

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



**PLANNING &
DEVELOPMENT
DEPARTMENT**

PROPERTY

Address 1200 ROTHWELL Street

Historic District / Landmark _____ HCAD # _____

Subdivision _____ Lot _____ Block _____

DESIGNATION TYPE

- Landmark
- Protected Landmark
- Archaeological Site
- Contributing
- Noncontributing
- Vacant

PROPOSED ACTION

- Alteration or Addition
- Restoration
- New Construction
- Relocation
- Demolition *of NonHistoric Portion*
- Excavation

DOCUMENTS

- Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name CERZ Properties, L.P.

Company c/o Clay CRAWFORD

Mailing Address 1200 ROTHWELL ST.
HOUSTON, TX 77002

Phone 713-223-3333

Email _____

Signature [Signature]

Date 2/27/18

APPLICANT (if other than owner)

Name _____

Company _____

Mailing Address _____

Phone _____

Email _____

Signature _____

Date _____

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____ Application received: ___/___/___ Application complete: ___/___/___

Certificate of Appropriateness
February 27, 2018
1200 Rothwell Street a/k/a 1200 Nance
Houston, Texas 77002

Property Description

The building was built in 1881. It is known as Henry Henke Fifth Ward Grocery Store. The building is located at 1200 Rothwell, Houston, Texas 77002 which is also known as 1200 Nance.

Background:

When we acquired the property in 2004, the 1881 building was an empty brick shell. It had no mechanical, electrical or plumbing. There were no interior walls or other interior improvements. We sought and received a COA to renovate the interiors of the 1881 Building and to build an addition along the entire south side of the existing 1881 Building. The addition provided space to locate the mechanical, electrical and plumbing services. The new addition provided needed space for a breakroom area and restrooms on the first floor. It also provided the space to construct a stairwell to provide access the second floor of the 1881 Building. (For clarity throughout this Application, the original structure will be referenced as the "1881 Building." The structure added in 2004 along the south side of the 1881 Building will be referenced as the "2004 Addition.")

Unfortunately, after a huge expenditure of time and money to revitalize this property, we learned that the historic warehouse district, and our building in particular, is prone to flooding even during minor rainfall events. We have enclosed a photograph of our building following a modest 4.5 inch rainfall. The photos shows how water quickly pools in the street, comes up over the curb and presses against the first floor exterior of the 1881 Building and the 2004 Addition.

We have had four separate water incursions into the building in the past two years. After each of these flooding events, we have considered every conceivable solution to this recurring problem. We previously sought and received a COA to purchase and install custom made, water-resistant doors. Unfortunately, the flood-resistant doors failed to prevent a water incursion during a rain event on January 18, 2017.

We have also worked closely with City of Houston officials during the few past years. Unfortunately, the City has concluded that nothing can be done to prevent future flooding of our building except a major capital improvement to increase the storm water capacity in the warehouse district. At this time, the City has no plans to undertake such a project.

In August 2017, Hurricane Harvey destroyed the first floor of the 1881 Building and the interior of first floor of the 2004 Addition. Hurricane Harvey has made it abundantly clear that simply rebuilding what

we have is no longer a viable option. To insure the long term survival of the building, a massive redesign of the property is required.

Over the past six months, our architecture team, in close collaboration with the staff of Historic Preservation, has formulated a plan to save the 1881 Building. As set forth in more detail in the drawings, the proposed plan makes no significant changes to the current exterior façade of the 1881 Building. The plan proposes to demolish the 2004 Addition and replace it with a new addition (located in the same position along the south side of the 1881 Building) which extends out over the current parking lot. The proposed new addition will provide additional space so that the kitchen, restrooms and conference room can be elevated. By elevating these essential services, the building will be more resilient and better able to continue normal operations during future floods.

Proposed Work

1. Demolish the 2004 addition
2. Elevate the interior of the first floor of the 1881 Building
3. Build a new addition along the south side of the 1881 Building which connects to the second floor of the 1881 structure. The new addition will extend over the current parking lot.

Current building materials conditions and originality of any materials proposed to be repaired or replaced.

There are no changes proposed to the currently visible exterior façade of the 1881 structure.

Proposed new materials description

See drawings submitted with the COA

Photographs

Elevations

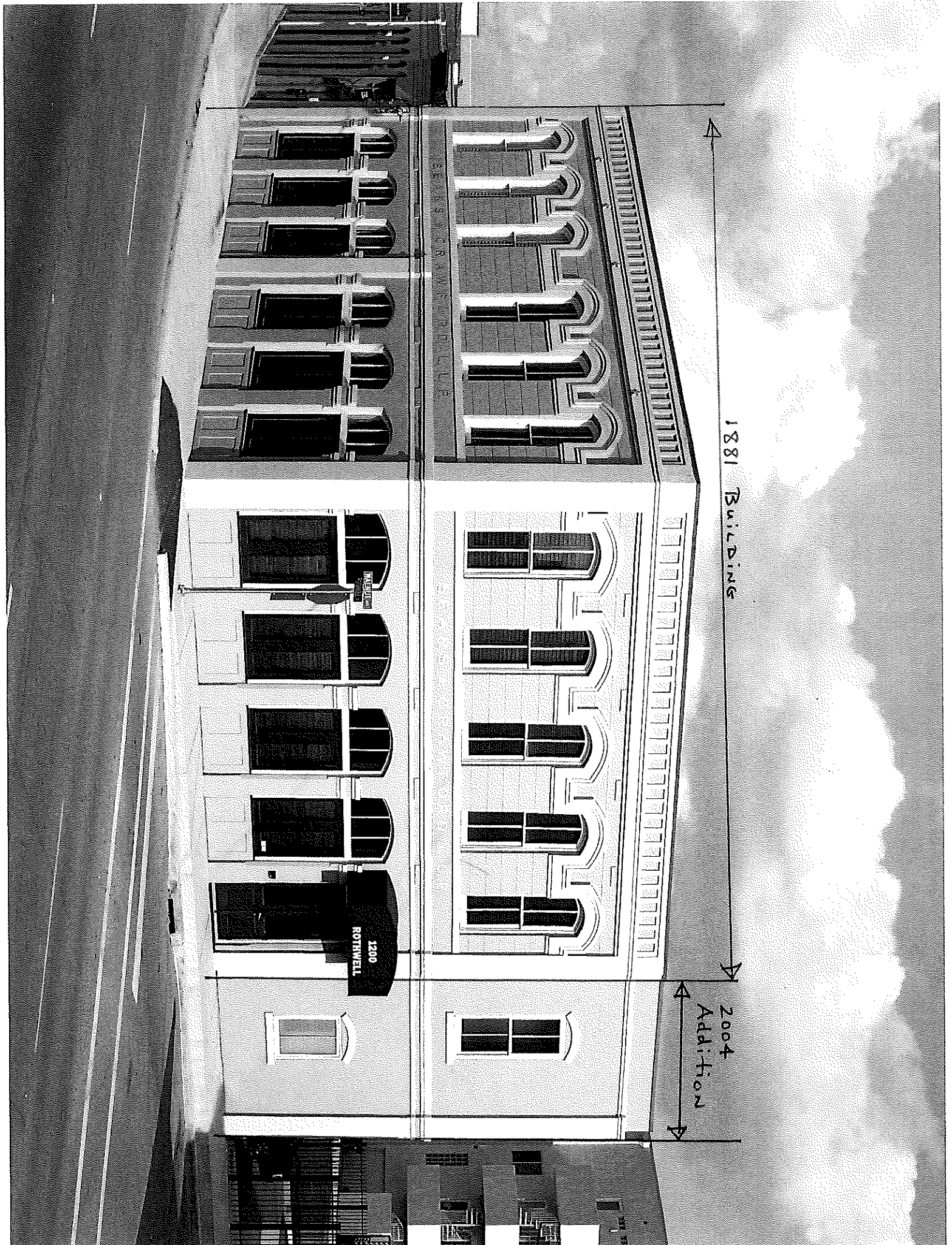
See attached drawings submitted with the COA

Detailed photos of exterior elements subject to proposed work

See photos submitted with the COA

Historical photos as evidence for restoration work

Not applicable.



