

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



**PLANNING &
DEVELOPMENT
DEPARTMENT**

PROPERTY

Address 711 Fannin (aka 720 San Jacinto, 1111 Rusk)

Historic District / Landmark Landmark HCAD # 0010790000001

Subdivision SSBB Lot 1 through 12 & TRS 13, 14, 15, 16, 18, 19, 22, 23 & 24 Block 79

DESIGNATION TYPE

- Landmark
- Protected Landmark
- Archaeological Site
- Contributing
- Noncontributing
- Vacant

PROPOSED ACTION

- Alteration or Addition
- Restoration
- New Construction
- Relocation
- Demolition
- Excavation

DOCUMENTS

Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name Julian Hawes
Rusk

Company Rusk at San Jacinto Partners, LP

Mailing Address 10210 N. Central Expressway, suite 300
Dallas, Texas 75231

Phone 972-385-4100

Email [Redacted]

Signature *Julian Hawes*
By: FRA GT No. 2, Inc., its Manager

Date July 31, 2017
Julian Hawes
Vice President

APPLICANT (if other than owner)

Name Hannah Curry-Shearouse

Company SWCA Environmental Consultants

Mailing Address 10245 West Little York Road, suite 600
Houston, Texas 77040

Phone 281-617-3217

Email [Redacted]

Signature *Hannah Curry-Shearouse*

Date 8/1/17

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____ Application received: ___/___/___ Application complete: ___/___/___

The Texas Company Building

711 Fannin (aka 720 San Jacinto, 1111 Rusk), Houston, Harris County, Texas

August 2017, prepared by Anna Mod, SWCA Environmental Consultants and HBG Design

This COA application is for the addition of an amenity deck on the rooftop of the Texas Company Building, a City of Houston Landmark. The Texas Company was constructed in three phases: 1915, 1936 and 1959. The proposed amenity deck and pavilion will be added to the rooftop of the 1959 portion of the building.

Existing Conditions – Atop the 1959 rooftop sits an original two-story, buff-colored, brick-clad, mechanical penthouse with a flat roof. There is also a smaller, one-story mechanical penthouse addition to the west added in the recent rehabilitation. A 4'-0" high Classical balustrade parapet, composed of regularly spaced terracotta pedestals and balusters surround the 1959 rooftop on the public sides (north, west and south).

Proposed Work – Amenities for residents such as a Fitness Room, a Display Kitchen and 16th Floor Lounge are proposed for roughly half of the 16th Floor (the current top floor interior space). A new two-stop elevator will be installed from Level 16 up to the first level of the existing 1959 mechanical penthouse above (Level 17) and provide ADA egress and stretcher access to this level that is required by code. Half of the Level 17 mechanical penthouse will be repurposed as connector for a planned “sky lounge and roof deck” with an interior monumental stair connecting Levels 16 and 17. The second level of the two-story penthouse is strictly mechanical in nature with elevator overrun and have no public access.

The proposed Level 17 addition is a one-story, metal paneled pavilion with storefront glazing and a raised open rooftop deck area atop the existing 1959 rooftop. The existing west wall is brick with a single pedestrian door will be removed only where the existing penthouse meets the new pavilion.

The south edge of the proposed pavilion roof overhang is setback 15'-2" from the southern (Rusk) elevation; the western edge of the pavilion roof overhang is setback 20'-2" from the western (Fannin) edge of the building. The proposed pavilion height is 17'-3" feet as measured from the base of the parapet. In comparison, the top of the existing two-story penthouse is 25'-6" from the base of the parapet. The addition is significantly smaller, subordinate to and differentiated from the original two-story penthouse.

The pavilion will be further differentiated from the original through contemporary materials such as aluminum composite material (ACM) and glass. A rooftop deck extends from the pavilion to the west, south and north; the deck will be a composite material deck attached to a light steel structural frame secured to the 1959 roof structure. The edge of the deck is 10'-0" from the southern edge and 12'-8" from the western edge of 1959 building parapet. Surrounding the deck is a 42" cable rail guardrail system composed of cable rail infill, 1 ½" round stainless steel top rail supported by stainless steel posts @ roughly 5'-0" O.C. Atop the pavilion are two stainless steel guard systems that provide fall protection near the rooftop equipment.



A: Roof, overall, view W from 1915 roof towards 1959
June, 2017

File: DSC_2163.JPG



B: Roof, overall, view NE, new duct work and 1915 penthouse
June, 2017

File: DSC_2167.JPG



A: Roof, 1915 penthouse, view S
June, 2017

File: DSC_2161.JPG



B: Roof, view SW from 1936 roof of new fire stair and rebuilt 1959 N wall
June, 2017

File: DSC_2160.JPG



A: Roof, overall of 1959 roof penthouse (in rear) and new mechanical addition, view NE
June, 2017

File: DSC_2150.JPG



B: Roof, W elevation of 1959 roof penthouse (in rear) & new mechanical addition, view E
June, 2017

File: DSC_2149.JPG



A: Roof, N elevation of 1959 penthouse and new stair pressurization equipment, view SW
June, 2017

File: DSC_2153.JPG



B: Roof, partial N and W elevations of 1959 penthouse, view SE
June, 2017

File: DSC_2148.JPG



A: Roof, S elevation of 1959 penthouse, view W
June, 2017

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B: Roof, S elevation of 1959 penthouse, view E
June, 2017

File: <No intersecting link>





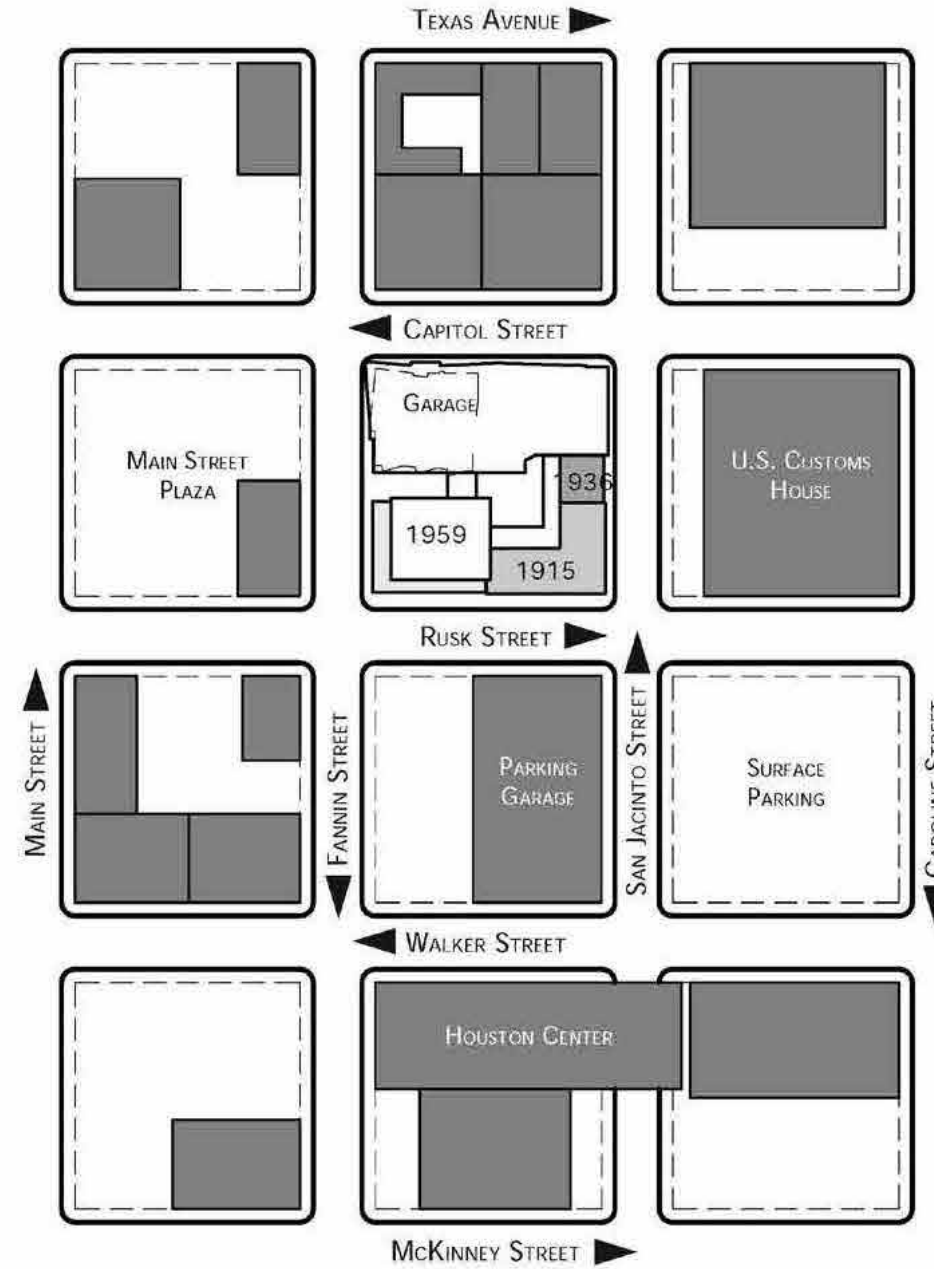
EAST AND SOUTH FACADES OF ORIGINAL 1915 BUILDING
 (COURTESY OF METROPOLITAN RESEARCH CENTER, HOUSTON PUBLIC LIBRARY)



SOUTH VAULTED ARCADE OF THE 1915 BUILDING
 (COURTESY OF AVERY ARCHITECTURAL AND FINE ARTS LIBRARY, COLUMBIA UNIVERSITY, NY, NY)



VIEW SOUTH DOWN SAN JACINTO STREET OF CONSTRUCTION OF 1936 BUILDING ADDITION
 (COURTESY OF AVERY ARCHITECTURAL AND FINE ARTS LIBRARY, COLUMBIA UNIVERSITY, NY, NY)



HNEDAK BOBO GROUP



Location

▲ CAPITOL STREET
PUBLIC R.O.W.

EXISTING CONCRETE WALKWAY

▼ FANNIN STREET
PUBLIC R.O.W.

▲ SAN JACINTO STREET
PUBLIC R.O.W.

▲ RUSK STREET
PUBLIC R.O.W.

