

# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



PLANNING &  
DEVELOPMENT  
DEPARTMENT

## PROPERTY

Address 1535 Arlington St.  
Historic District / Landmark Houston Heights East Historic District HCAD # 020134000003  
Subdivision Houston Heights Lot 3 Block 138

## DESIGNATION TYPE

- Landmark  
 Protected Landmark  
 Archaeological Site  
 Contributing  
 Noncontributing  
 Vacant

## PROPOSED ACTION

- Alteration or Addition  
 Restoration  
 New Construction  
 Relocation  
 Demolition  
 Excavation

## DOCUMENTS

- Application checklist for each proposed action and all applicable documentation listed within are attached

## OWNER

Name Joseph & Crystal Wright  
Company \_\_\_\_\_  
Mailing Address 1535 Arlington St  
Houston, TX 77008  
Phone 832-860-3091  
Email [REDACTED]  
Signature [Signature]  
Date 29-OCT-2014

## APPLICANT (if other than owner)

Name \_\_\_\_\_  
Company \_\_\_\_\_  
Mailing Address \_\_\_\_\_  
Phone \_\_\_\_\_  
Email \_\_\_\_\_  
Signature \_\_\_\_\_  
Date \_\_\_\_\_

## ACKNOWLEDGEMENT OF RESPONSIBILITY

**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Deed Restrictions:** You have verified that the work does not violate applicable deed restrictions.

**Public Records:** If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

**Compliance:** If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: \_\_\_\_\_ Application received: \_\_\_ / \_\_\_ / \_\_\_ Application complete: \_\_\_ / \_\_\_ / \_\_\_

# CERTIFICATE OF APPROPRIATENESS APPLICATION INSTRUCTIONS



PLANNING &  
DEVELOPMENT  
DEPARTMENT

Well in advance of the COA application deadline contact staff to discuss your project, application requirements, and, if necessary, to make an appointment to meet with staff for a project consultation. Visit the Historic Preservation Web Manual for historic district profiles, project guidance and forms. [www.houstontx.gov/HistoricPreservationManual](http://www.houstontx.gov/HistoricPreservationManual)

Historic Preservation Office

713.837.7963

historicpreservation@houstontx.gov

## SUBMISSION INSTRUCTIONS

To submit application to Planning Department:

- email documents to [historicpreservation@houstontx.gov](mailto:historicpreservation@houstontx.gov) (attachments must be less than 10MB)
- send a Dropbox shared folder invitation to [historicpreservation@houstontx.gov](mailto:historicpreservation@houstontx.gov), or
- contact staff to set up an appointment to drop off a disc or flash drive.

## MEETING SCHEDULE

- Applications are due **22 calendar days** in advance of the HAHC meeting by **12 PM (noon)** on the deadline date. Exception: revisions to items deferred or denied at the previous HAHC meeting are due 15 days in advance of the scheduled meeting.
- Application deadlines are firm. All materials must be submitted by the deadline to be considered at the following HAHC meeting. Designs must be final at time of application; revisions will not be accepted after the deadline.
- HAHC will not accept new material or redesigns presented at the HAHC meeting. Deferral until the following month's meeting may be necessary in such cases to allow for adequate review by staff and commissioners.
- HAHC monthly meetings are held at 3:00 PM at City Hall Annex, 900 Bagby Street, City Council Chambers, Public Level.

2014 Meeting Dates (Thursdays unless noted otherwise)	COA Application Deadlines	Demolition / Relocation Posted Sign Deadlines
October 23	October 1	October 13
November 20	October 29	November 10
December 17 (Wednesday)	November 25	December 7

## DEFINITIONS

**Addition:** any expansion to an existing building, structure or object.

**Alteration:** any change to the exterior of a building or structure, including adding, moving, removing or replacing an exterior feature.

**Demolition:** an act or process that destroys in whole, or a majority of, any building, structure, object or site.

**Excavation:** to expose, uncover, or remove by digging, cutting or hollowing out.

**Exterior Feature:** an element of the architectural character and the general arrangement of the external portion of a building, structure or object, including building materials.

**Mandatory Repair:** a repair of a building or structure that is necessary to comply with Article IX, Ch. 10, Houston Code of Ordinances, as evidenced by an order of the hearing official or the building and standards commission or by a citation.

**New Construction:** the erection of a new building, structure, or object, on a lot, site, or other property.

**Relocation:** any change in the location of a building, structure, or object.

**Restoration:** accurately recovering the form and detail of a building, structure, object, or site and its setting as it appeared at a particular period of time by means of the removal of later work, or by the replacement of missing earlier work, or both.

# CERTIFICATE OF APPROPRIATENESS APPLICATION

## PART I – GENERAL FORM



**PLANNING &  
DEVELOPMENT  
DEPARTMENT**

Complete all sections and attach all necessary documentation as an incomplete application may cause delays in processing. A complete application includes two parts: part 1- general form; and part 2 - COA checklist(s) for project type and all applicable documentation requested within the checklist(s). Please review the criteria to be considered by the HAHC for Certificates of Appropriateness in the Houston Code of Ordinances, Historic Preservation Ordinance, Chapter 33 VII, Sections 33-240 through 33-249. Refer to the Historic Preservation section on the City of Houston Planning Department website for more information at [www.houstontx.gov/planning](http://www.houstontx.gov/planning).