1881 BUILDING

2004
Addition

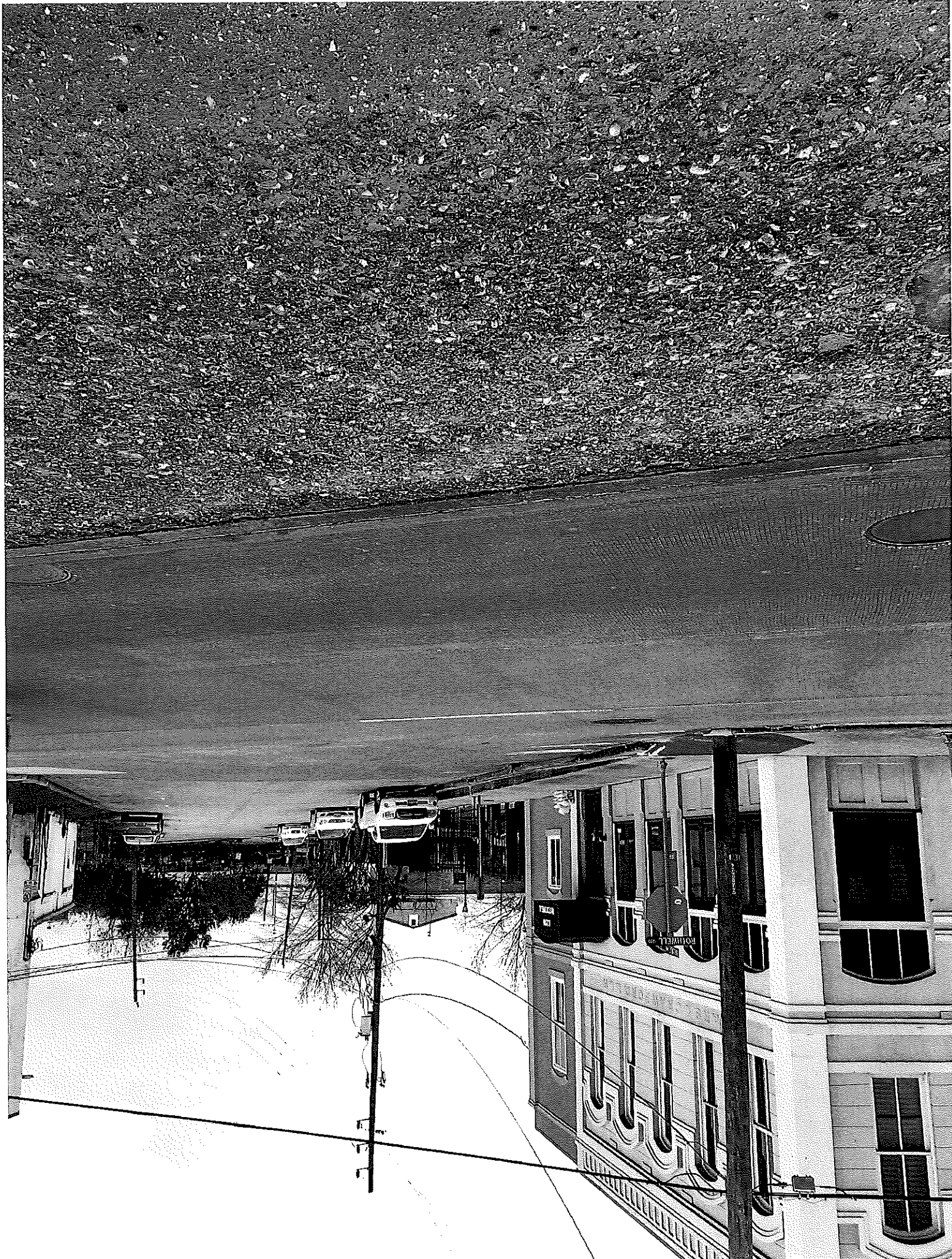
1200
ROTHWELL

1881 BUILDING

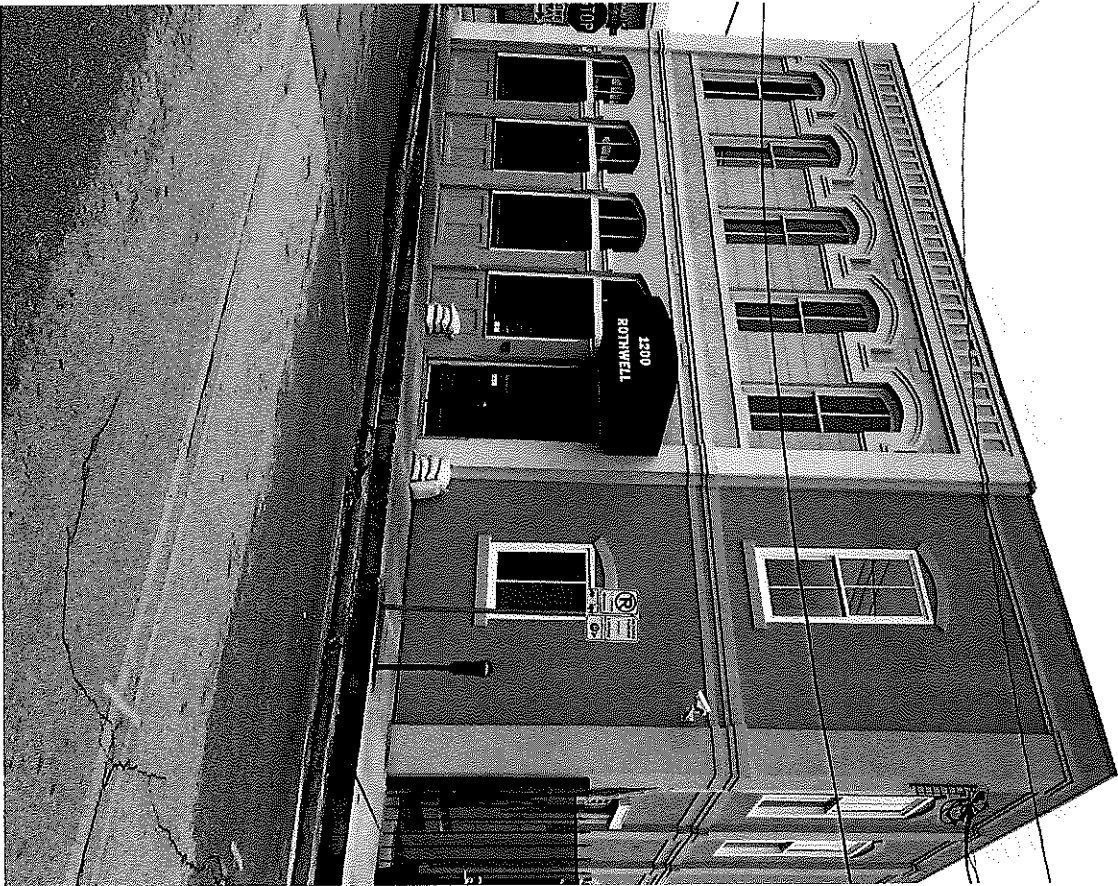
2004 ADDITION



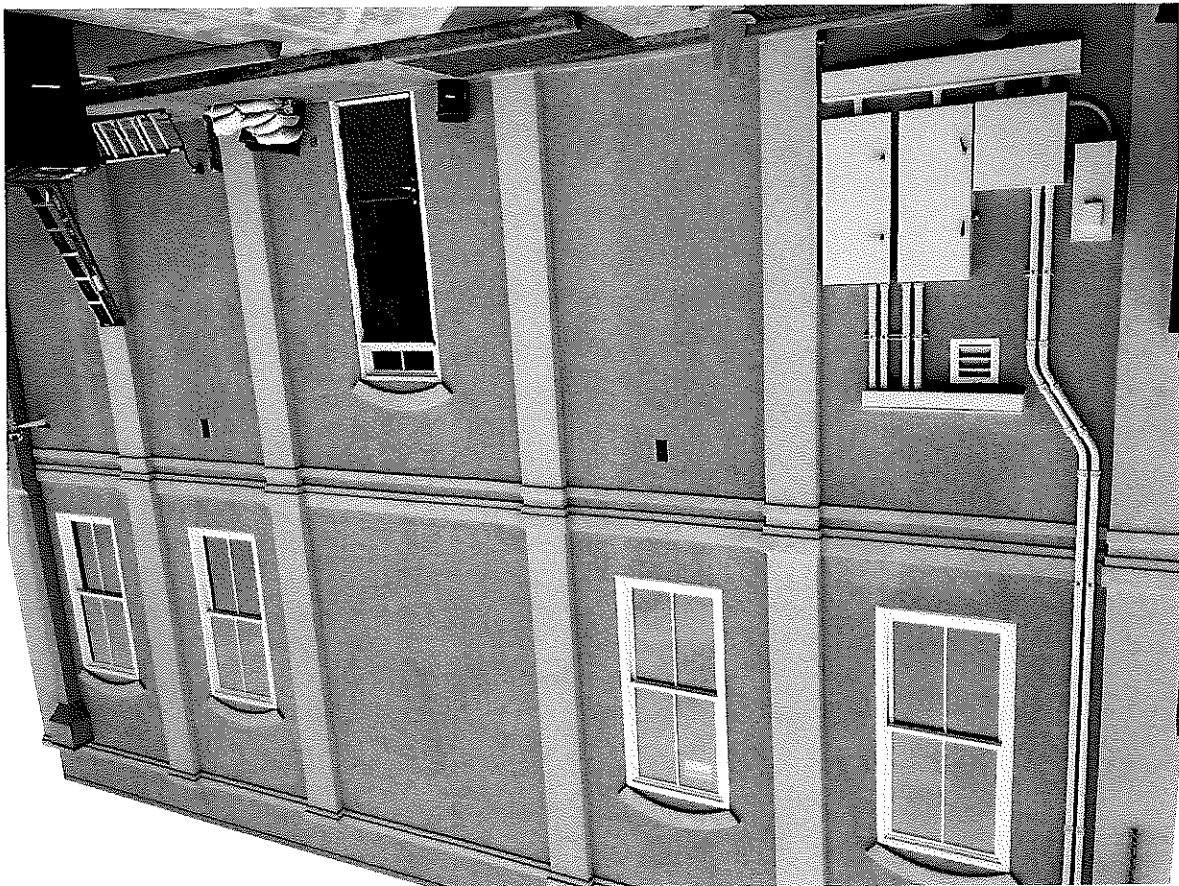




2004 Addition
West Side



2004 Addition
South Side



2004 Addition
East Side



Crawford Law Building Renovation & Addition

1200 Rothwell Street Houston TX 77002



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Houston, Texas 77098
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Drawing No.	Drawing Index Name
G.000	Title Sheet
G.001	Notes, Legends & Abbreviations
C.100	Survey
C.101	Storm Drainage Plan
C.102	Water and Sewer Plan
C.103	Utility Details
D.100	Demolition Floor Plan - Level 1
D.101	Demolition Floor Plan - Level 2 & Roof
D.200	Demolition RCP - Level 1 & Level 2
A.001	Code Analysis
A.002	Accessibility Standards
A.100	Site Plan
A.101	Enlarged Site Plan
A.102	Site Details
A.200	Floor Plan - Level 1
A.201	Floor Plan - Level 2
A.202	Dimensional Plan - Level 1
A.203	Dimensional Plan - Level 2
A.204	Roof Plan
A.205	Reflected Ceiling Plan Level 1
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A.207	Power/Tele/Data Plan Level 1
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A.301	Door, Frame, & Hardware Schedules
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A.303	Finish Schedules & Details
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A.401	Exterior Elevations
A.402	Exterior 3D Views
A.500	Building Sections
A.500	Building Sections
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A.602	Wall Sections
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A.604	Elevator Sections
A.605	Stair Sections
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A.607	3D Views