BASEMENT WALL BELOW

UPPER STORY BUILDING OVERHANG

EDGE OF BUILDING AT GROUND LEVEL

PROPERTY LINE

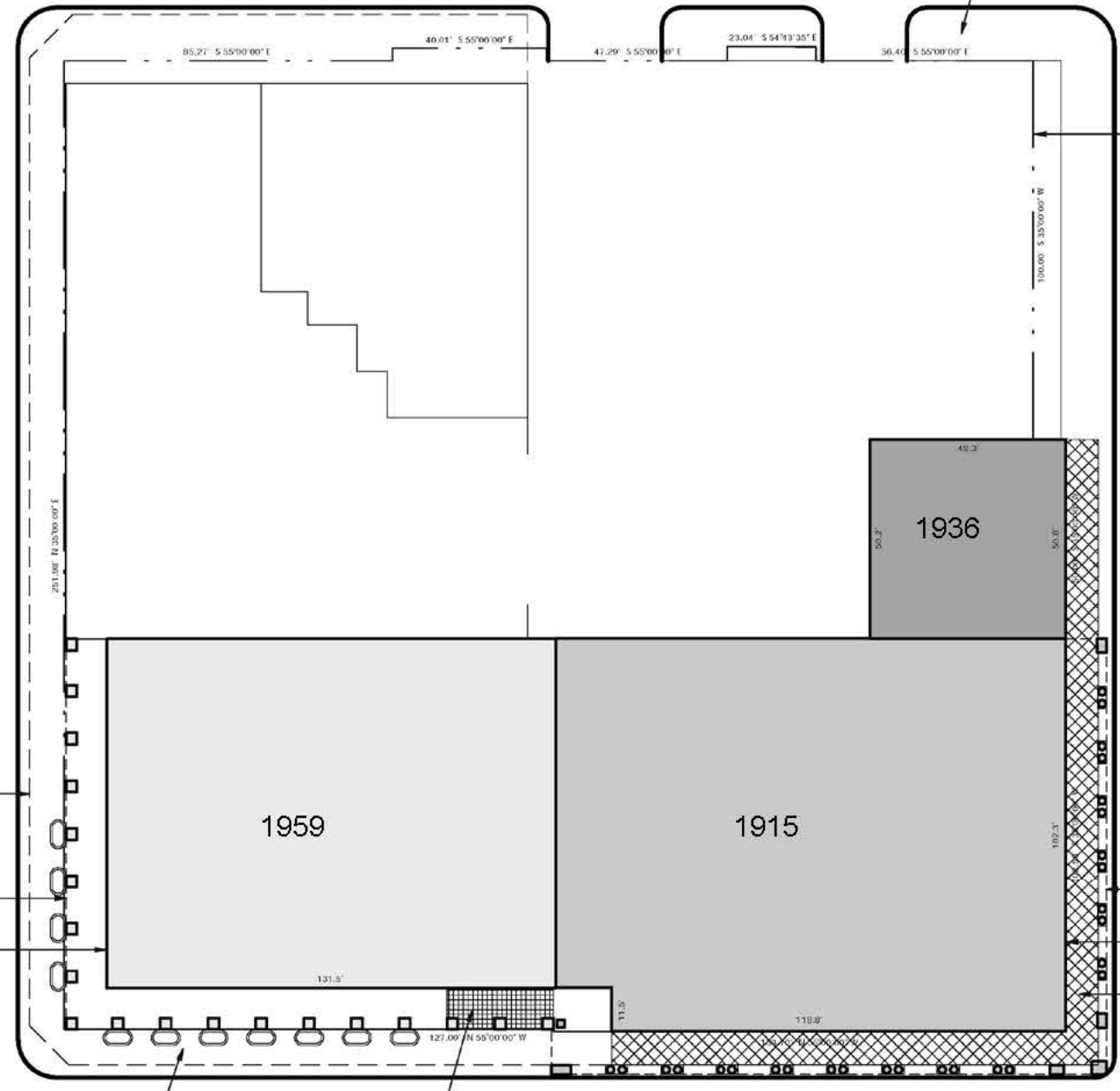
UPPER STORY BUILDING OVERHANG

EDGE OF BUILDING GROUND LEVEL

EXISTING GRANITE WALKWAY

EXISTING CONCRETE WALKWAY

EXISTING 1X1 MARBLE TILES



H NEDAK BOBO GROUP

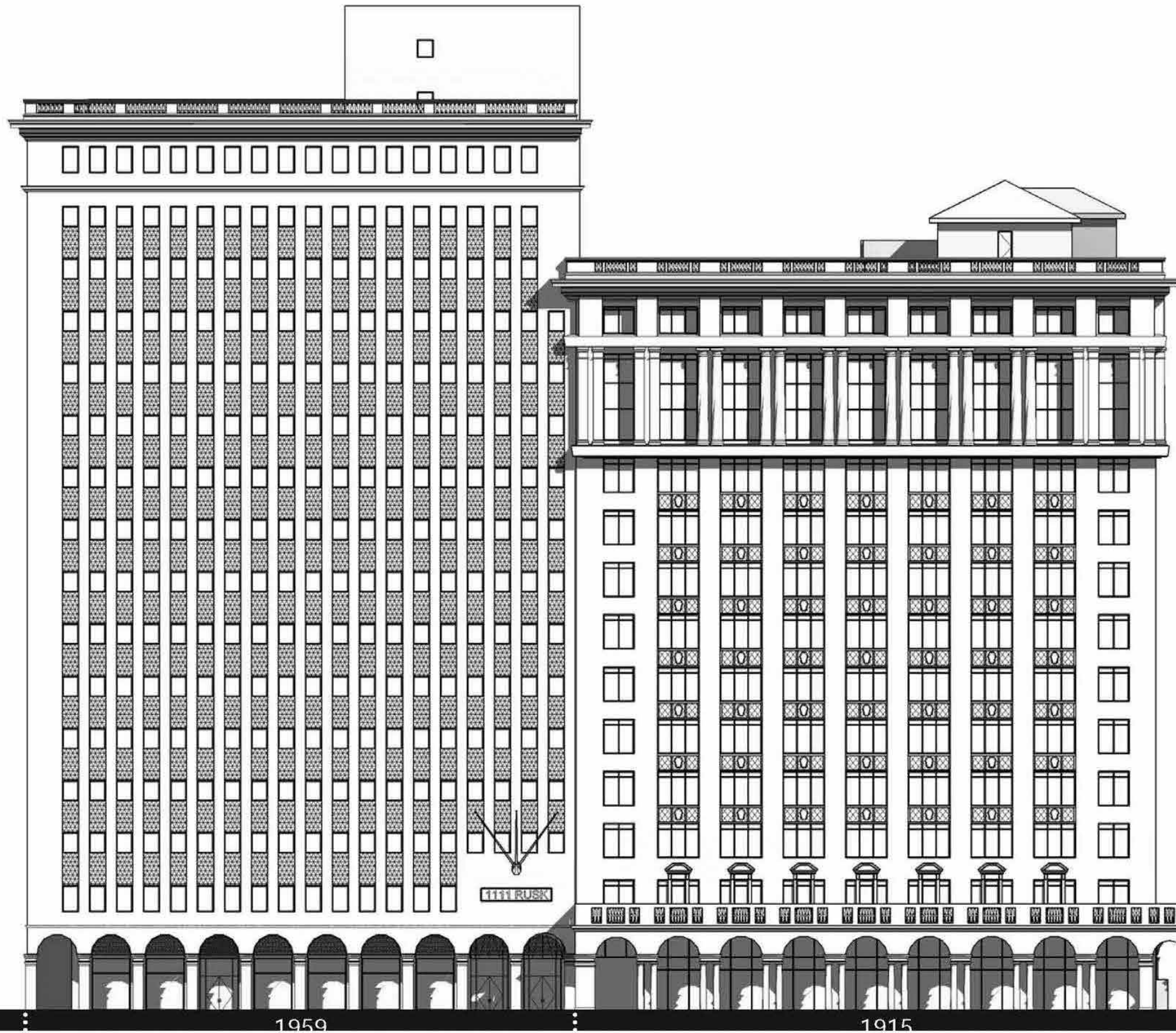
LEGEND

- 1915 BUILDING
- 1936 BUILDING
- 1959 BUILDING

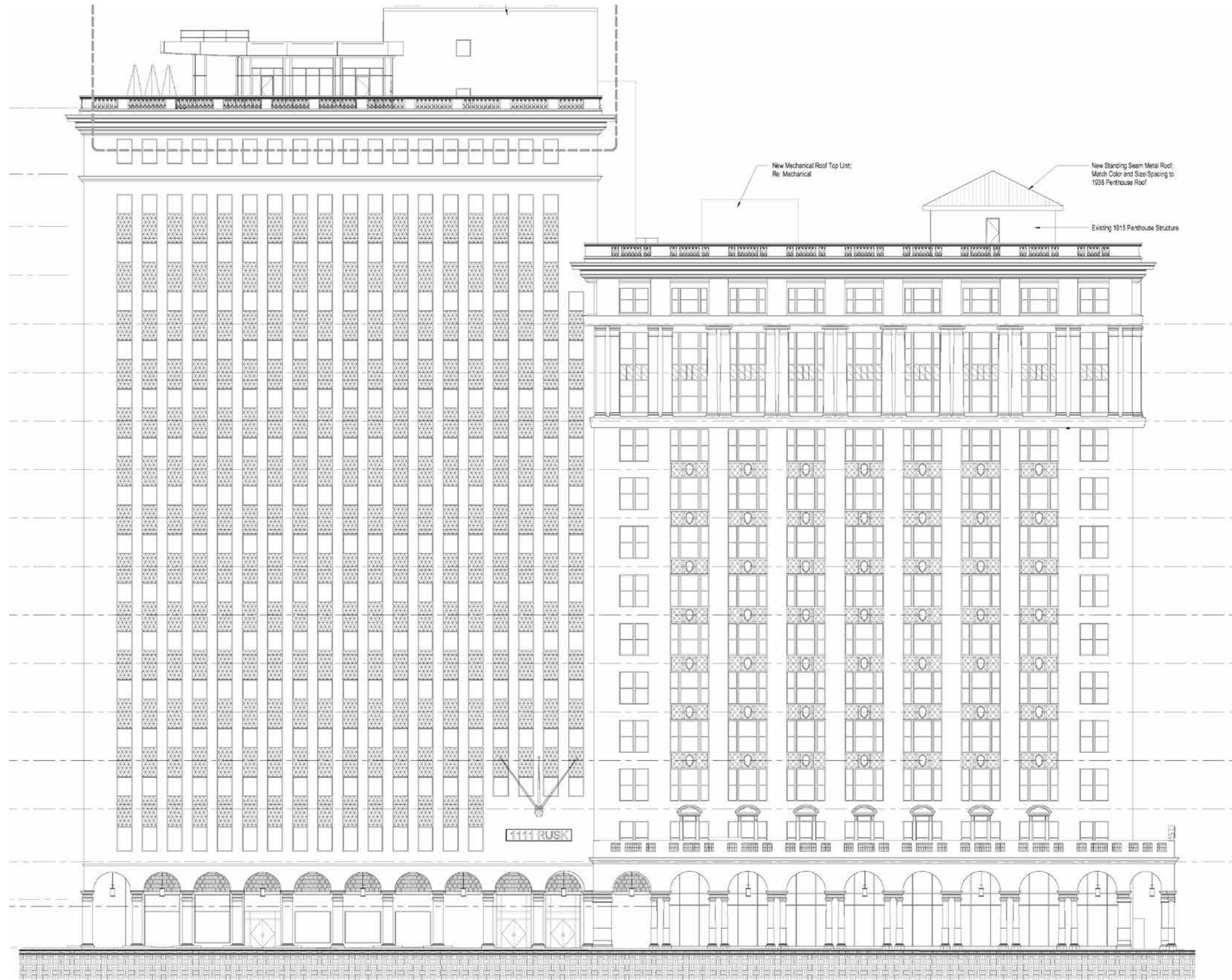


0' 20' 40'

