvey

PROJECT ADDRESS:
611 Walker Street
Houston Texas 77002

CITY OF HOUSTON

APPROVALS

WATER ENGINEERING	TRAFFIC AND TRANSPORTATION
WASTEWATER ENGINEERING	STREET, BRIDGE, & ROW ENG.
STORMWATER ENGINEERING	PLANNING & DEVELOPMENT

DATE: 2024-01-22
PROJECT NO.: 22001.01
SCALE: As indicated
DRAWN BY: Author
CHECKED BY: KE

SHEET TITLE:
DOOR & WINDOW SCHEDULE, TYPES, & NOTES

SHEET NO.: **A640**