A.700	Enlarged Plans
A.701	Enlarged Plans
A.800	Interior Elevations
A.801	Interior Elevations
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A.901	Interior Typical Details
A.902	Interior Plan Details
A.903	Section Details
A.904	Window Details
A.905	Stair and Railing Details
A.906	Elevator Details
A.907	Elevator Details
A.908	Roofing Details
MEP	MEP Document

Crawford Law Building Renovation & Addition

1200 Rothwell Street
Houston TX 77002

#	date	issue name
01 -	Work in Progress	ISSUED FOR PERMIT

Interim Review Only

Building Owner:

Clay Crawford
1200 Rothwell St
Houston, TX 77002
713.223.3333

Architectural Design:

INVENTURE
DESIGN
Inventure Design
3118 Richmond Ave., Suite 200
Houston TX 77098
713.524.5555
www.invdesgroup.com

MEP Design:

KCI
TECHNOLOGIES
KCI Technologies Inc
801 Travis Street
Suite 2000
713.237.9801
Nicholas Badke ext. 7521

Structural & Civil Design:

H2B
INC.
H2B Inc.
1225 North Loop West
Suite 800
713.864.2900
Tod J. Henning, P.E.

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Project Number	Drawing Number
17.179.00	

Title Sheet
G.000



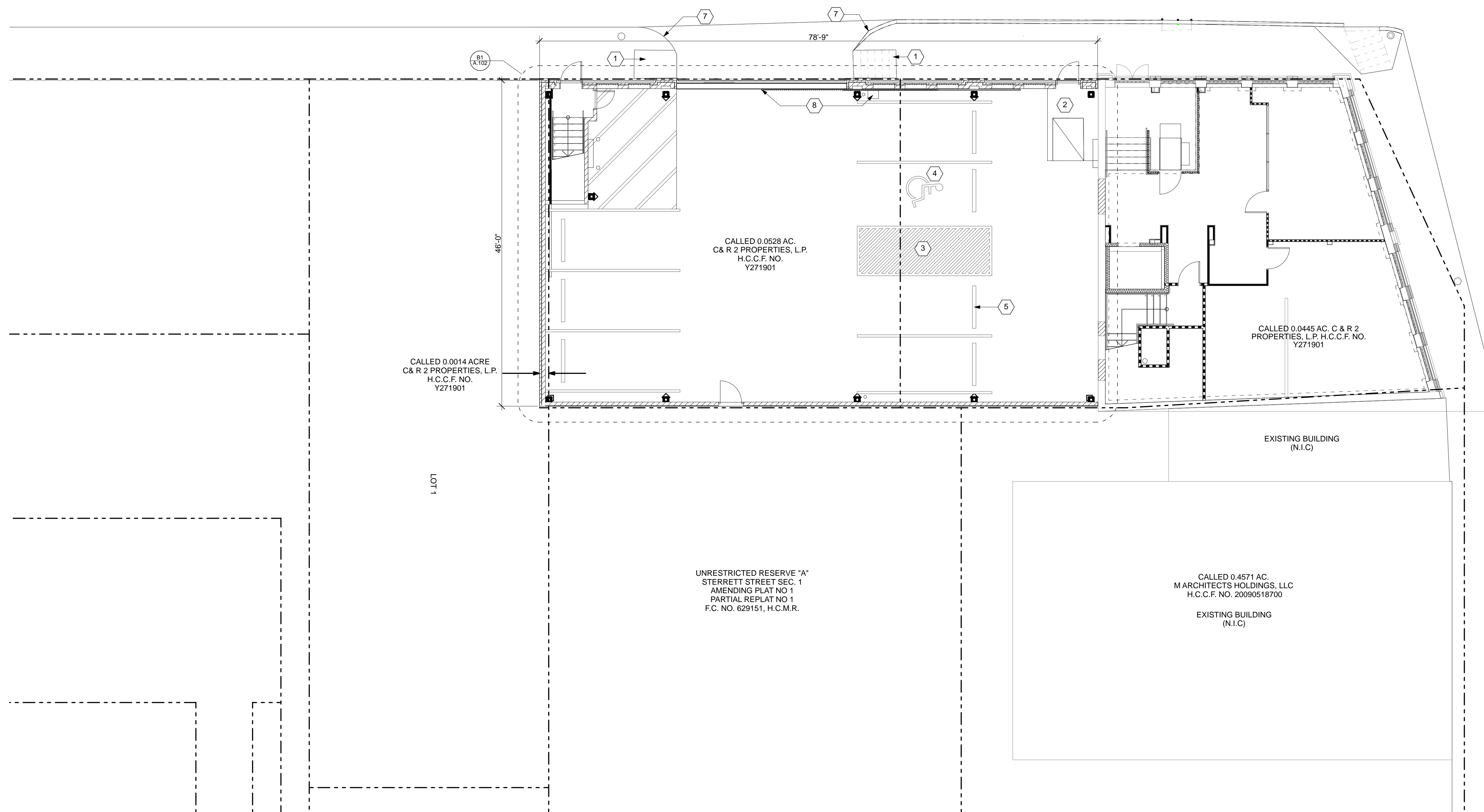
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WALNUT STREET 50' R.O.W.

ROTHWELL STREET 60' R.O.W.



CALLED 0.0014 ACRE
C & R 2 PROPERTIES, L.P.
H.C.C.F. NO. Y271901

CALLED 0.0528 AC.
C & R 2 PROPERTIES, L.P.
H.C.C.F. NO. Y271901

CALLED 0.0445 AC, C & R 2
PROPERTIES, L.P. H.C.C.F. NO.
Y271901

EXISTING BUILDING
(N.I.C.)

CALLED 0.4571 AC.
MARCHITECTS HOLDINGS, LLC
H.C.C.F. NO. 20090518700
EXISTING BUILDING
(N.I.C.)

UNRESTRICTED RESERVE "A"
STERRETT STREET SEC. 1
AMENDING PLAT NO 1
PARTIAL REPLAT NO 1
F.C. NO. 629151, H.C.M.R.