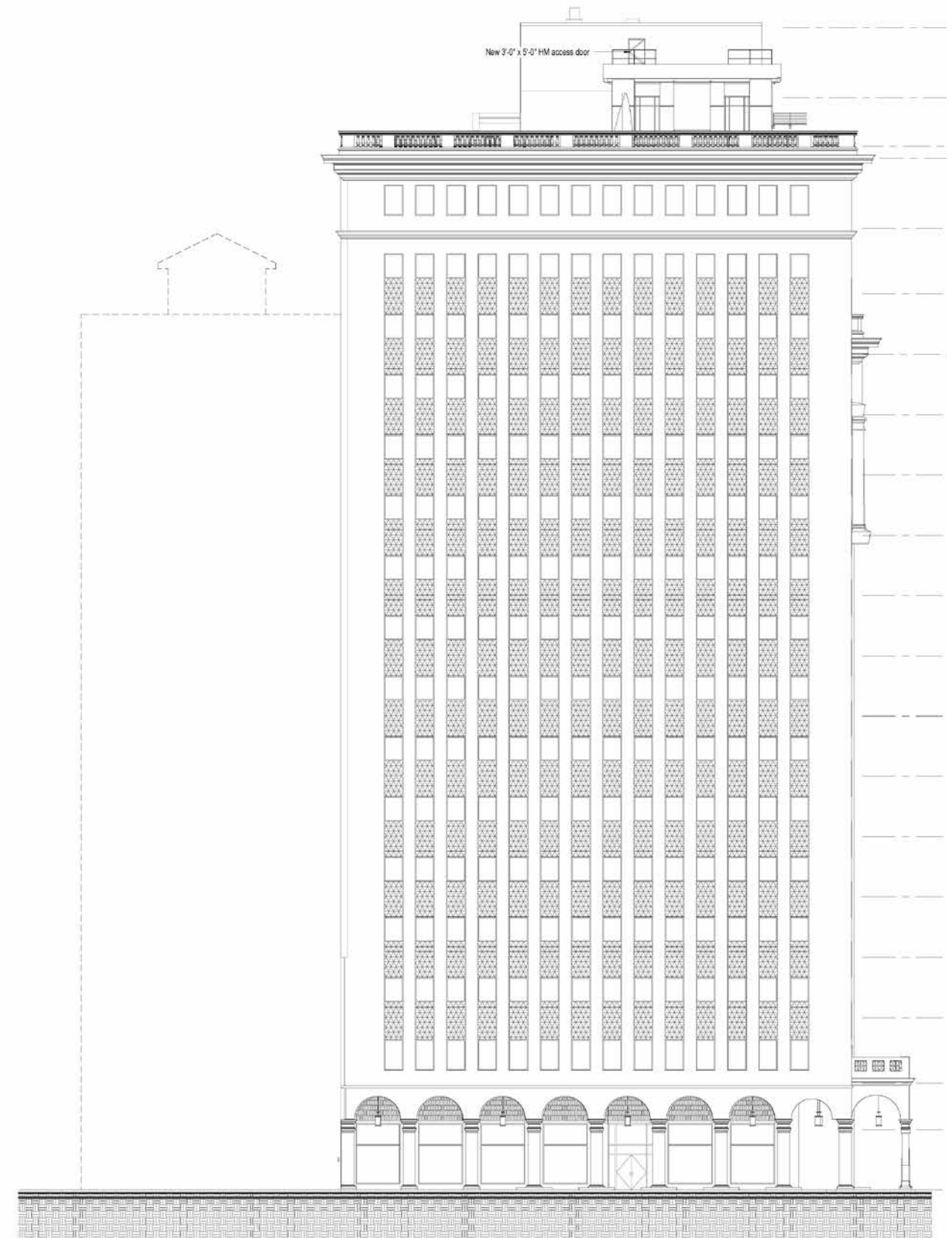
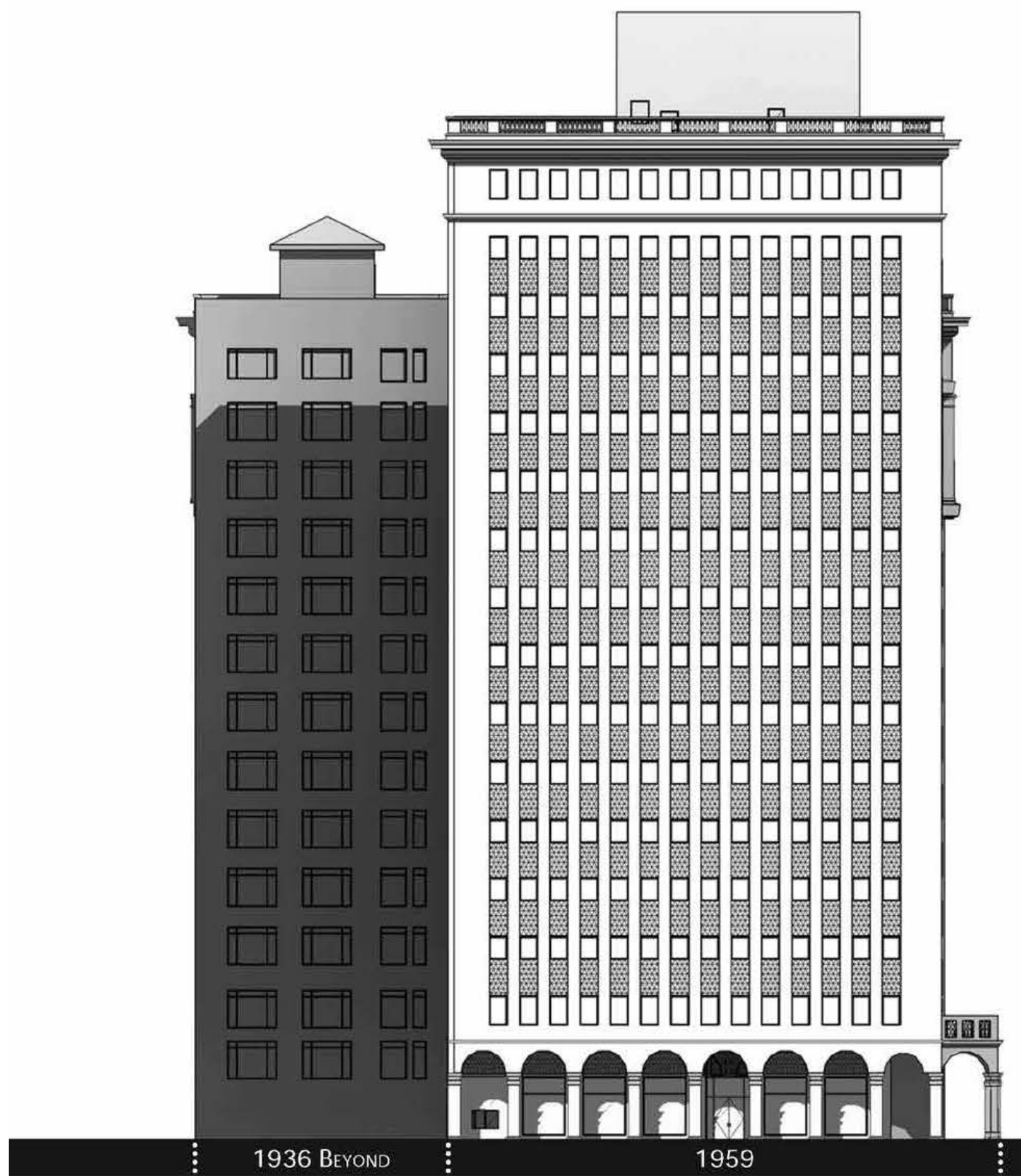
Site Plan - Existing



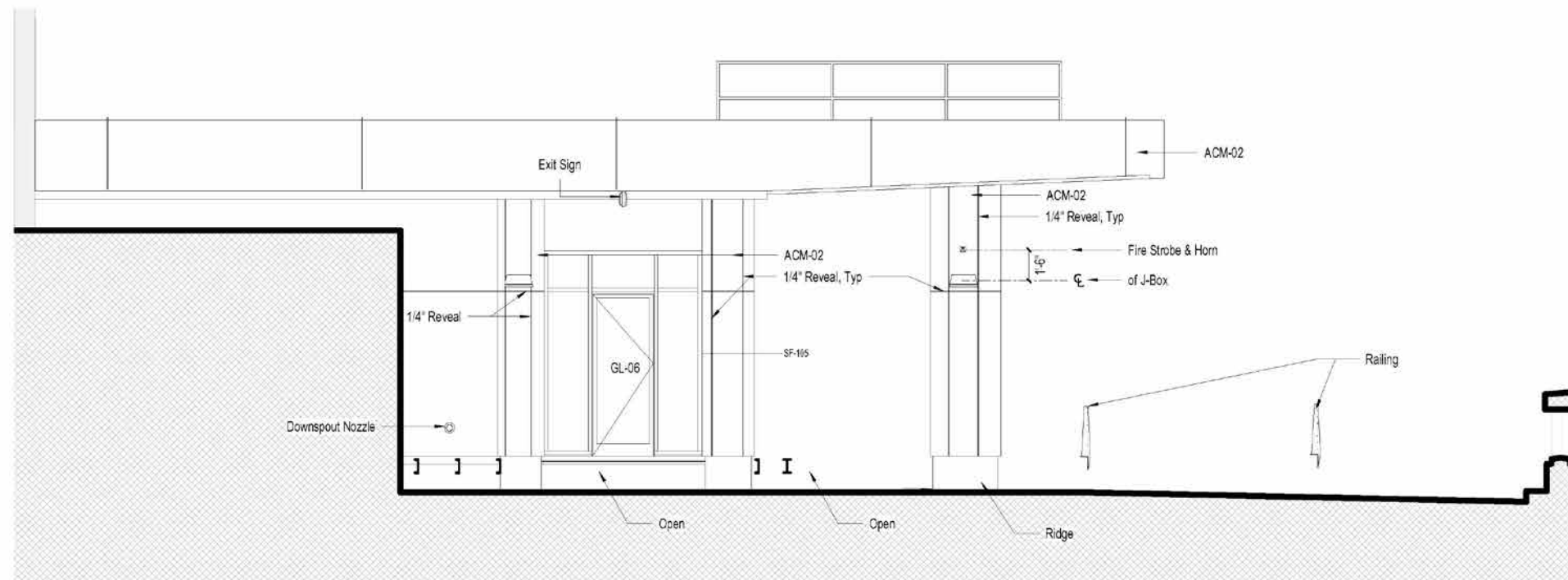
South Elevation - Existing



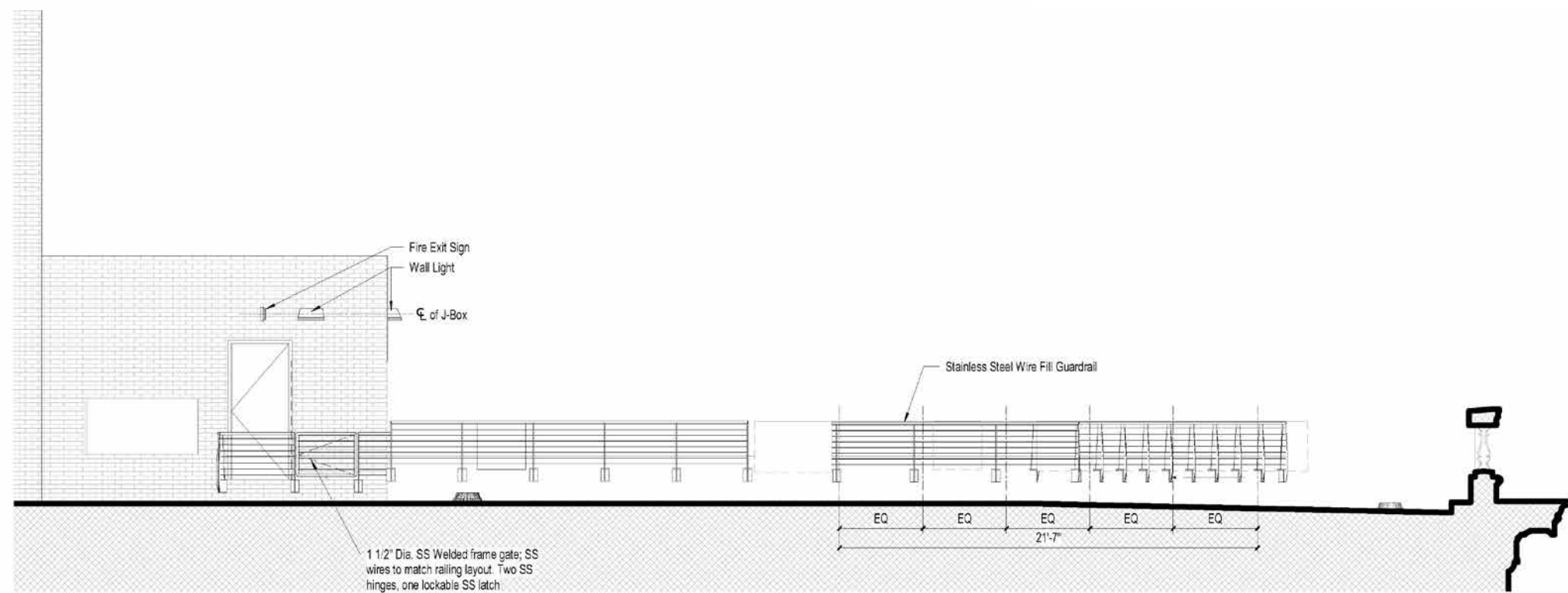
South Elevation - Proposed



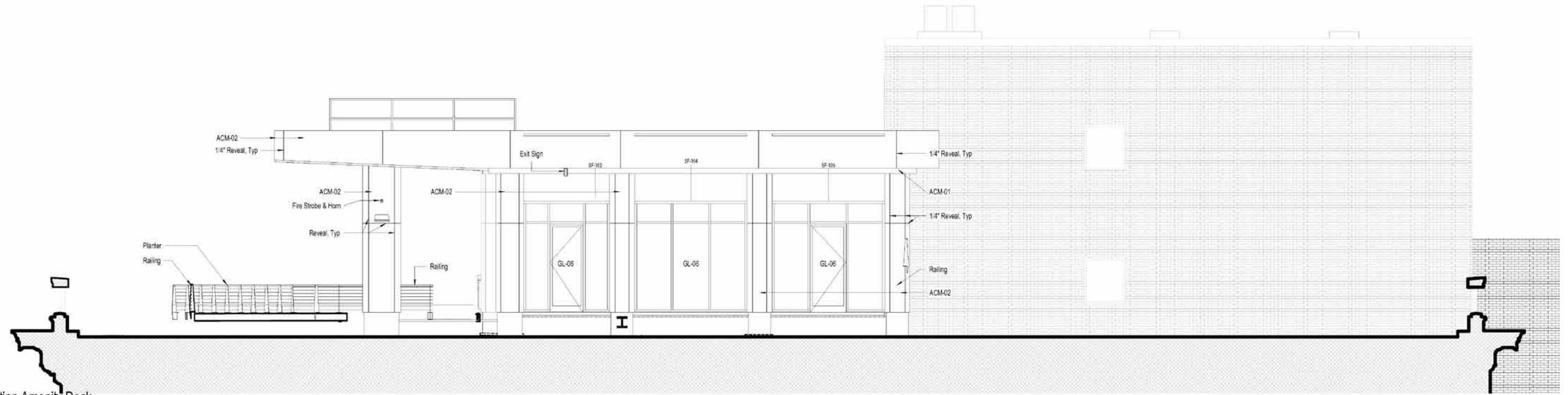
West Elevation - Existing (L) and Proposed (R)