### OWNER <sup>1</sup>

Name <i>Joseph &amp; Crystal Wright</i>			
Company			
Mailing Address <i>1535 Arlington St</i>			
City <i>Houston</i>	State <i>TX</i>	Zip <i>77008</i>	
Phone <i>832-860-3091</i>			
Email <span style="background-color: black; color: black;">[REDACTED]</span>			
Signature <sup>2</sup> <i>[Signature]</i>		Date <i>15-OCT-2014</i>	

### APPLICANT (if other than owner)

Name			
Company			
Mailing Address			
City	State	Zip	
Phone			
Email			
Signature		Date	

### SITE

Address <i>1535 Arlington St</i>	City <i>Houston</i>	State <i>TX</i>	Zip <i>77008</i>
Subdivision <i>Houston Heights</i>	Lot <i>3</i>	Block <i>138</i>	

### PROPOSED ACTION (refer to definitions on next page)

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> <b>Addition, Alteration, Rehabilitation and/or Restoration</b> <sup>3</sup> | <input type="checkbox"/> <b>New Construction</b> in an historic district |
| <input type="checkbox"/> <b>Relocation</b> <sup>3</sup>   | <input type="checkbox"/> <b>Demolition</b> <sup>3</sup>                  |
| <input type="checkbox"/> <b>Mandatory Repair</b> by order or citation <sup>3</sup>                              | <input type="checkbox"/> <b>Excavation</b> of an archaeological site     |

### ATTACHED DOCUMENTATION

- Written Description** detailing existing site conditions including lot size, structures on lot, area of structures in square feet, setbacks, driveways, and other unique conditions, AND detailed description of the proposed activity; refer to checklists for details
- Current Photographs** showing the overall structure for each elevation visible from a public right-of-way
- Renderings** illustrating existing conditions and proposed activity; refer to checklists for project-specific rendering requirements
- Deed Restriction** compliance of proposed activity and approval of neighborhood or civic association, if applicable
- Application Checklist**<sup>4</sup> for each proposed action checked above and all applicable documentation listed within checklist

<sup>1</sup> Owner is the record title property owner. Applicant may be owner, tenant, architect, contractor, etc.  
<sup>2</sup> Application will not be accepted as complete without a signature of the record title property owner  
<sup>3</sup> Applies to any landmark, protected landmark, or structure within a historic district or archaeological site  
<sup>4</sup> Submit a separate checklist for each proposed action (i.e. a project including an **Addition** to a house and **New Construction** of a detached garage)

To be completed by <b>PLANNING STAFF:</b>	Application received by: Accepted as complete by:	Date: Date:
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# CERTIFICATE OF APPROPRIATENESS APPLICATION

## PART I – GENERAL FORM



**PLANNING &  
DEVELOPMENT  
DEPARTMENT**

### SUBMISSION INSTRUCTIONS

A complete application for a Certificate of Appropriateness (COA) must be submitted at least 15 days prior to the date of the next HAHC meeting to allow time for staff to review the proposal and give public notice of the HAHC hearing agenda. Application materials shall be submitted to Historic Preservation staff in the Planning and Development Department via:

- (1) Email - attach digital format documentation (preferred) OR
- (2) In person by appointment - digital format on a disc (preferred) or hard copy at 611 Walker, 6th Floor, Houston, Texas

### CONTACT INFORMATION

Well in advance of the COA application deadline (see schedule below) contact staff in the Historic Preservation office to discuss your project and, if necessary, to make an appointment to meet with a staff member in person for project consultation. Please don't hesitate to contact staff with any questions regarding the COA application process or documentation requirements:

Historic Preservation Office	713.837.7963	historicpreservation@houstontx.gov
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### 2014 MEETING SCHEDULE – REVISED EFFECTIVE JUNE 1, 2014

- Beginning with the June 2014 HAHC meeting, COA applications are due 22 calendar days in advance of the meeting by 12 PM (noon) on the deadline date. *Exception: revisions to items deferred or denied at the previous HAHC meeting are due 15 days in advance of the scheduled meeting.*
- Application deadlines are firm. All materials must be submitted by the deadline to be considered at the following HAHC meeting. Designs must be final at time of application; revisions will not be accepted after the deadline.
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HAHC <u>2014</u> Meeting Dates (Thursdays unless noted otherwise)	COA Application Deadlines	Demolition / Relocation Posted Sign Deadlines
May 22	May 7	May 12
June 19	May 28*	June 9
July 17	June 25*	July 7
August 28	August 6*	August 18
September 25	September 3*	September 15
October 23	October 1*	October 13
November 20	October 29*	November 10
December 17 (Wednesday)	November 25*	December 7

\* Revised Dates

### DEFINITIONS

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**Mandatory Repair:** a repair of a building or structure that is necessary to comply with Article IX, Chapter 10, Houston Code of Ordinances, as evidenced by an order of the hearing official or the building and standards commission or by a citation.