NANCE STREET 50' R.O.W.

project name

Crawford Law Building Renovation & Addition

1200 Rotwell Street
Houston TX 77002

date issue name

#	date	issue name

B6 Site Plan
SCALE: 1/8" = 1'-0"

General Notes

- A. INFORMATION CONTAINED ON THE ARCHITECTURAL SITE DRAWING(S) HAS BEEN TAKEN FROM SURVEYS AND CIVIL DRAWINGS. THE INTENT OF THE ARCHITECTURAL SITE DRAWING(S) IS TO INDICATE THE OVERALL RELATIONSHIP OF THE BUILDINGS, PAVING, AND OTHER SITE FEATURES. NO GUARANTEE IS MADE TO THE ACCURACY OF THE ARCHITECTURAL SITE DRAWING(S).
- B. DO NOT EXCEED 1:20 (5%) SLOPE ON PAVING AND SIDEWALKS. DO NOT EXCEED 1:50 (2%) SLOPE ON LANDINGS AT DOORS AND CROSS SLOPE OF SIDEWALKS AND RAMPS. IF ELEVATIONS AND DIMENSIONS INDICATED ON DRAWING(S) EXCEED THESE SLOPES, CONSULT ARCHITECT AND CIVIL ENGINEER.
- C. VERIFY ALL INFORMATION SHOWN WITH MEP AND OTHER DRAWINGS. IF DISCREPANCIES EXIST, CONSULT WITH ARCHITECT AND ENGINEER(S) PRIOR TO CONSTRUCTION.
- D. ALL APPROVALS SHALL BE OBTAINED FROM AUTHORITIES HAVING JURISDICTION ON THE PROPERTY PRIOR TO CONSTRUCTION.
- E. THE ARCHITECTURAL SITE DRAWING(S) SHOWN FOR LOCATION OF SIDEWALKS. RE: CIVIL FOR CONSTRUCTION AND PAVING DETAILS, JOINTS, ETC.
- F. RE: CIVIL DRAWINGS FOR PARKING REQUIREMENTS, FIRE LANE AND OTHER ITEMS NOT SHOWN ON ARCHITECTURAL SITE DRAWING(S) THAT MAY BE REQUIRED FOR PERMITTING AND/OR CONSTRUCTION.
- G. REFER TO LANDSCAPING PLAN(S) FOR LANDSCAPING REQUIREMENTS.
- H. STORM WATER DETENTION PONDS SHOULD BE DESIGN, ENGINEERED, CONSTRUCTED, AND MAINTAINED FOR A MAXIMUM 48-HOUR DETENTION PERIOD AFTER THE DESIGN STORM AND REMAINS COMPLETELY DRY BETWEEN STORMS.

Sheet Notes

- 1. EXISTING SIDEWALKS TO REMAIN.
- 2. NEW RAMP AND SIDEWALK. EXTENT TO PROPERTY LINE. PROVIDE CONTROL JOINTS AND EXPANSION JOINTS PER CIVIL DRAWINGS.
- 3. PASSENGER LOADING ZONE. 4' WIDE WHITE STRIPING AT 12" O.C. AT 45° ANGLE.
- 4. VAN ACCESSIBLE PARKING SPACE. RE: #DrgID(ref)#LayID(ref).
- 5. CONCRETE WHEEL STOP TYP. RE: #DrgID(ref)#LayID(ref).
- 6. 6" Ø GALVANIZED STEEL BOLLARD TYP. PAINTED. RE: #DrgID(ref)#LayID(ref).
- 7. EXISTING CURB CUTS TO REMAIN.
- 8. NEW MOTORIZED ACCESS GATE (OVERHEAD DOOR).
- 9. DRAINAGE INLET. RE: CIVIL.

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date issue name

17.179.00

Site Plan

drawing number

A.100



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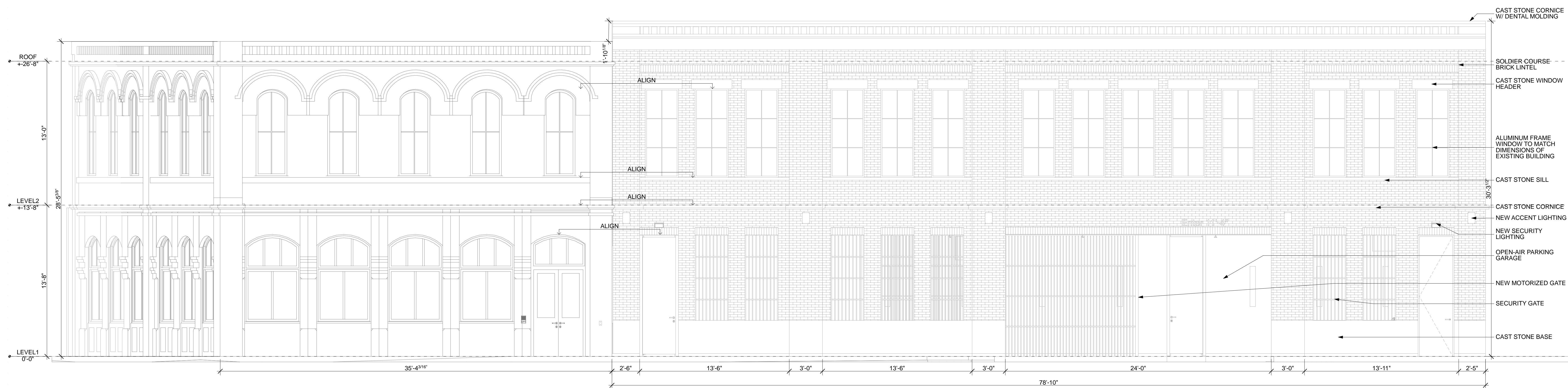
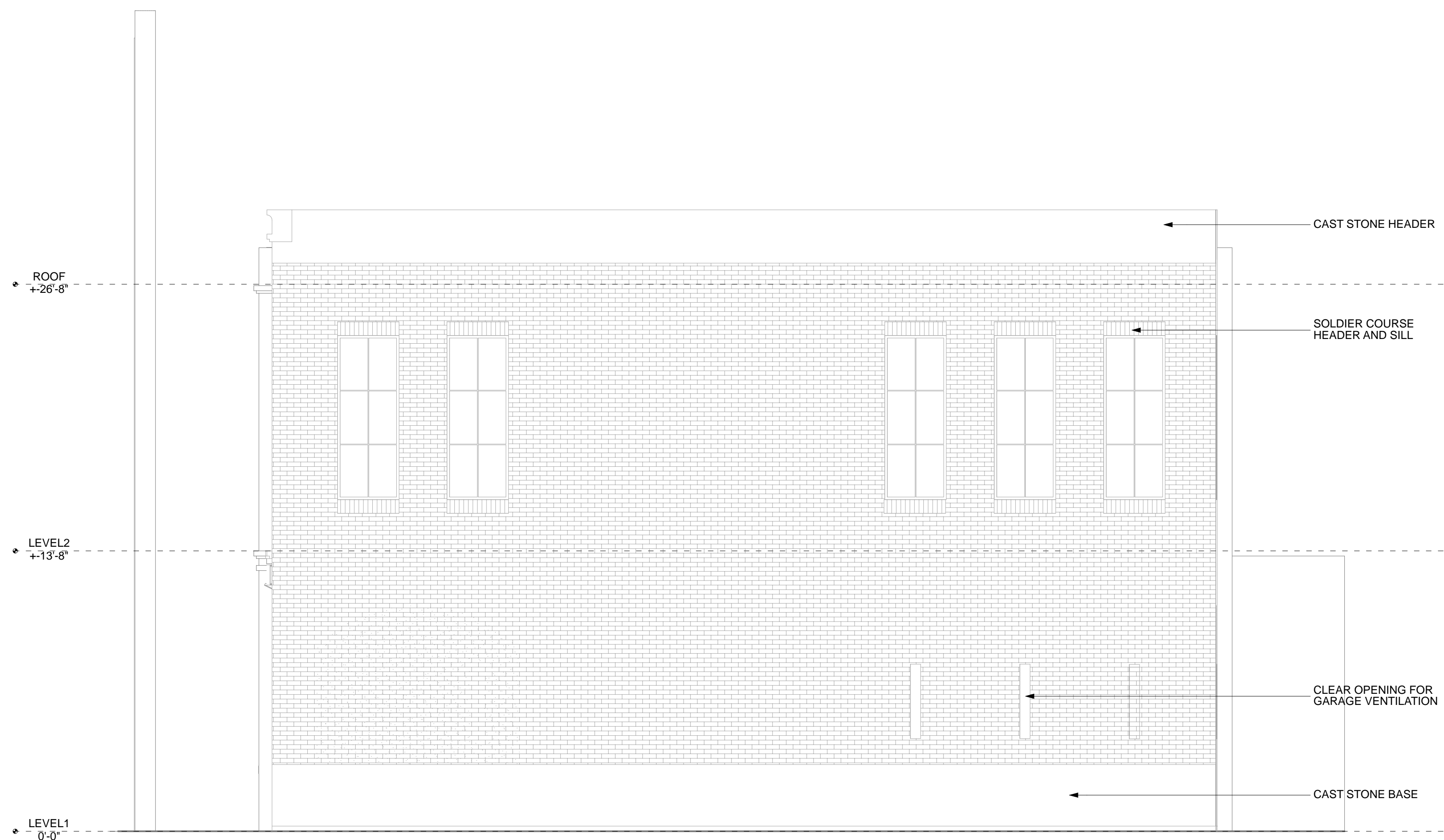
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PROJECT NAME