P1	Amenity Deck North Elevation
A-111	1/4" = 1'-0"

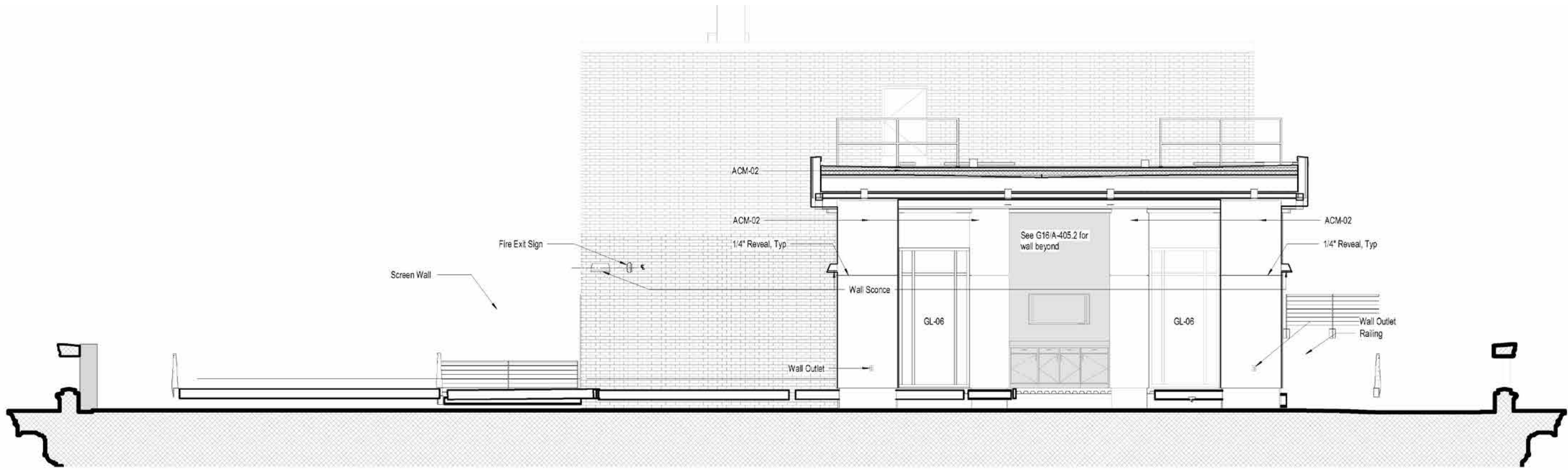


Proposed North Elevation of Amenity Deck and Railing

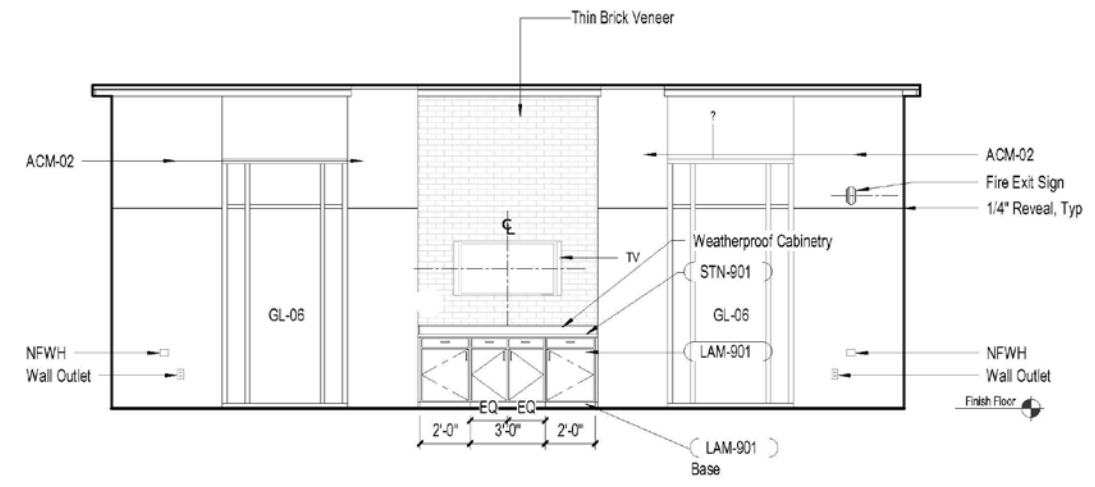


A1 South Elevation Amenity Deck
 A-403 1/4" = 1'-0"