**New Construction:** the erection of a new building, structure, or object, on a lot, site, or other property.

**Rehabilitation:** returning a building, structure, object, or site to a state of utility that makes possible an efficient contemporary use while preserving those portions or exterior features that are historically, architecturally and culturally significant.

**Relocation:** any change in the location of a building, structure, or object.

**Restoration:** accurately recovering the form and detail of a building, structure, object, or site and its setting as it appeared at a particular period of time by means of the removal of later work, or by the replacement of missing earlier work, or both.

CERTIFICATE OF APPROPRIATENESS APPLICATION

PART II.A – CHECKLIST AND FORM:

ADDITION, ALTERATION, REHABILITATION AND/OR RESTORATION



PLANNING & DEVELOPMENT DEPARTMENT

Please complete all applicable items and submit with the COA application; digital application documents preferred. An incomplete application may cause delays in processing or may be deferred to the next agenda. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-241 for HAHC consideration criteria for approval for an addition, alteration, rehabilitation, or restoration of a landmark; protected landmark; or structure in a historic district.

ACTION TYPE AND SUBTYPES: (select all that apply)

[X] Addition

Side Addition

- [ ] addition to a single side of structure
[ ] addition to multiple sides of structure

Rear Addition

- [ ] addition to rear of same width/height of existing structure
[X] addition to rear taller and/or wider than existing structure

Additional Story / Level / Height

- [ ] 1 additional level/story to existing
[ ] 2+ additional levels/stories to existing
[ ] other addition increasing height of existing (explain in written description)

Porch / Balcony

- [ ] addition of a porch/balcony at the front of the structure
[ ] addition of a porch/balcony at a side of the structure
[ ] addition of a porch/balcony at the rear of the structure

Other

- [ ] type of addition not listed above (explain in written description)

[X] Alteration, Rehabilitation or Restoration

Foundation

- [X] leveling or height alterations
[X] foundation material or foundation cladding
[ ] type alteration; i.e. slab on grade, pier on beam

Walls

- [X] cladding: i.e. siding, shingles, brick, paneling, stucco
[X] windows: i.e. location, size, type, material, quantity
[X] doors: i.e. location, size, type, material, quantity
[ ] commercial storefront system

Roof

- [ ] shape: i.e. form, pitch, type
[ ] wall junction: i.e. eaves, soffit, brackets, overhang
[ ] projections: i.e. chimneys, towers, dormers
[ ] equipment: i.e. antennas, solar panels

Architectural Elements

- [ ] awnings or canopies
[X] porch or balcony
[X] columns or visible structural members
[ ] commercial signage
[ ] other architectural element alterations (explain in written description)

ALTERATION, REHABILITATION, RESTORATION, ADDITION DOCUMENTATION:

Photographs (label each photo with a description and location)

- [X] Elevations of front (street) facing facade and all sides of the structure visually affected by the proposed addition or alteration
[X] Detail Photos of exterior elements subject to proposal illustrating current pertinent conditions; i.e. damaged beyond repair materials, architectural elements to be altered or replicated, areas to be altered or removed
[X] Historical Photos or evidence illustrating past architectural authenticity if restoring or replacing missing historic elements

Renderings (accurately scaled and dimensioned)

- [X] Current Site Plan of the property containing the subject of the proposal, indicate area of proposed work; include dimensions for all setbacks from property line, easements, secondary structures, and any other pertinent existing site conditions

Site Address 1535 Arlington St Subdivision Houston Heights Lot 3 Block 138
Primary Project Contact Joseph Wright Email Phone 832-860-3091

**CERTIFICATE OF APPROPRIATENESS APPLICATION**  
**PART II.A – CHECKLIST AND FORM:**  
**ADDITION, ALTERATION, REHABILITATION AND/OR RESTORATION**



**PLANNING &  
DEVELOPMENT  
DEPARTMENT**

- Proposed Site Plan** for additions, removals or proposals altering site configurations; for additions clearly indicated the location, size and footprint of the addition; include dimensions locating alteration in respect to the existing structure; i.e. dimension from front wall to beginning of a rear addition
- Architectural Plans and Elevations** of the proposed alterations and/or additions, including:
  - Floor Plans** of existing and proposed if adding to the existing building footprint
  - Roof Plans** of existing and proposed if adding to or altering the existing roof shape, form, pitch or size
  - Demolition Plan** if any existing exterior features are proposed to be removed from the existing structure
  - Elevations** of existing and proposed of all sides of the structure that the proposed addition or alteration is visible