Crawford Law
Building Renovation
& Addition

1200 Rothwell Street
Houston TX 77002

C3 South Elevation
SCALE: 1/4" = 1'-0"



#	date	issue name

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PROJECT NUMBER

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DRAWING NAME

Exterior Elevations

DRAWING NUMBER

A.400

A6 West Elevation
SCALE: 1/4" = 1'-0"

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DATE ISSUE NAME

#	DATE	ISSUE NAME

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PROJECT NUMBER

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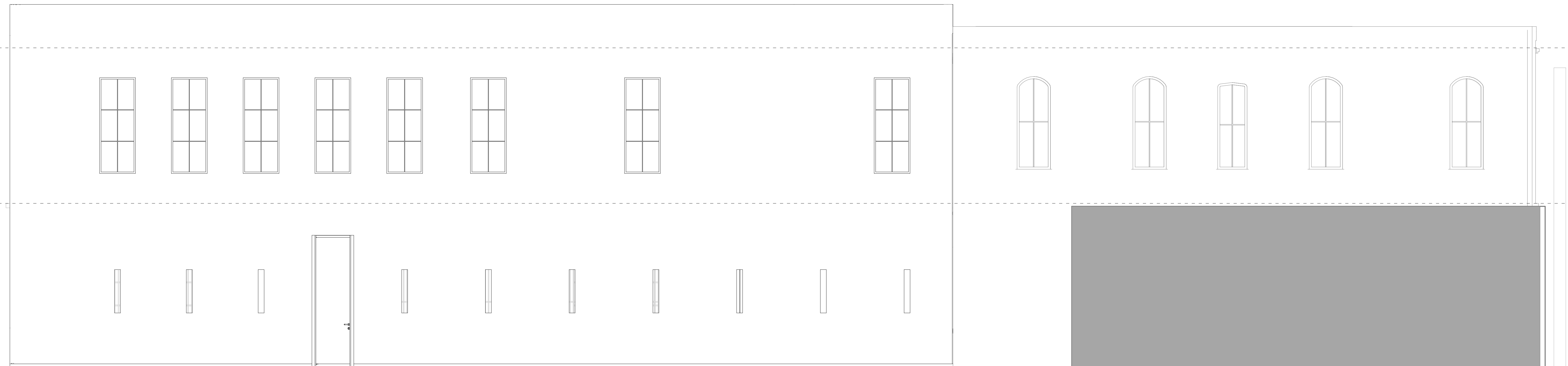
DRAWING NAME

Exterior Elevations

DRAWING NUMBER

A.401

ROOF
+26'-0"
LEVEL2
+13'-8"
LEVEL1
0'-0"



A6 East Elevation
SCALE: 1/4" = 1'-0"

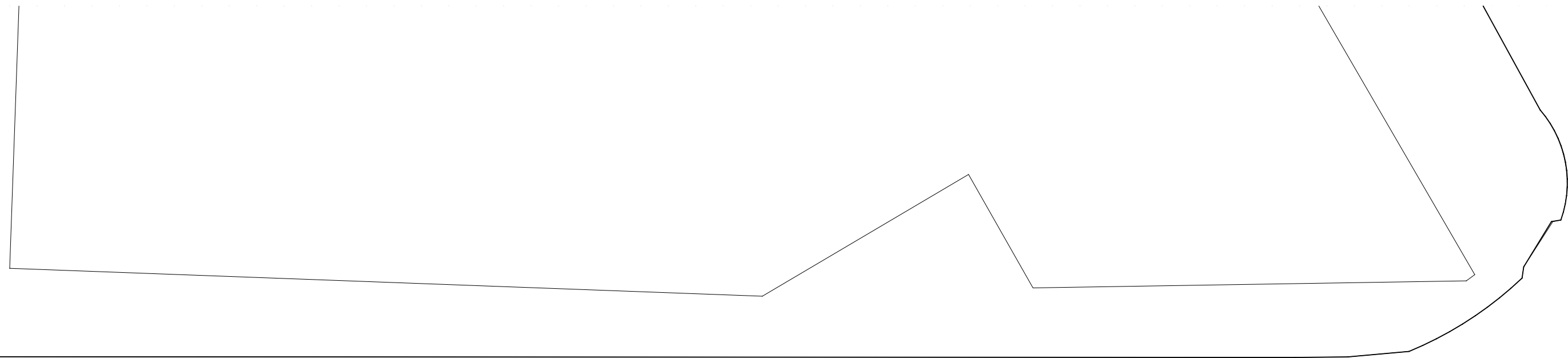
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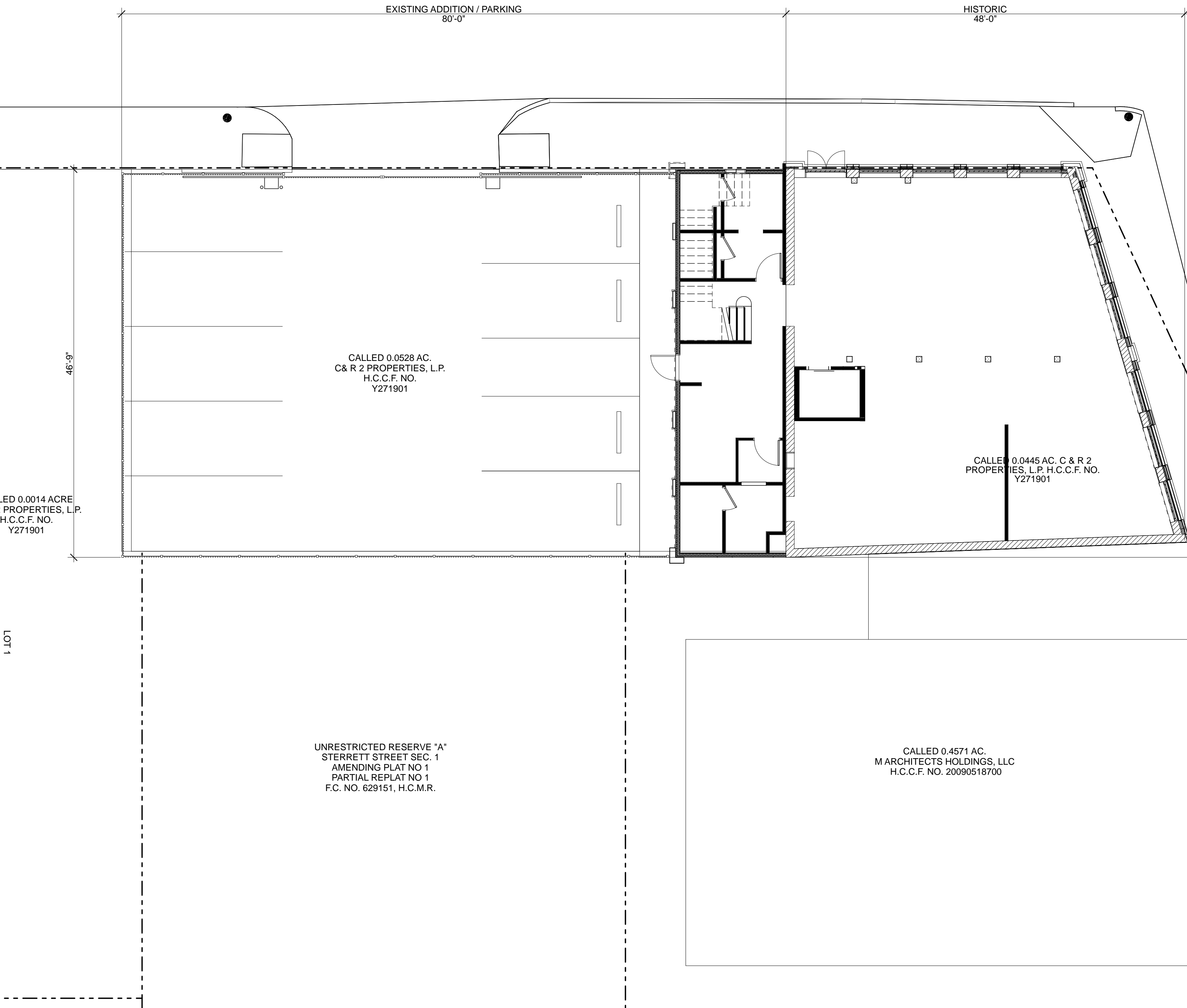
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ROTHWELL STREET 60' R.O.W.