Proposed South Elevation of Amenity Deck

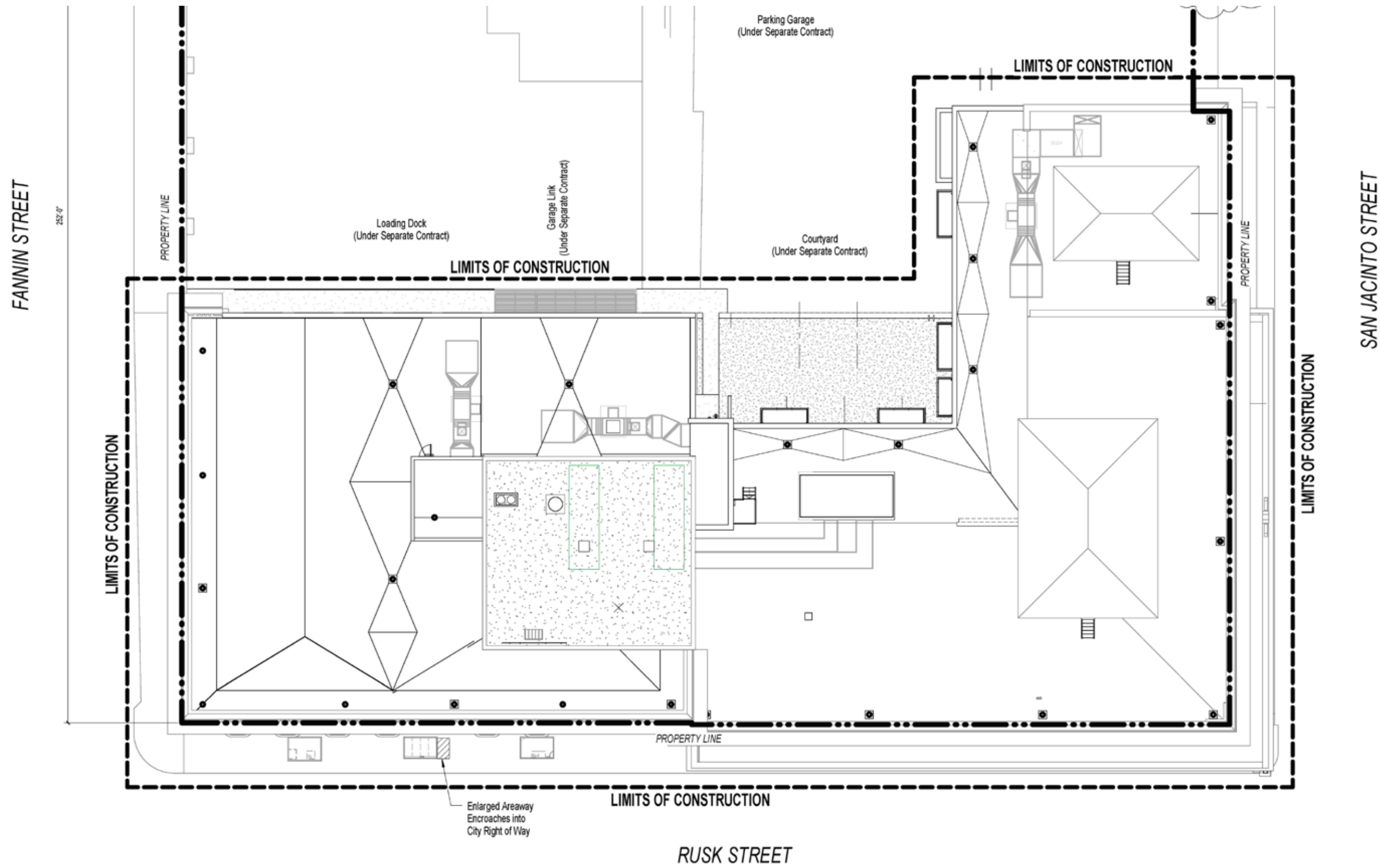


AC
NF
W
G1

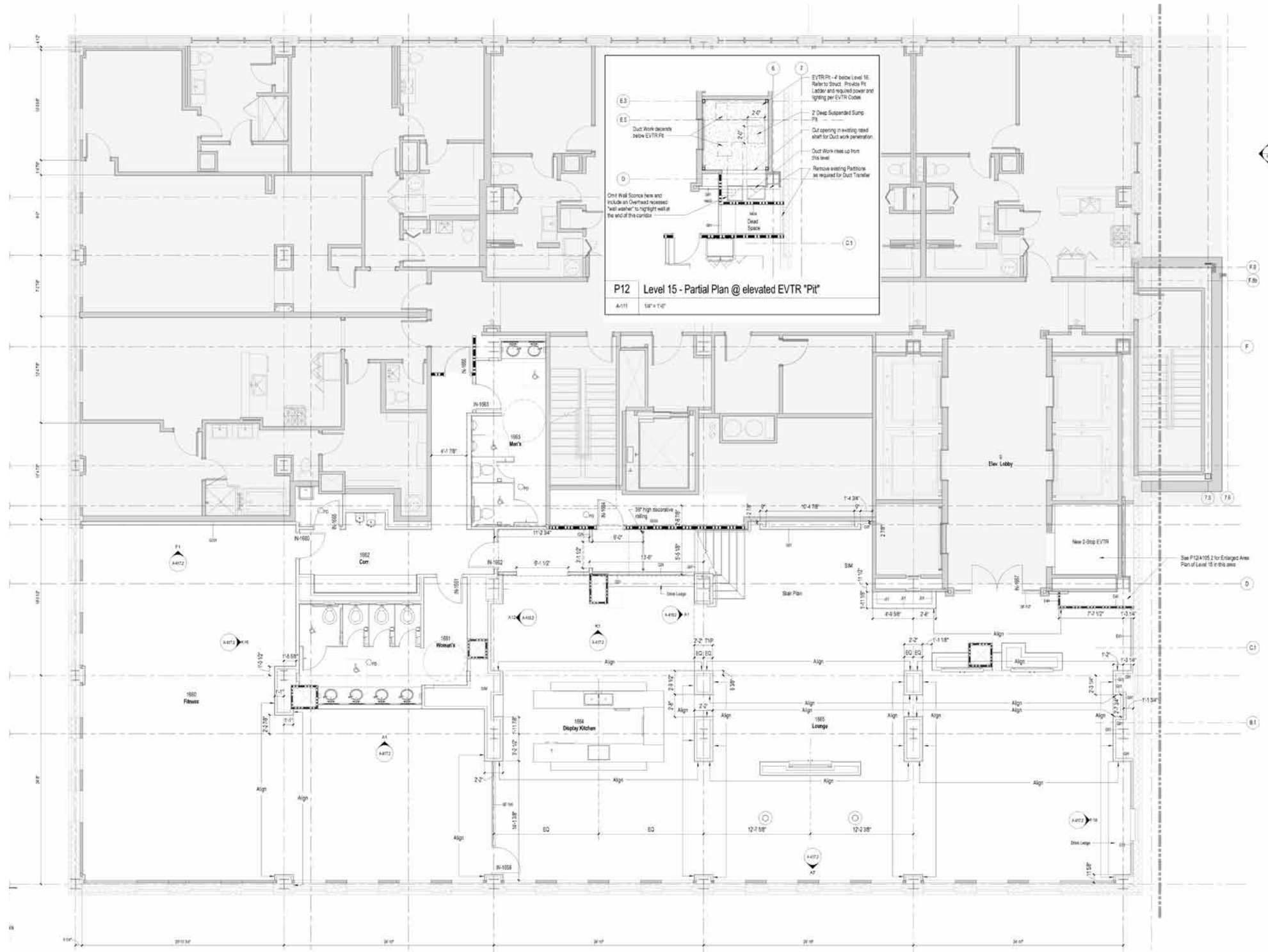


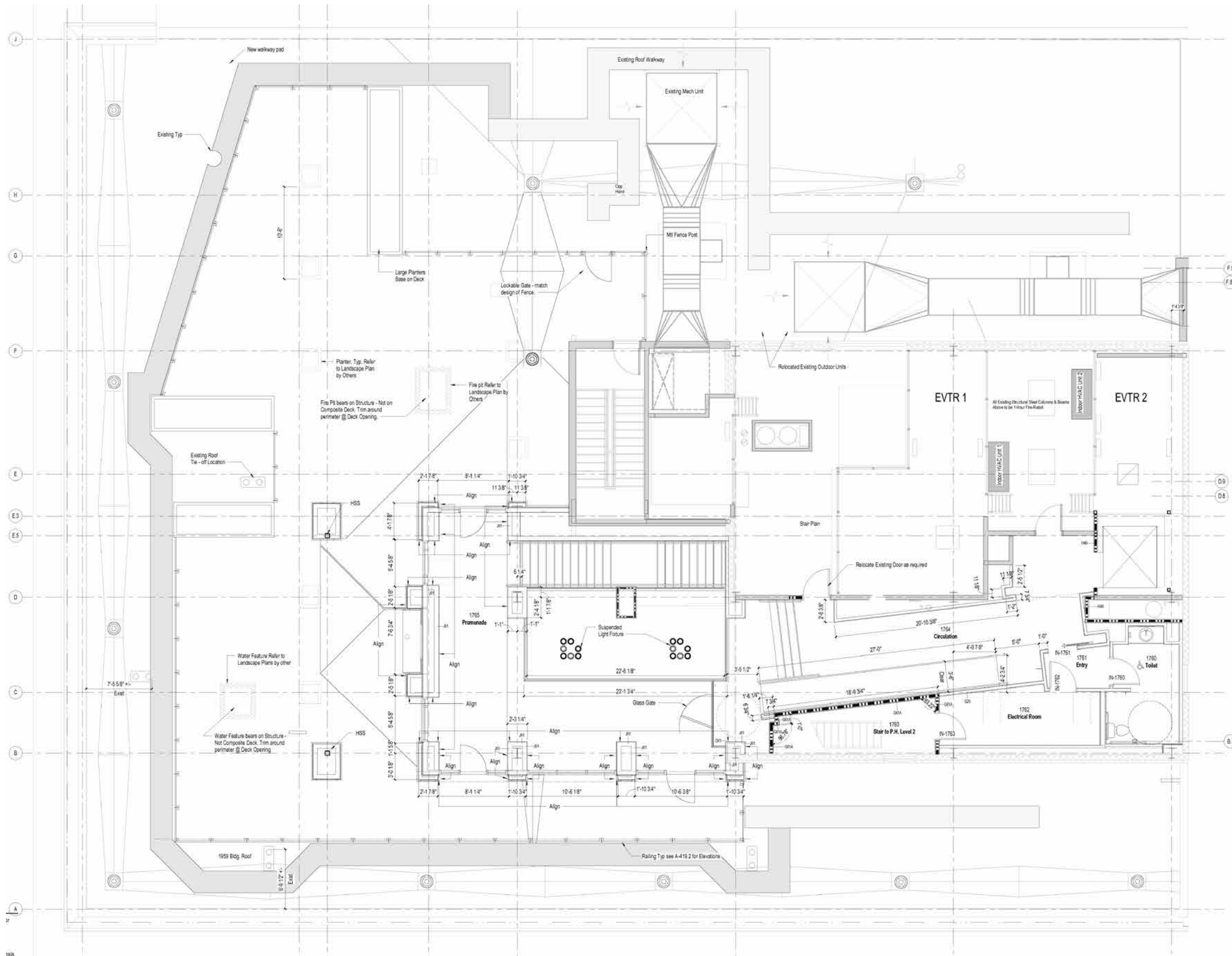
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Proposed West Elevation of Amenity Deck



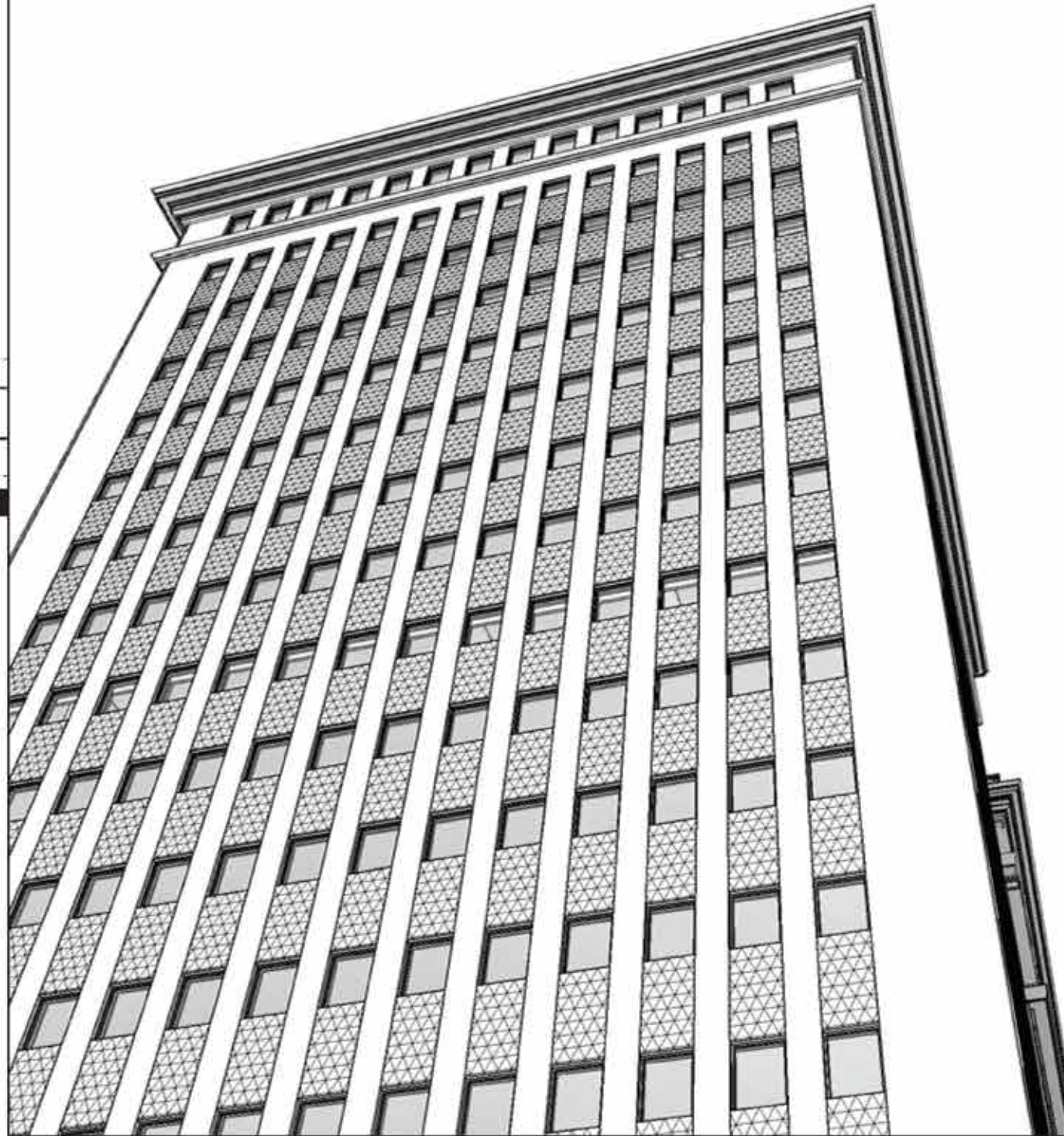
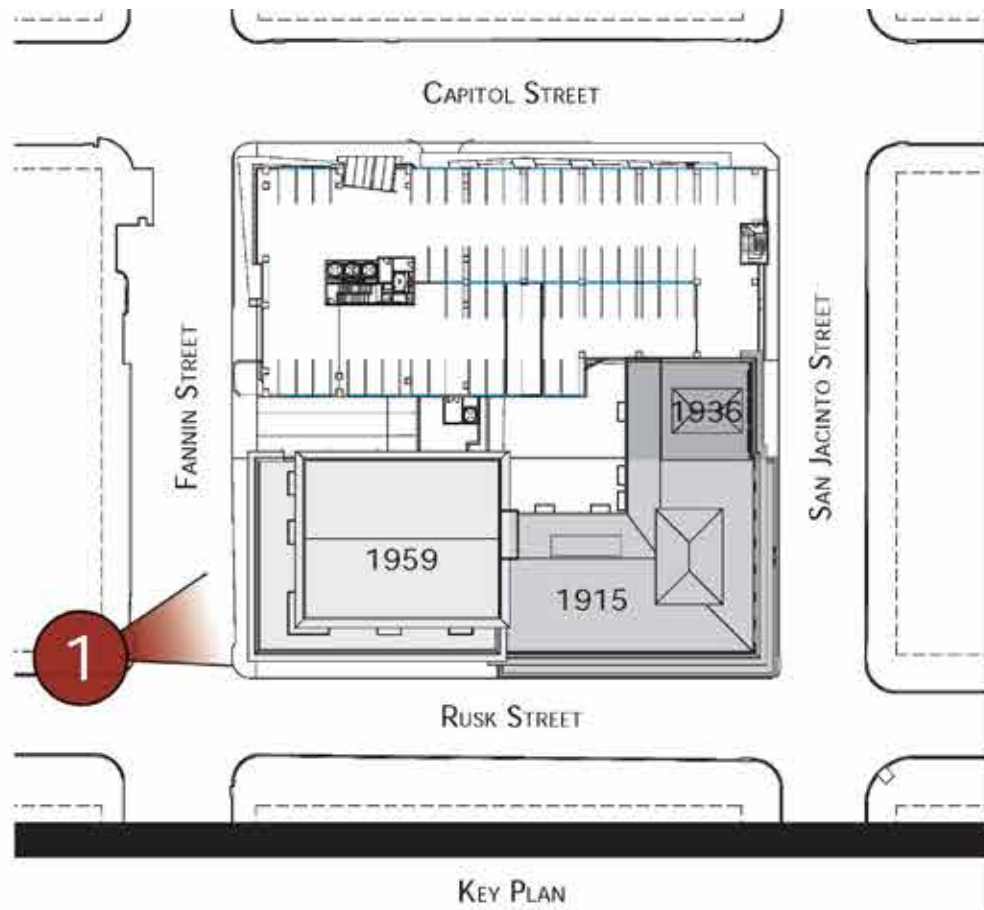
Existing Roof Plan