**Written Description** (include the following items, use the area below and/or attach additional pages)

- Subject of Proposal** description including current location and condition of the structure and any prior alterations or additions
- Proposed Work** description including plans to add, remove, repair or replace any exterior features or materials with in-kind or new features or materials; clearly describe location of proposed alterations and/or label on plan and elevation drawings
- Materials** description and condition of existing materials and proposed materials if original materials cannot be retained; include, when applicable: product information or specification sheets; door and window schedule; samples to further demonstrate new materials; any plans to salvage, reuse or recycle historic or original materials proposed for removal
- Criteria Adherence** describe how the proposal satisfies the determination criteria as stated in the Historic Preservation Ordinance, Sec. 33-241 (a) or (b) or (c) for an:
  - (a) addition, alteration, rehabilitation or restoration of an exterior feature to a landmark, protected landmark, contributing structure within a historic district, or structure on an archaeological site, upon finding that it satisfies criteria (1) through (11) as stated in Section 33-241(a)OR
  - (b) an addition to a contributing structure within a historic district, upon finding that it satisfies criteria (4) and (1) or (2) or (3) as stated in Section 33-241(b)OR
  - (c) an addition, alteration, rehabilitation or restoration of an exterior feature of a noncontributing structure within a historic district upon finding that it satisfies criteria (1); and for an addition, criteria (2) as stated in Section 33-241(c)

**I (we) request approval of a Certificate of Appropriateness to**

*Please see attached word document & drawings.*

*JRE*

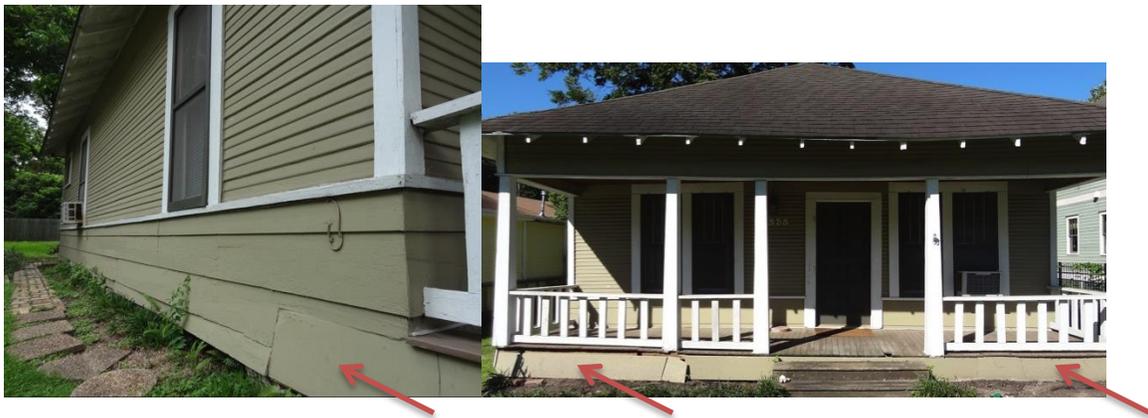
**Overview** - The overall project will be to repair our bungalow (933 sq ft), add a two story rear addition (1426 sq ft), remove non-original utility bump out and raise the house for adequate crawl space. We are bungalow enthusiast and love the charm of these old houses. Thus we have tried to create an approach that keeps the majority of the original structure preserved. The plan focuses on a small rear wall only addition with no encroachment into the original house, clear delineation of the original structure and still visually appealing. This was balanced with the needs of a growing family with little ones on the way.

**Note** - We have used "±" in this document a few places as these plans have not gone through structural review. Only after getting a COA are we giving this to the structural engineer for review. This structural review could adjust the joist/beam space required between floors and under the new house addition. We don't imagine the structural engineer will deviate from our estimate much. We also understand that big changes would need to go back through for a COA.

**Foundation** - Need to level existing structure and add a ±8 in block to the house to provide more room under existing structure and adequate room under the new addition. New structure will need foundation to support load of second story, which will result in the foundation being even lower to the ground than the original structure (see photos). Also plan to rebuild brick & block piers under house.

**Siding/Trim** - Plan to strip paint from all siding/trim on original bungalow and replace any damaged siding/trim with like material then recondition and paint.

Several spots on the house contain cement board and poor patch jobs, which we plan to remove (see example photo below) and replace with wood to match rest of house.



**Porch** - Need to repair several areas of the front porch, as there are various issues. Someone added a 5th (middle) post to the porch to fix a sagging issue. In the photo

you will notice the porch and roof sag. The problem is actually the front porch beam is damaged beyond repair and possibly the porch header has a structural issue, which we will need to temporarily remove some trim to address. The trim will be reinstalled. Plan to replace front porch beam and remove all cement siding that is currently wrapping porch.



The 5th post is made of new wood and you can tell doesn't have layers and layers of old paint as the other 4 posts. We plan to remove this newer post and balusters and just have the original 4 posts.



This is showing the new rail and balusters. Bottom and top rail are not painted on the bottom side.



The plan is to save as much original material as possible. Several original balusters are loose and some are not even attached, but are salvageable. They are just wedged in place. Plan to strip all good wood on porch and recondition and paint.

The porch also has a faux panel board ceiling (see photo) plan to remove and replace with real wood strips. In addition the ceiling has aluminum vents (see photo) we plan to remove. If attic ventilation requirements need porch vents we will install wood ones.