WALNUT STREET 50' R.O.W.



project name

**Crawford Law
Building Renovation
& Addition**

1200 Rothwell Street
Houston TX 77002

date issue name

#	date	issue name

B6 Existing Site Plan
SCALE: 1/8" = 1'-0"



03/02/18

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project number

17.179.00

drawing name

Existing Site Plan

drawing number

A.10

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#	date	issue name



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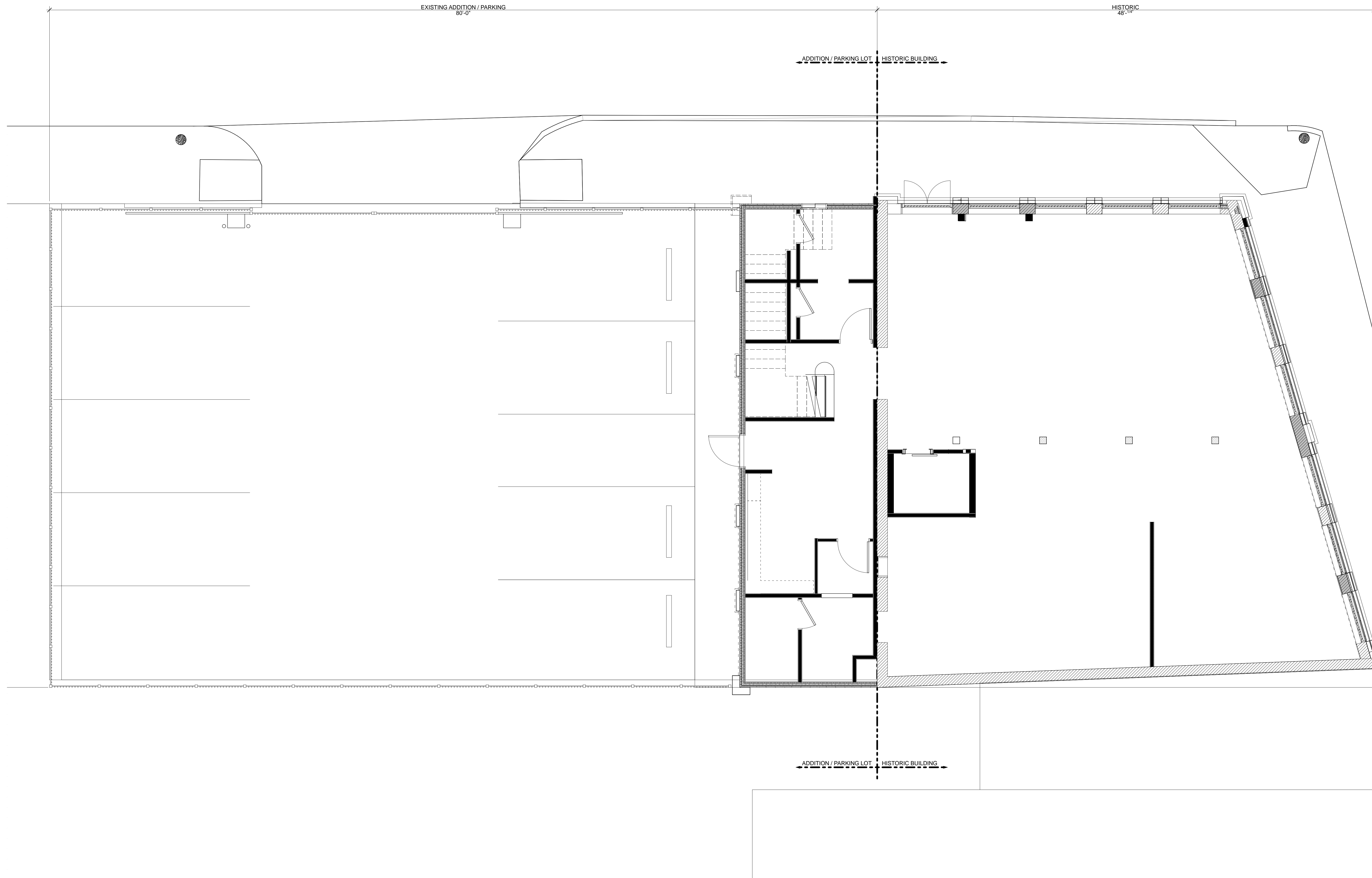
17.179.00

drawing name

Existing Plan - Level 1

drawing number

A.11



B6 Existing Floor Plan - Level 1
SCALE: 1/4" = 1'-0"



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#

date

issue name

← ADDITION / PARKING LOT HISTORIC BUILDING →



B6 Existing Roof Plan
SCALE: 1/4" = 1'-0"

← ADDITION / PARKING LOT HISTORIC BUILDING →



B3 Existing Floor Plan - Level 2
SCALE: 1/4" = 1'-0"



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drawing name

Existing Plan - Level 2 &
Roof

drawing number

A.12



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DESIGN**

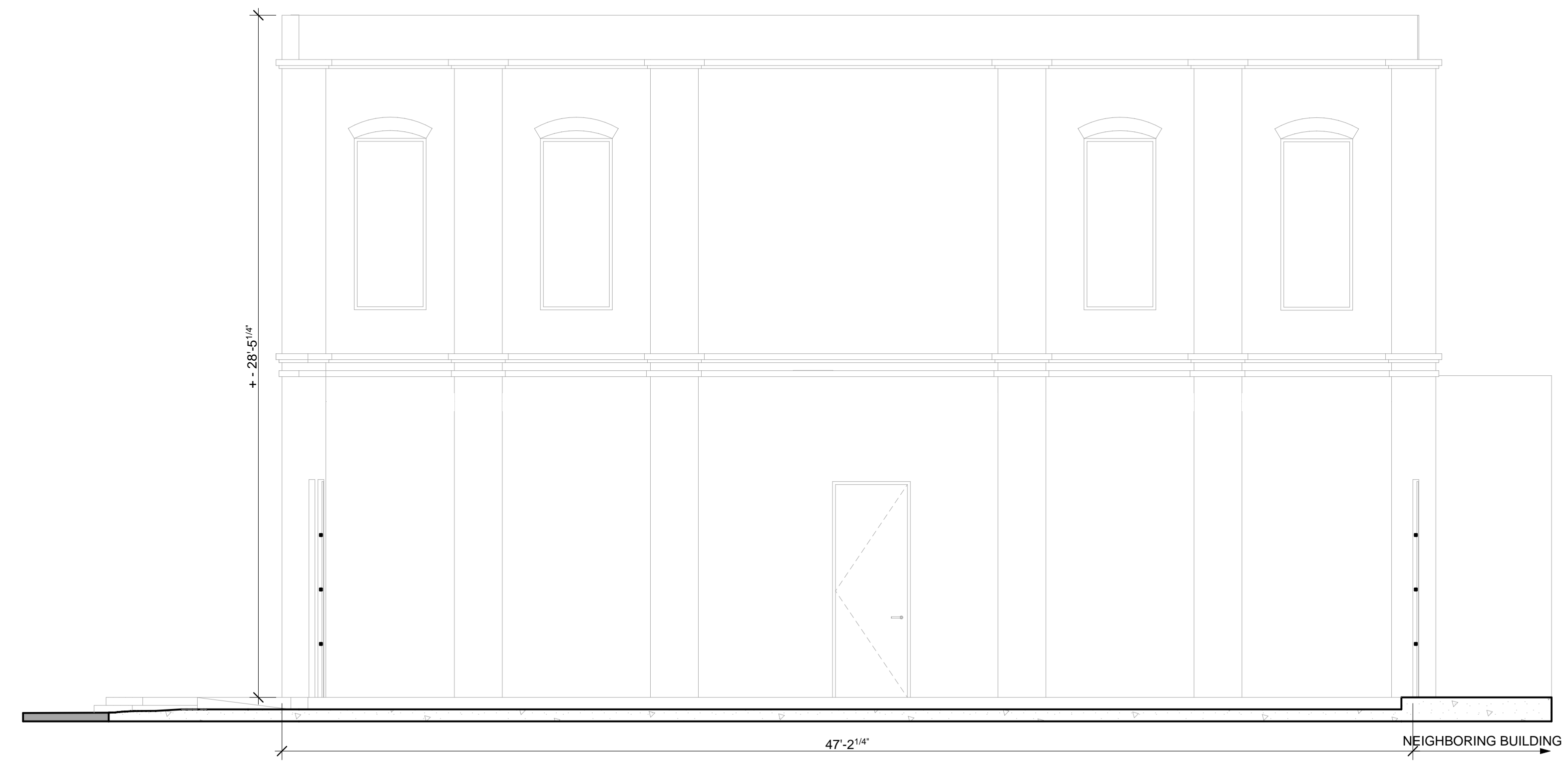
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& Addition**

1200 Rothwell Street
Houston TX 77002



C3 Existing South Elevation
SCALE: 1/4" = 1'-0"

date issue name

#	date	issue name



03/02/18

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Drawing Name

Existing Elevations

Drawing Number



A6 Existing West Elevation
SCALE: 1/4" = 1'-0"