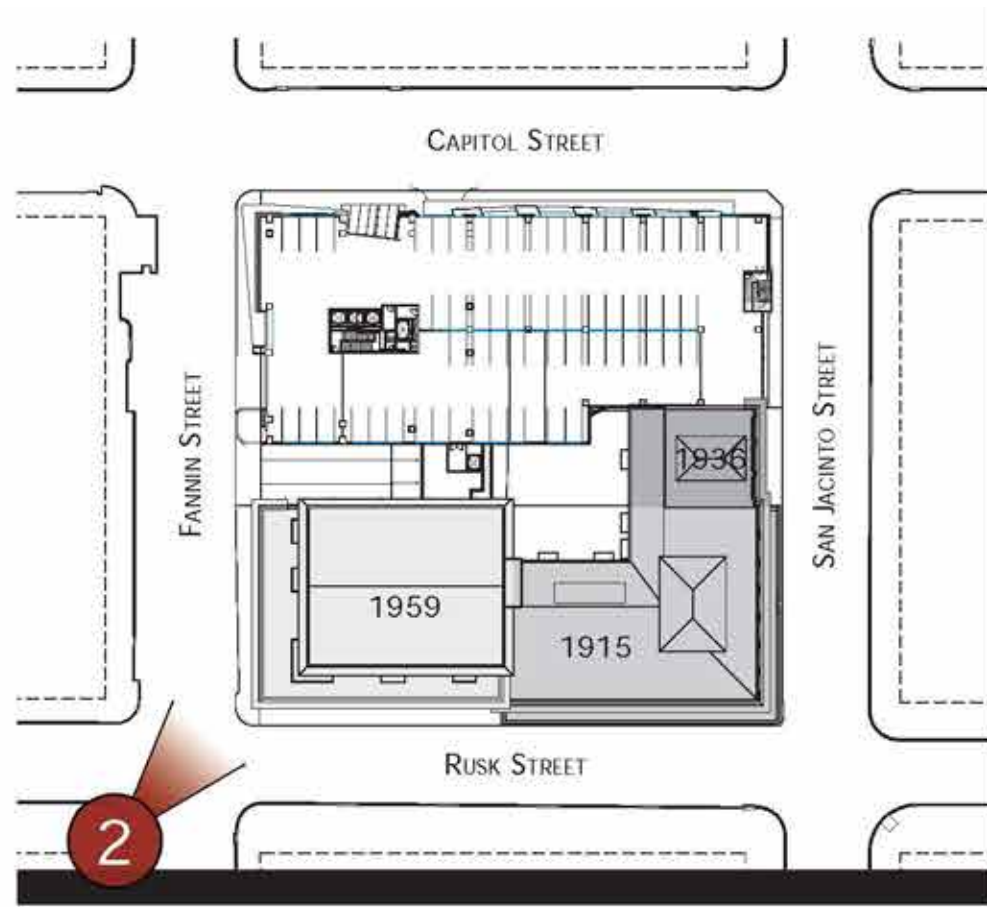


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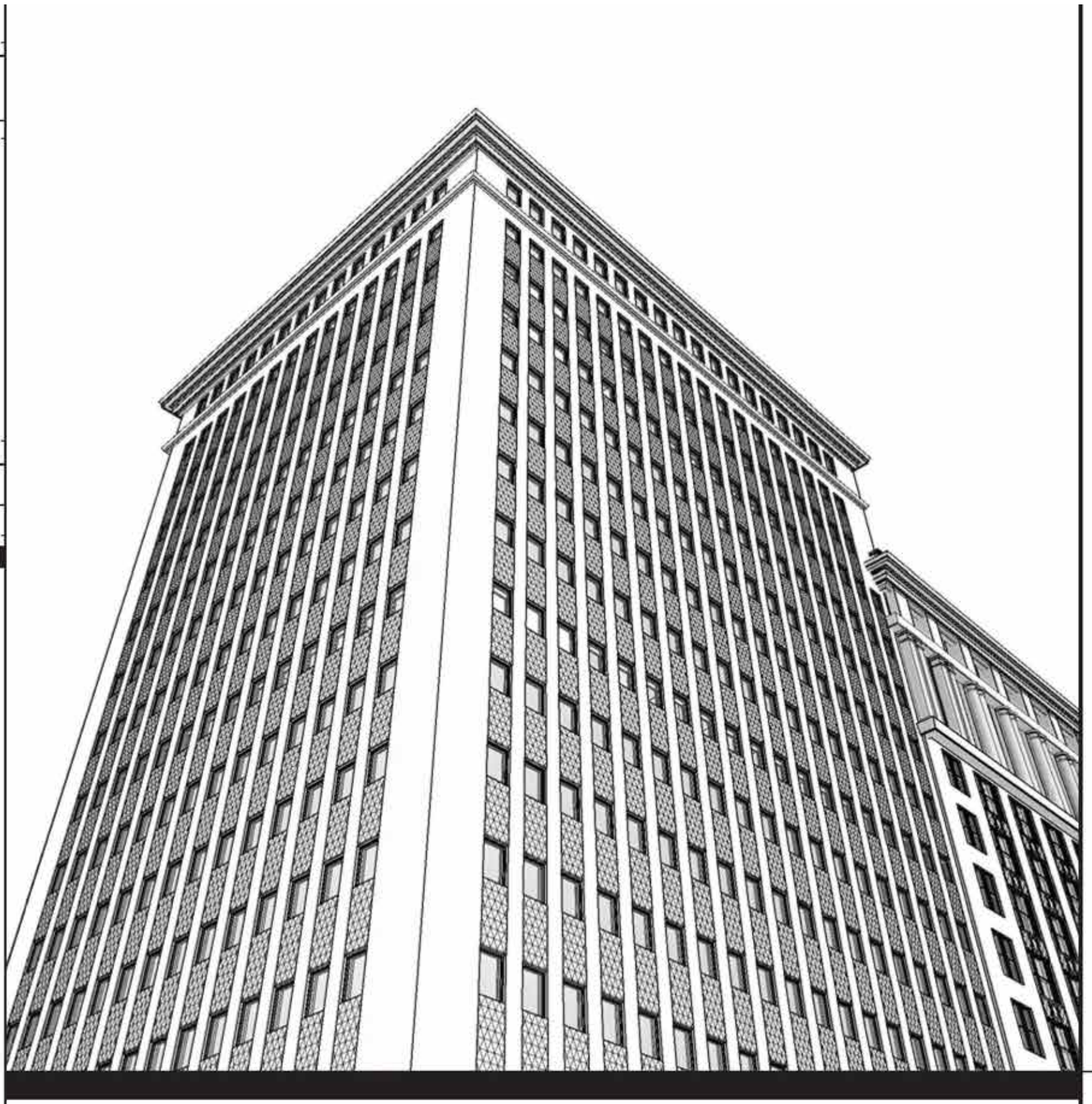
Proposed Floor 17



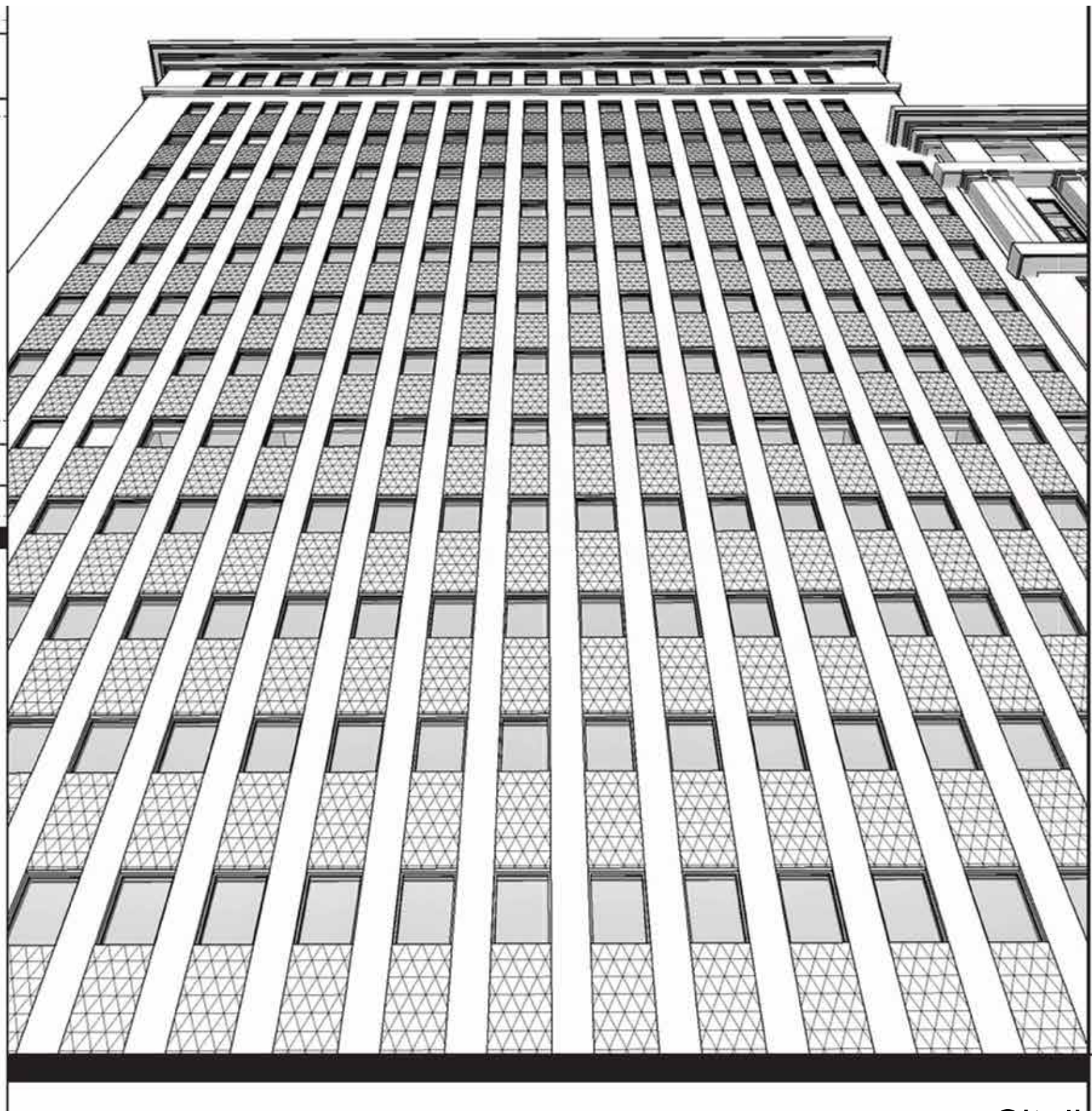
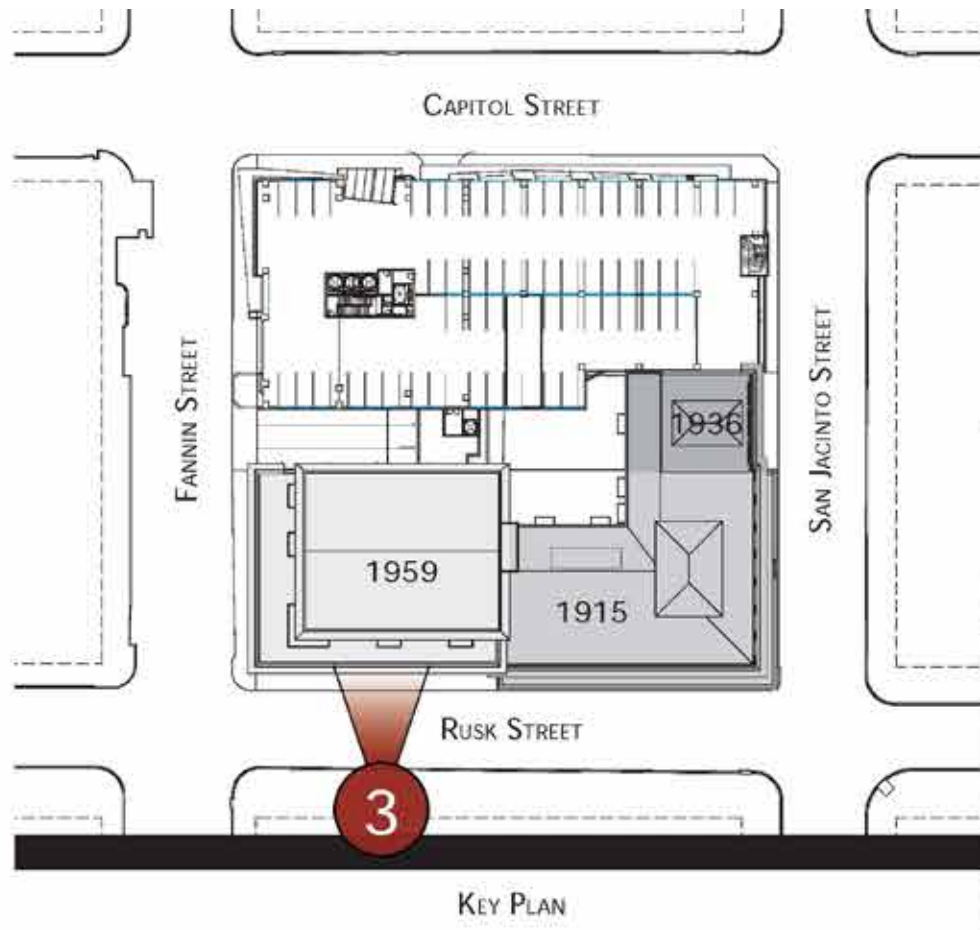
Siteline Study