The porch floor has several floorboards that are bowed/cupped beyond repair and we plan to replace with similar material. Then the floor will be sanded and painted/stained.



Plan to strip and refinish front door.

Porch Stairs - Currently the stairs are narrow concrete steps that we plan to remove and replace. We plan to widen the stairs to cover the area of the 5th post that was removed and build wood stairs in there place. Also plan to remove the random concrete pads in the yard and build path from new stairs to sidewalk.



### **Front Windows (East)**

- The front has four 4 over 1 wood windows. They are in rough condition and need to be rebuilt. Plan to remove these sashes temporarily to be rebuilt/reconditioned and then reinstalled. Some broken glass will be replaced.

### **Side Windows (North)**

- The front two north windows are 1 over 1 that need to be removed, repaired and reglazed.
- The next two windows are full size, but no longer 1 over 1. They are currently just a single piece of plate glass with corner round trimming. Plan to remove plate glass and install 1 over 1 wood window to match original windows. If we can source old windows we will use them as our preferred window. Worst case we have to buy new windows to match existing. We show new windows in the plan as a worst-case scenario.



- This last window on the North wall is a half height aluminum kitchen window. Plan to remove this and put a full 1 over 1 wood window to match original windows.



- There is poor siding patch job below this window. This was either already a full window or someone repaired a water leak. Instead of properly splicing the siding with staggered joints they have straight seems of reinstalled siding. During this window replacement we will remove and reinstall some siding to fix this. We will keep as much original wood siding as possible and properly splice in the siding.

#### **Side Windows (South)**

- The front two south windows are 1 over 1 that need to be removed, repaired and reglazed.
- The next south window is a 1 over 1 that needs to be removed, repaired and reglazed.
- The last south window at end of house is a half height wood window. Plan to remove this and put a full 1 over 1 wood window to match original windows.

#### **Exterior wall shiplap / insulation**

- Plan to insulate the exterior walls of the original structure. Plan to remove some interior shiplap to facilitate the installation of insulation. Any shiplap removed will be reinstalled after insulating to ensure structural integrity of exterior walls.

#### **New Rear Addition**

- Plan to build a new addition at the rear of the house. See elevation photos. This addition will require the removal of the rear wall, new piers for the rear of the house and removal of some of the rear roof (see roof plan).
- The rear French doors of the home have been moved before as you can see from the poor siding patch job. This old opening and the new door opening mean much of the original siding of the rear have already been removed.



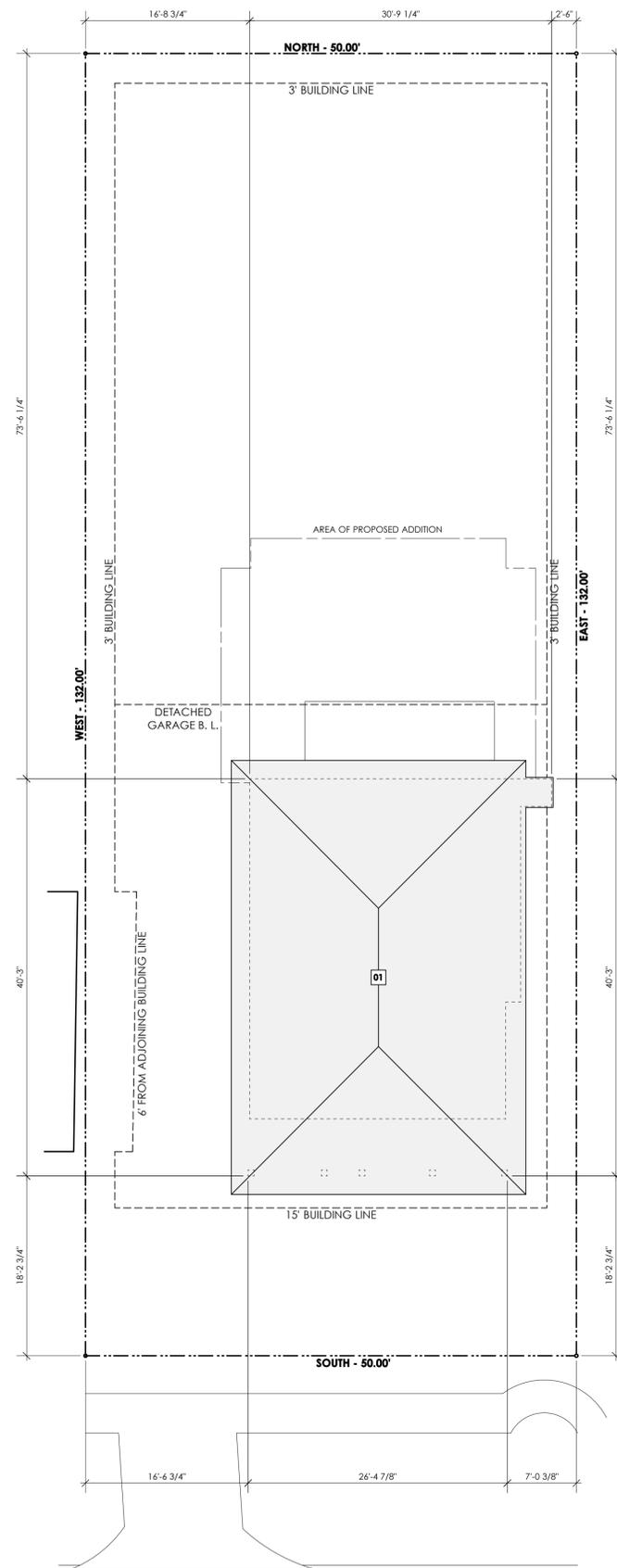
- This addition will require the removal of an old deck on its last leg. See photos.