A.13



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#	date	issue name



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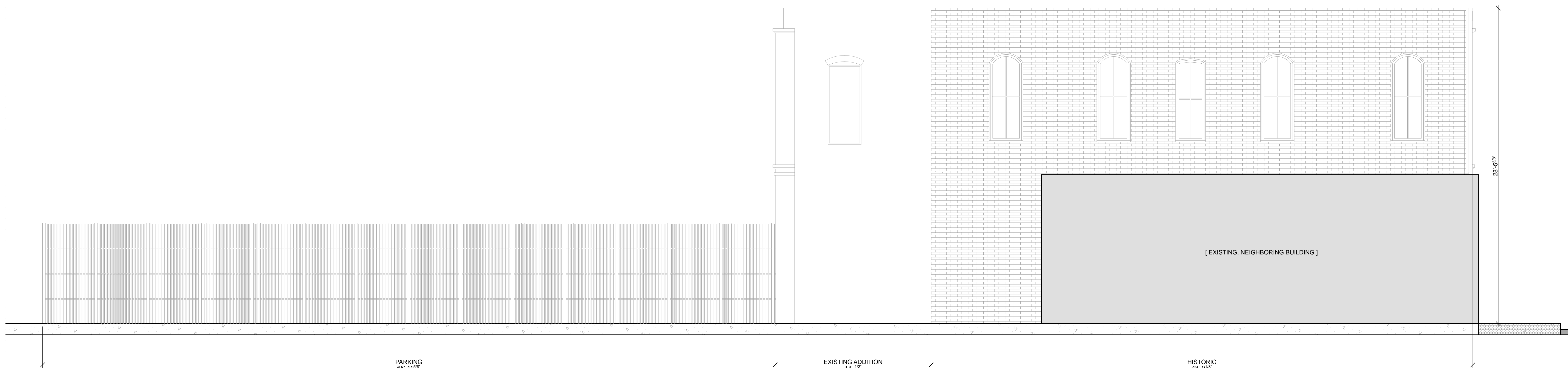
project number

17.179.00

drawing name

Existing Elevations

drawing number



A6 Existing East Elevation

SCALE: 1/4" = 1'-0"

A.14

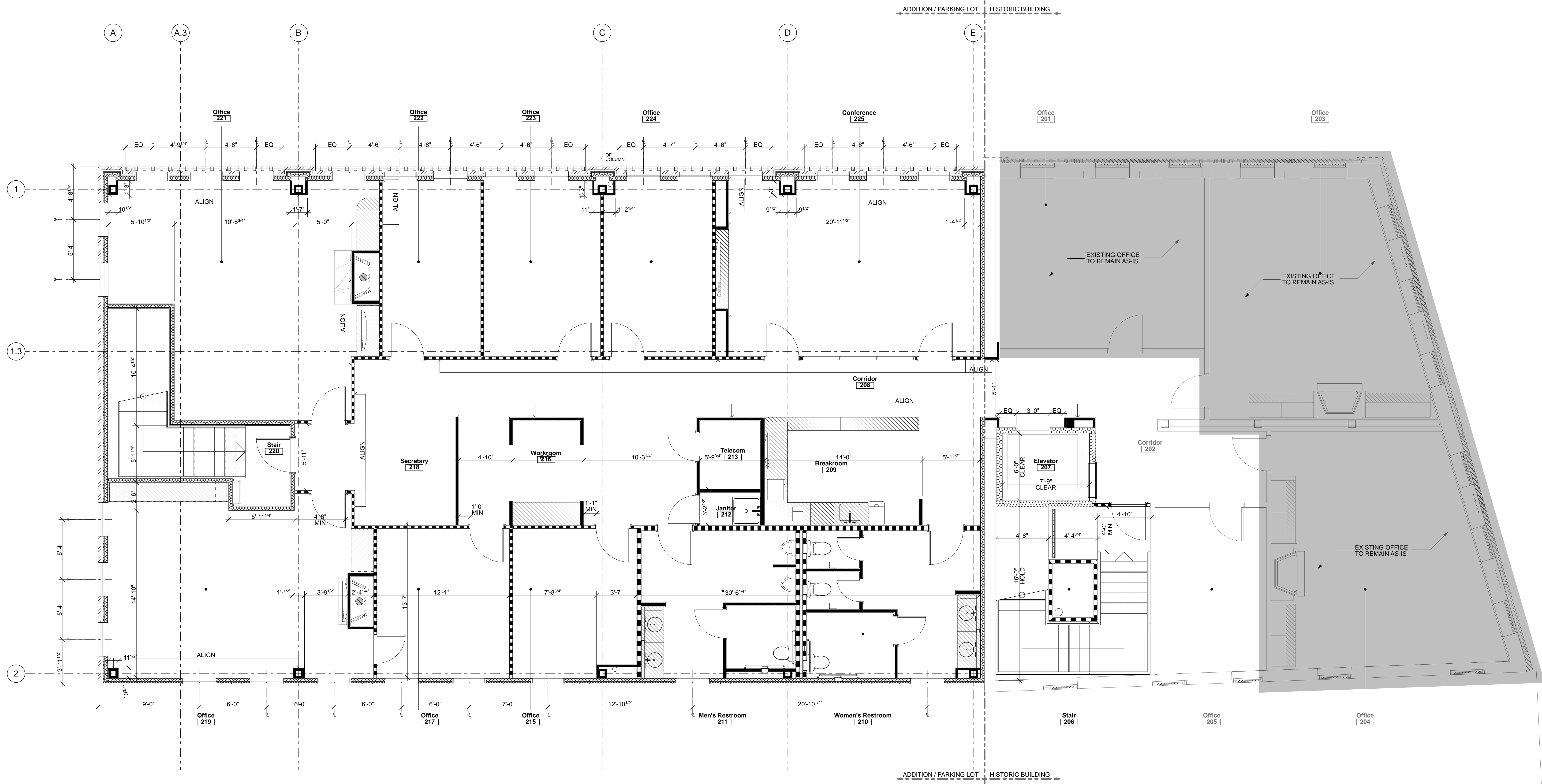
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1200 Rothwell Street
Houston TX 77002

date issue name

01 3/2/18 ISSUED FOR PERMIT

B6 Dimensional Plan - Level 2
SCALE: 1/4" = 1'-0"

General Notes

- A. GC TO FIELD VERIFY CONDITIONS BEFORE PROCEEDING AND INFORM ARCHITECT AND TENANTS REPRESENTATIVE OF ANY DISCREPANCIES, TYPICAL UNLESS NOTED OTHERWISE.
- B. ALL DIMENSIONS ARE TO FACE OF G.W.B, EXCLUSIVE OF APPLIED FINISHES.
- C. IN DIMENSION STRINGS, A "++" INDICATES A DIMENSION TO BE FIELD VERIFIED AFTER THE REMAINDER OF THE STRING IS LAID OUT. NOTIFY ARCHITECT OF ANY SIGNIFICANT DIMENSIONAL DISCREPANCIES GREATER THAN 1".
- D. ALL WOOD BLOCKING SHALL BE FIRE RETARDANT TREATED TO CONFORM TO THE FIRE RESISTIVE STANDARDS OF THE LOCAL JURISDICTION HAVING AUTHORITY.
- E. ALL FLOORS SHALL BE LEVELED TO 1/8" IN 100' OR TO INDUSTRY STANDARD. FLOORS SHALL BE FILLED AND SWEEPED BROOM CLEAN.
- F. GC TO VERIFY CONDITION OF EXISTING WINDOW TREATMENTS. REPLACED DAMAGED OR MISSING WITH NEW TO MATCH. ALL WINDOW TREATMENTS ARE TO BE CONSISTENT WITHIN EACH ROOM.