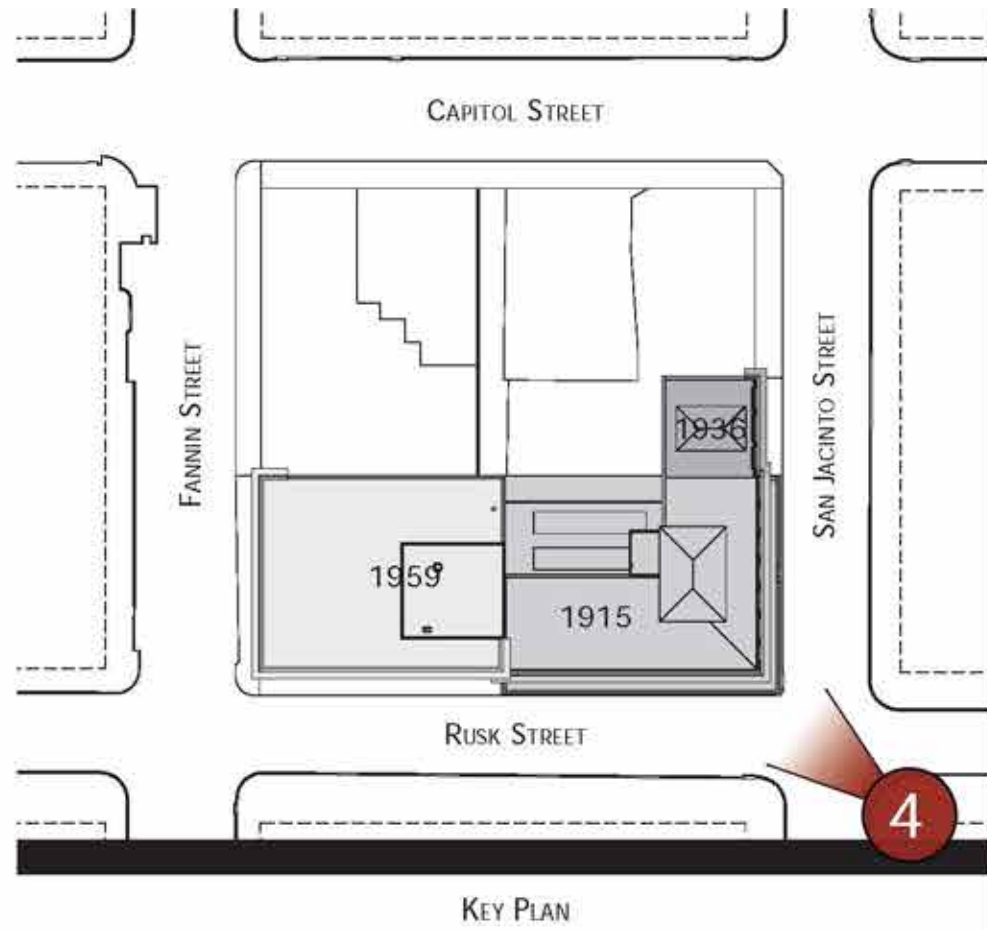
KEY PLAN



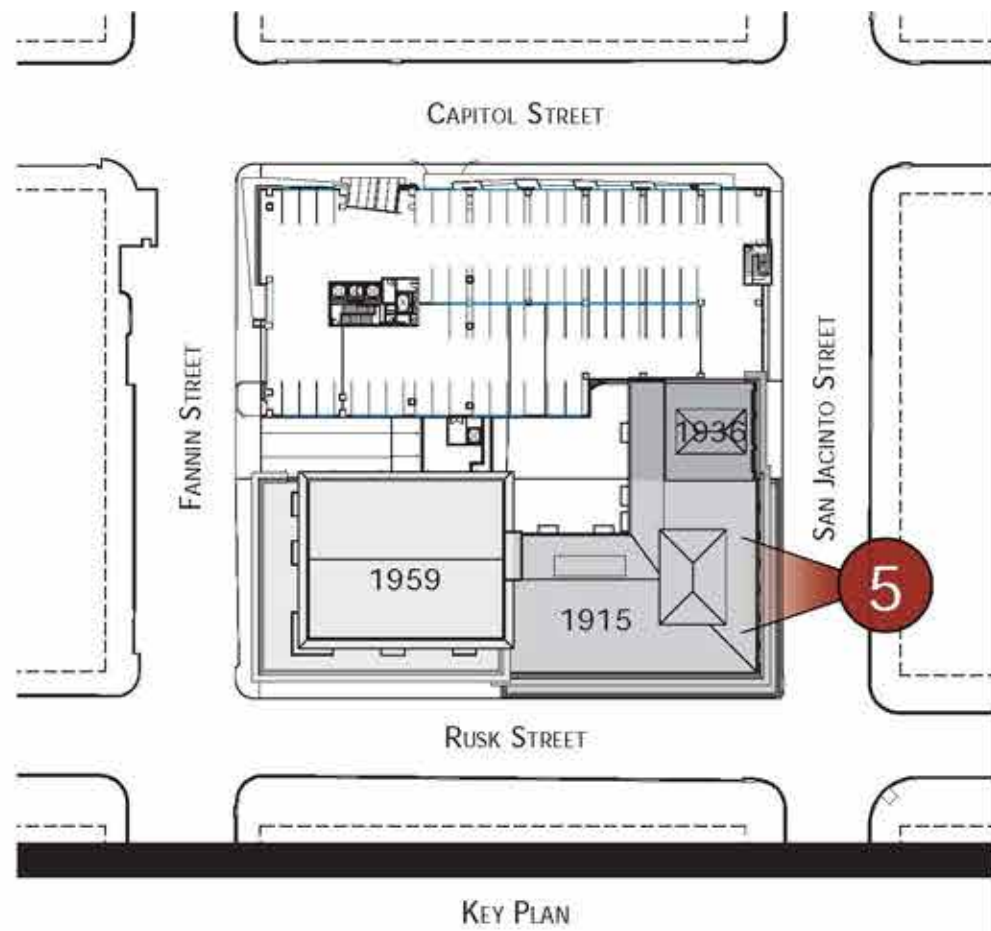
Siteline Study



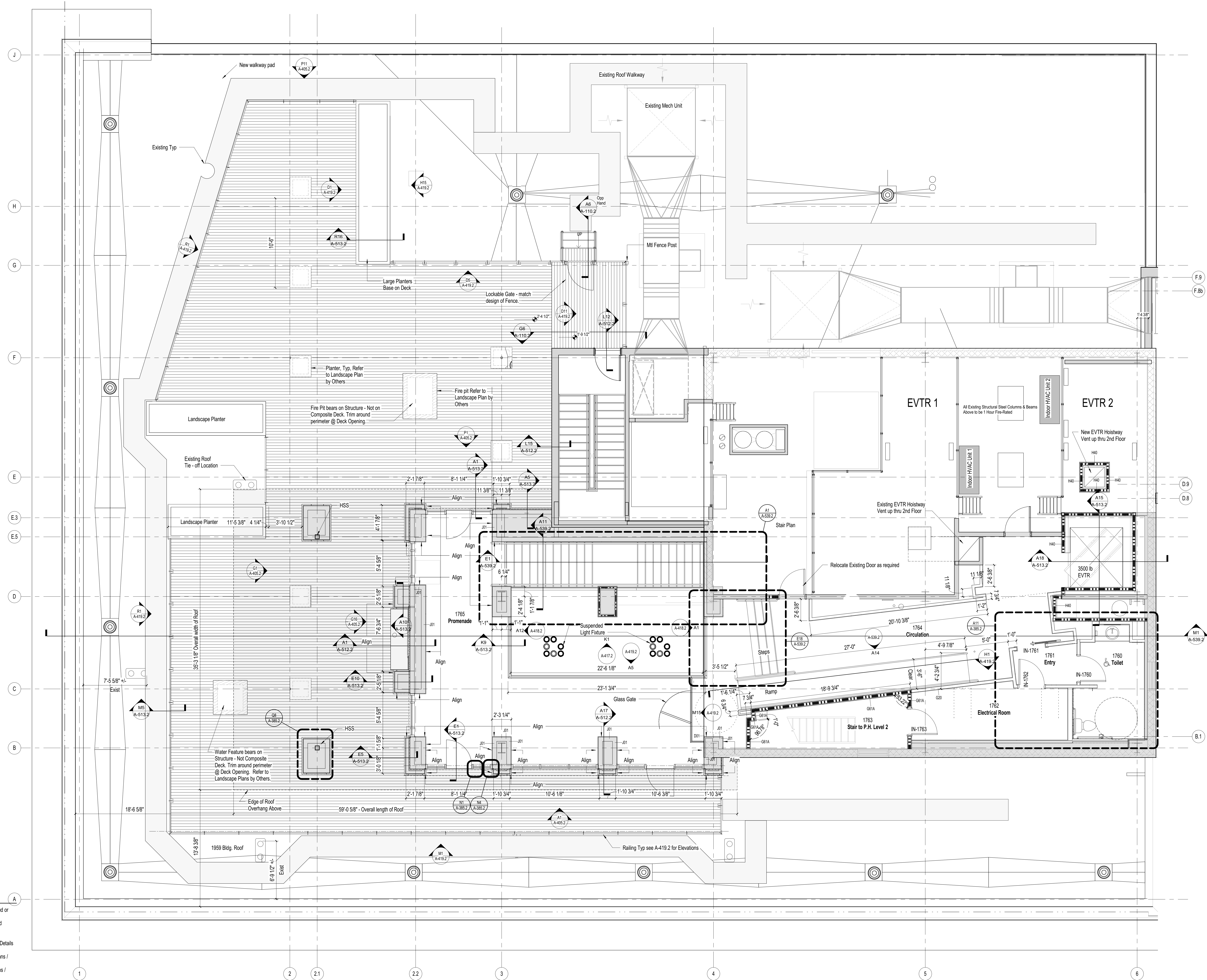
Siteline Study



Siteline Study



Siteline Study



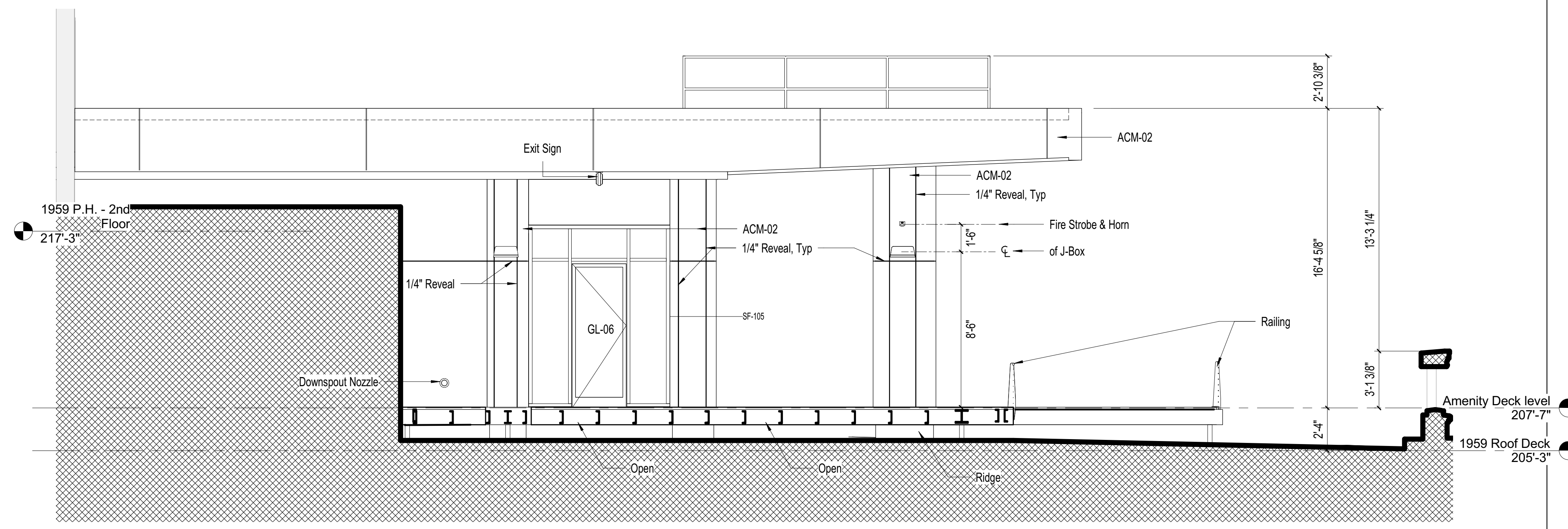
Note: All Walls to be G01 Unless Noted Otherwise.