- Also plan to remove a small utility bump out added in the past to hold things like the hot water heater. This addition extends  $\pm 3$  foot beyond the rest of the structure on the north (side).

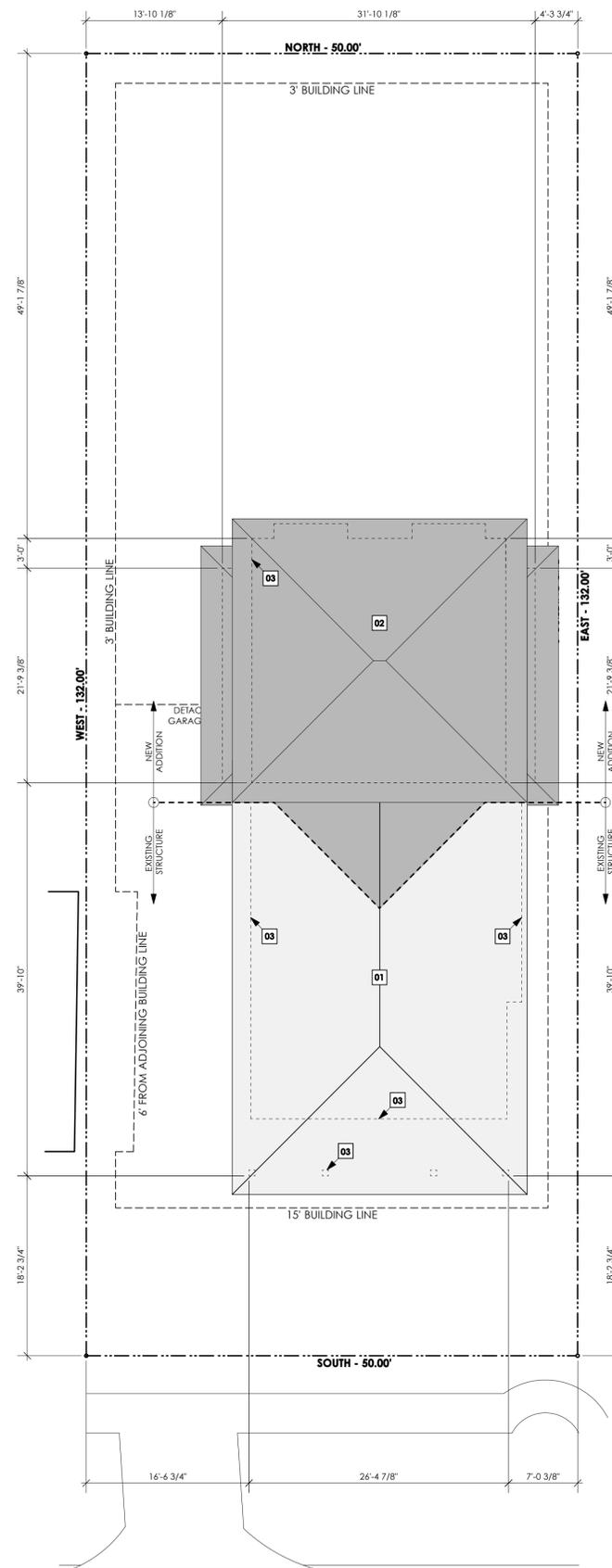


- Will clad in 117 wood siding to match original structure and wrap bottom of structure with boards to match existing skirting
- New addition will have 1 over 1 wood windows (some full and some half height. See window schedule)
- Roof on new structure will be hip with pitch ( $\pm 6:12$ ) and overhang to match original structure with painted rafter tails.



ARLINGTON STREET  
(50' R.O.W.)

**N07** EXISTING SITE PLAN  
SCALE: 1/8" = 1'-0"



ARLINGTON STREET  
(50' R.O.W.)

**N01** PROPOSED SITE PLAN  
SCALE: 1/8" = 1'-0"

### LEGAL DESCRIPTION

LOT 3, BLOCK 138, HOUSTON HEIGHTS,  
AS RECORDED IN VOL. 1, PAGE 114 OF THE MAP RECORDS  
OF HARRIS COUNTY, TEXAS

### GENERAL NOTES

- 01. PROJECT DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2006 IRC AND THE 2011 NEC.
- 02. THIS SITE PLAN WAS PREPARED BASED ON A SURVEY PROVIDED BY JOSEPH AND CRYSTAL WRIGHT, PREPARED BY PRECISION SURVEYORS, DATED 06-13-2014.
- 03. PLUMBING VENTS ARE TO BE GANGED WHERE POSSIBLE AND LOCATED OUT OF VIEW FROM ARLINGTON STREET.
- 04. ALL WATER HEATER AND FURNACE FLUES SHALL BE LOCATED OUT OF VIEW FROM ARLINGTON STREET.