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Project Number

17.179.00

Drawing Name

Dimensional Plan - Level 2

Drawing Number

A.203



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1200 Rothwell Street
Houston TX 77002

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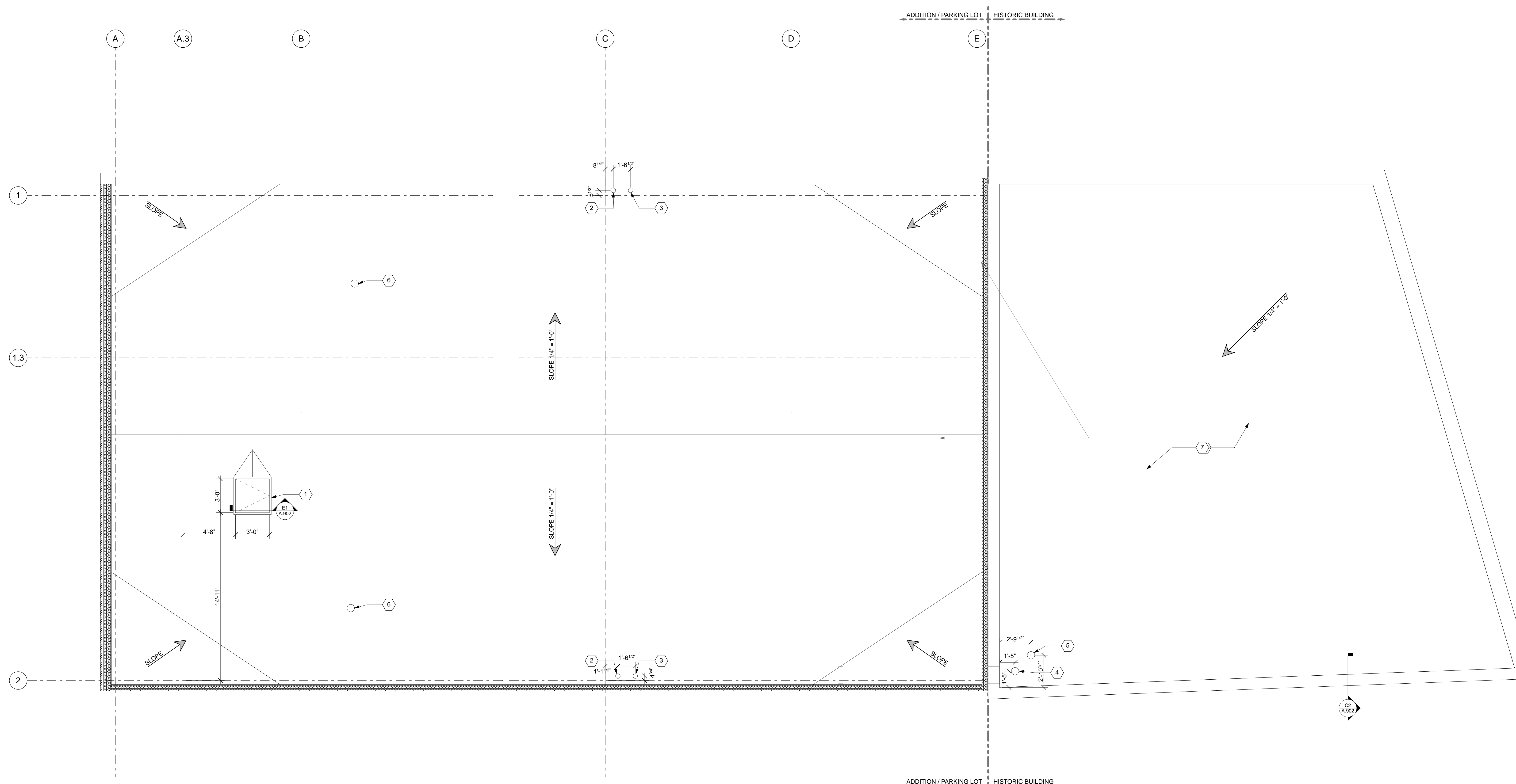
17.179.00

Drawing Name

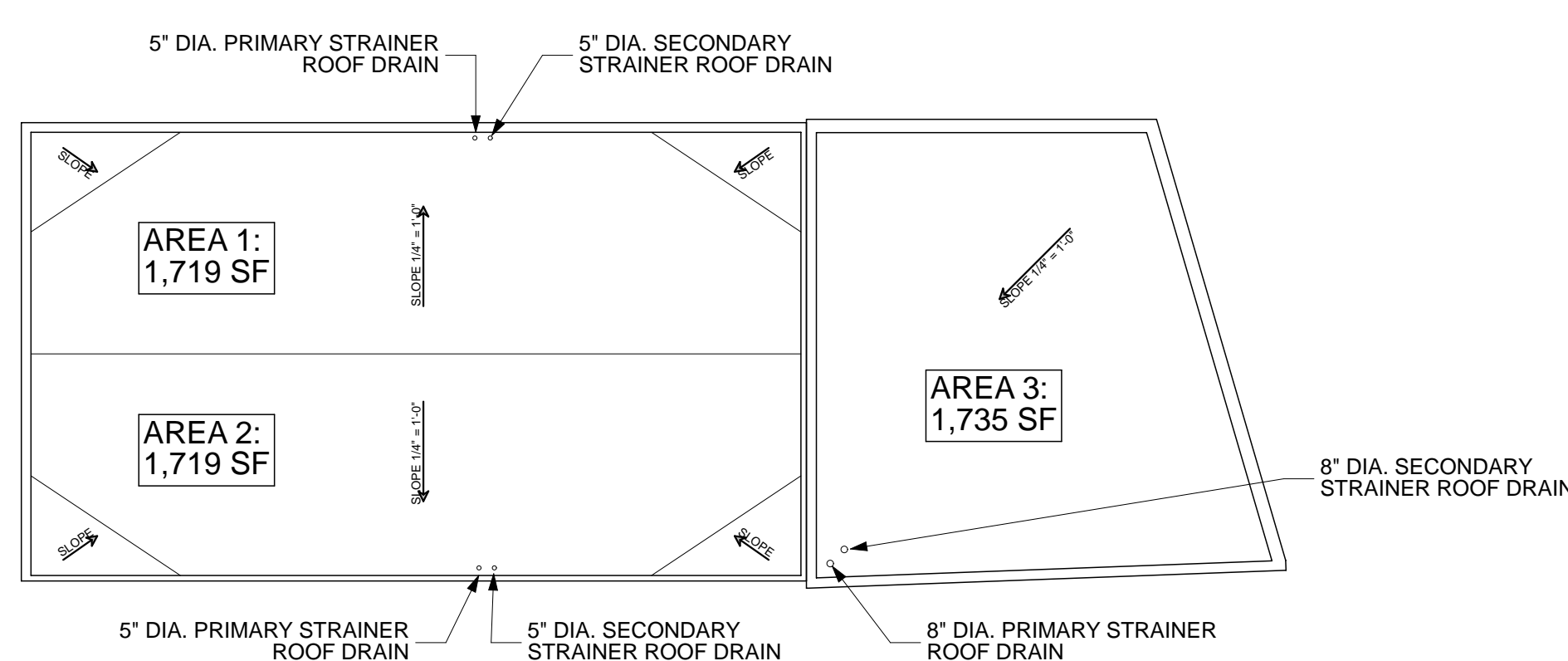
Roof Plan

Drawing Number

A.204



B6 Roof Plan
SCALE: 1/4" = 1'-0"



ROOF DRAIN CALCULATIONS (2012 UPC CHAPTER 11 / W/ CITY OF HOUSTON AMENDMENTS - TABLE 1101.7)

PRIMARY ROOF DRAINAGE FOR NEW ADDITION:
1/4" - 1/2" SLOPE
5" PIPE
8" / HR RAIN = 2,360 SF MAX
ROOF AREA: 1,719
1,719 / 2,360 = 0.73 OR 1 DRAINS REQUIRED
DRAINS PROVIDED = 1 (EACH SIDE)

SECONDARY ROOF DRAINAGE:
5" PIPE

SECONDARY ROOF DRAINAGE TO BE 2 INCHES ABOVE ROOF SURFACE

PRIMARY ROOF DRAINAGE FOR EXISTING ROOF:
1/4" - 1/2" SLOPE
8" PIPE (OVERSIZED)
8" / HR RAIN = 8,150 SF MAX
ROOF AREA: 1,735
1,735 / 8,150 = 0.21 OR 1 DRAINS REQUIRED
DRAINS PROVIDED = 1

SECONDARY ROOF DRAINAGE:
8" PIPE (OVERSIZED)

SECONDARY ROOF DRAINAGE TO BE 2 INCHES ABOVE ROOF SURFACE

Roofing

SIKA SARNAFIL- US
THERMOPLASTIC MEMBRANE ROOFING- SARNAFIL G410 FELTBACK ADHERED SYSTEM OVER TAPERED FOAM, REFER TO SPECIFICATIONS.

Sheet Notes

1. ROOF HATCH AND FIXED LADDER- PRECISION LADDERS, LLC., #PH-140-3' x 3' (ALUM), INCLUDE LADDER SAFETY POST ER-1.
2. 5" Ø ROOF DRAIN, TYP. RE: E5/A.902.
3. 5" Ø OVERFLOW ROOF DRAIN, TYP. RE: E5/A.902 (2" ABOVE ROOF SURFACE).
4. 8" Ø ROOF DRAIN, TYP. RE: E5/A.902.
5. 8" Ø OVERFLOW ROOF DRAIN, TYP. RE: E5/A.902 (2" ABOVE ROOF SURFACE).
6. FIRE PLACE VENT STACK WITH CHIMNEY CAP
7. REMOVE EXISTING BUILT-UP ROOFING AT EXISTING BUILDING AND REPLACE WITH NEW THERMOPLASTIC MEMBRANE ROOF - SARNAFIL G410 FELTBACK ADHERED SYSTEM OVER TAPERED FOAM.

A6 Roof Drain Calculations
SCALE: 1/16" = 1'-0"