General Plan Notes:

1. Exterior Dimensions are Measured to Outside Face of Stud or Centerline of Column - UNO
2. Interior Dimensions are Measured to Outside Face of Stud or Face of CMU - UNO
3. Refer to Specifications for Door Schedule, G-800
4. Refer to G-801 - G-806 for Door Types / Window Types / Details
5. Refer to G-900 for Interior Partition Types
6. Refer to Sheets A-380 A-381 for Typical Kitchen Floor Plans / Elevations
7. Refer to Sheet A-382 for Typical Bath / Shower Floor Plans / Elevations
8. Refer to Sheet G-801 for Typical Floor Material Transitions
9. Refer to E5 / A-650 for Typical Closet Shelving Mounting Heights
10. Refer to A12 / A110.2 for Area Under Elevated Deck and Elevated Floor Sub Edge Plan
11. Coordinate Ceiling Soffits Over Kitchen Cabinets with Kitchen Plans - See Sheet A-380 / A-381
12. Acoustical Insulation:
 2 1/2" Acoustical Insul shall be installed on all horiz Sanitary Plumbing within Ceiling Cavities of Dwelling Units.
 2 1/2" Acoustical Insul shall be installed on all vert Sanitary Plumbing pipes within Wall Cavities adjacent to Living Spaces (i.e. Bedroom, Kitchen, Living Room, Dining Room and Entry Foyers.)
 3/4" min Acoustical Insul shall be installed on all vert Sanitary Plumbing pipes within Wall Cavities adjacent to all other spaces (i.e. Bathrooms and Closets)

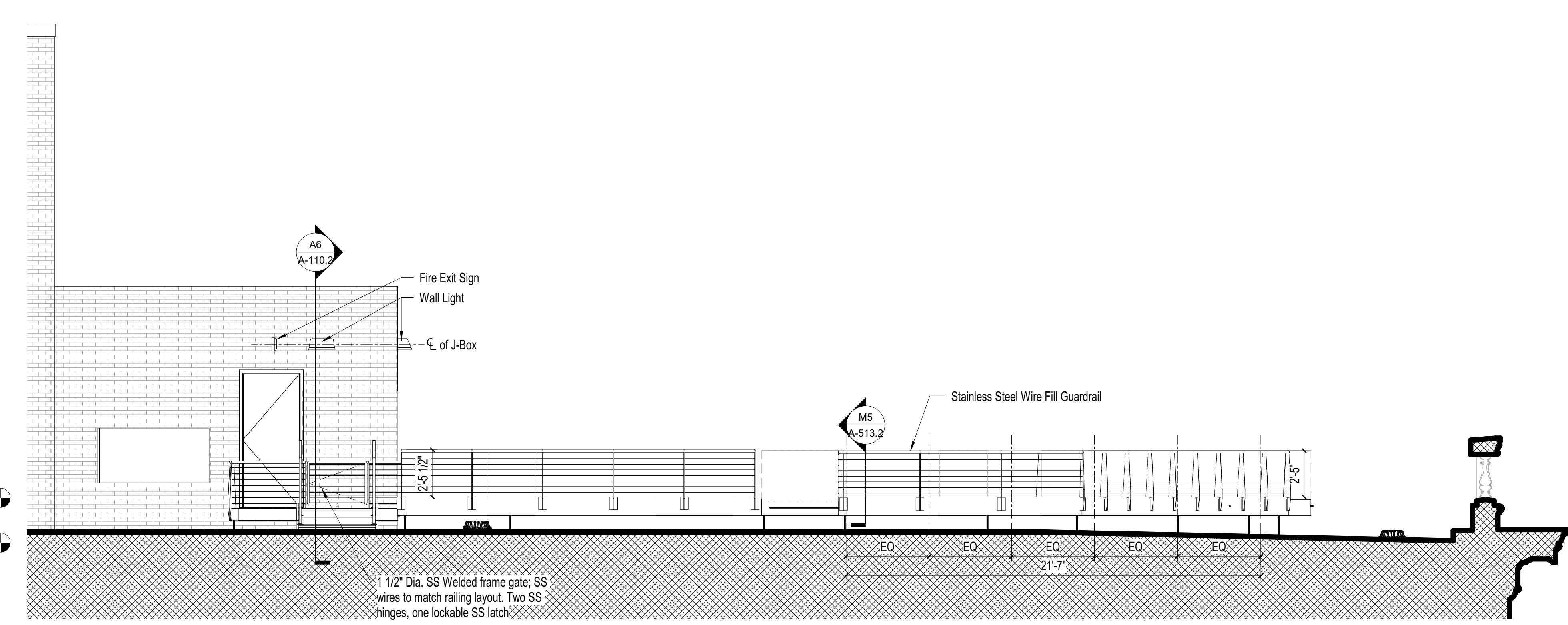
A1 Level 17 - Amenity Deck

1/4" = 1'-0"



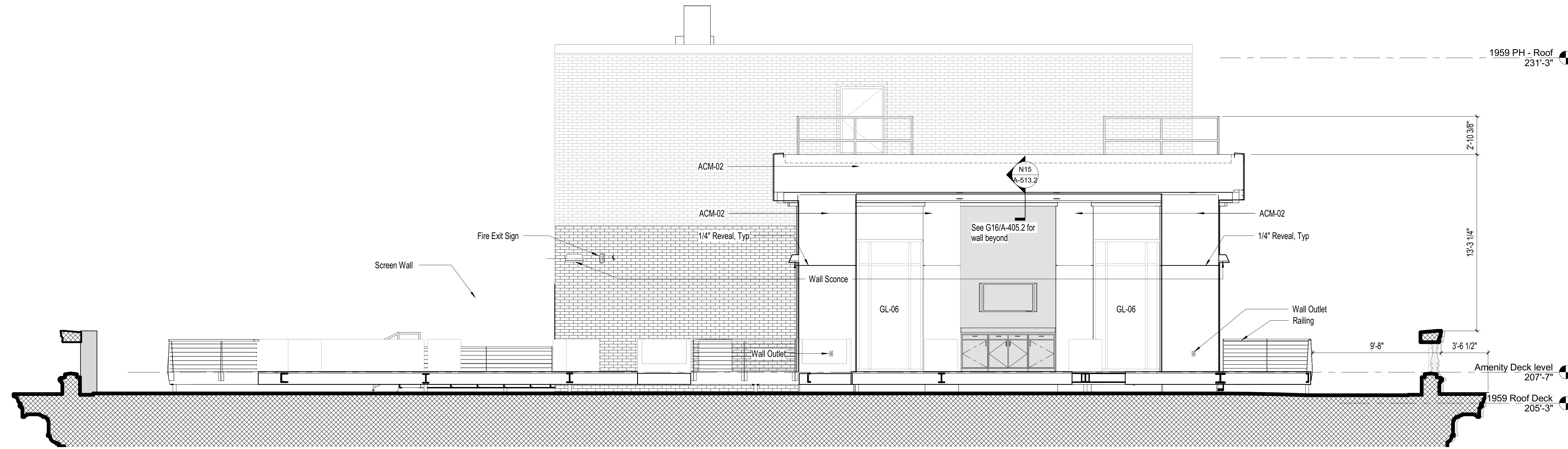
P1 Amenity Deck North Elevation

A-106.2 1/4" = 1'-0"



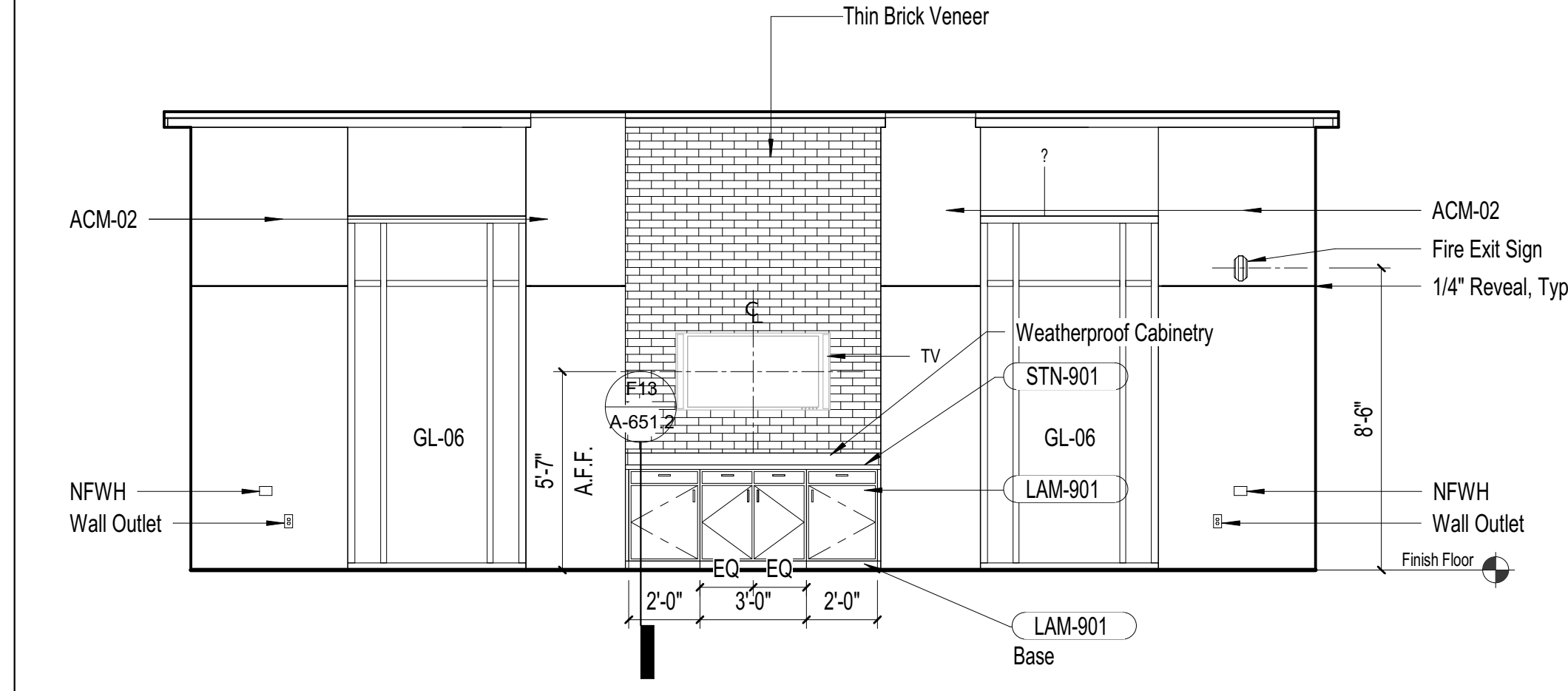
P11 North Elevation Railing

A-106.2 1/4" = 1'-0"



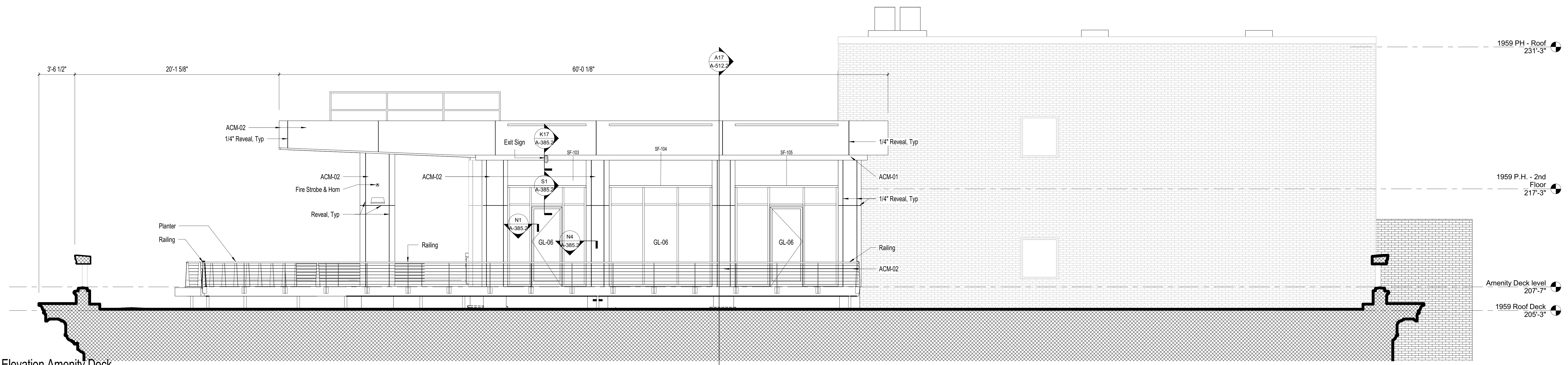
G1 West Elevation Amenity Deck

A-106.2 1/4" = 1'-0"



G16 West Elevation Amenity Deck 2

A-106.2 1/4" = 1'-0"



A1 South Elevation Amenity Deck

A-106.2 1/4" = 1'-0"