### KEYED NOTES

- 01. EXISTING 1 STORY RESIDENCE
- 02. NEW 2 STORY ADDITION
- 03. DASHED LINE INDICATES EXTENT OF STRUCTURE BELOW

### RELATION OF SPECIFICATIONS AND DRAWINGS

THE DRAWINGS AND SPECIFICATIONS ARE CORRELATIVE AND HAVE EQUAL AUTHORITY AND PRIORITY. SHOULD THEY DISAGREE IN THEMSELVES, OR WITH EACH OTHER, BASE THE BIDS ON THE MOST EXPENSIVE COMBINATION OF QUALITY AND QUANTITY OF WORK INDICATED. THE ARCHITECT WILL CLARIFY THE PROJECT REQUIREMENTS IN THE EVENT OF THE ABOVE MENTIONED DISAGREEMENTS.

- 01. DRAWINGS SHALL NOT BE SCALED.
- 02. LARGE SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE DETAILS.
- 03. ARCHITECTURAL DRAWINGS TAKE PRECEDENCE IN REGARD TO DIMENSIONS, WHEN IN CONFLICT WITH MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL DRAWINGS, EXCEPT FOR THE SIZE OF THE STRUCTURAL MEMBERS.
- 04. ANY CALLS FOR DIMENSIONAL ALIGNMENT TAKE PRECEDENCE OVER ANY CONFLICTING NUMERICAL DIMENSIONS. NOTIFY ARCHITECT OF ANY CONFLICTS.
- 05. SPECIFICALLY TILED DRAWINGS TAKE PRECEDENCE OVER INDICATION OF THE ITEM IN A COLLATERAL WAY.
- 06. IN RENOVATION AND ADDITION WORK EXISTING CONDITIONS TAKE PRECEDENCE OVER DRAWING DIMENSIONS.
- 07. ALL DETAILS SUGGESTING MEANS AND METHODS OF CONSTRUCTION ILLUSTRATE ARCHITECTURAL INTENT ONLY. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION AND SHALL ENSURE ALL EXECUTED WORK MEETS LOCAL BUILDING CODES. IF THE GENERAL CONTRACTOR IS CONCERNED OR IN DISAGREEMENT WITH ANY DETAILS IN THE CONSTRUCTION SET OF DRAWINGS, IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION.

**PROJECT:**

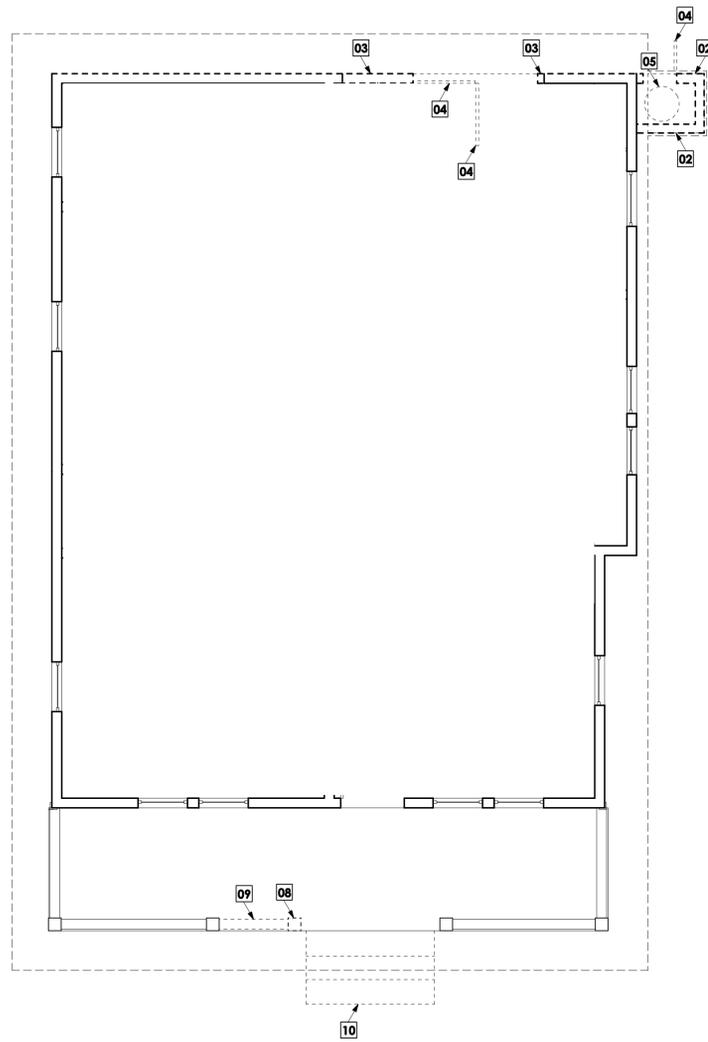
REMODEL/ADDITION FOR  
JOE & CHRISTY WRIGHT  
1535 ARLINGTON STREET  
HOUSTON, TX 77008

**ISSUED:**

- For Review  
15 August 2014
- For Review  
04 October 2014
- For Client Review  
24 October 2014
- For Client Review  
27 October 2014
- For HAHC Review  
28 October 2014

NOT FOR  
CONSTRUCTION

A1.0



**DEMO KEYED NOTES:**

- 01. REMOVE EXISTING CABINERY AND/OR COUNTERTOP
- 02. REMOVE EXISTING STUD WALL
- 03. MODIFY STUD WALL FOR OPENING. SEE PLAN.
- 04. REMOVE DOOR
- 05. REMOVE APPLIANCE
- 06. REMOVE PLUMBING FIXTURE
- 07. RELOCATE ATTIC ACCESS. SEE PLAN
- 08. REMOVE EXISTING COLUMN
- 09. REMOVE EXISTING HANDRAIL
- 10. REMOVE EXISTING ENTRY STEPS

**04** FIRST FLOOR DEMO PLAN  
 SCALE: 1/4"= 1'- 0"

**PROJECT:**  
 REMODEL/ADDITION FOR  
 JOE & CHRISTY WRIGHT  
 1535 ARLINGTON STREET  
 HOUSTON, TX 77008

**ISSUED:**  
 For Client Review  
 15 August 2014  
 For Client Review  
 04 October 2014  
 For Client Review  
 23 October 2014  
 For Client Review  
 27 October 2014  
 For HAHC Review  
 28 October 2014

**NOT FOR  
 CONSTRUCTION**

**A2.0**

**FIRST FLOOR DOOR SCHEDULE**

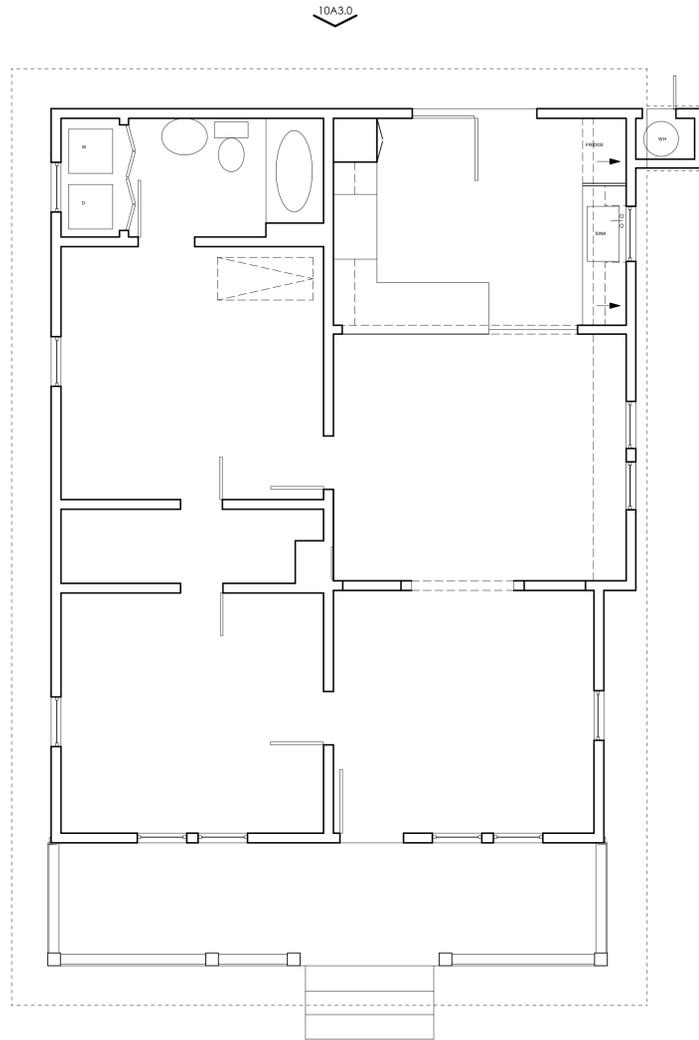
DOOR #	TYPE	WIDTH	HEIGHT	HINGE	HEAD	JAMB	THRESHOLD	COMMENTS
D01								EXISTING DOOR TO REMAIN
D02								WEATHERSTRIP, SAFETY GLAZING

- NOTES:**  
 01. SEE SHEET A7.0 FOR DIMENSIONED DOOR ELEVATIONS AND TYPES.  
 02. DIMENSIONS GIVEN FOR WIDTH AND HEIGHT ARE NOMINAL U.N.O.  
 03. DIMENSIONS GIVEN FOR WIDTH AND HEIGHT FOR "CASED" TYPE UNITS ARE FINISHED CLEAR MEASUREMENTS.  
 04. ALL DOORS ARE PAINT GRADE U.N.O.

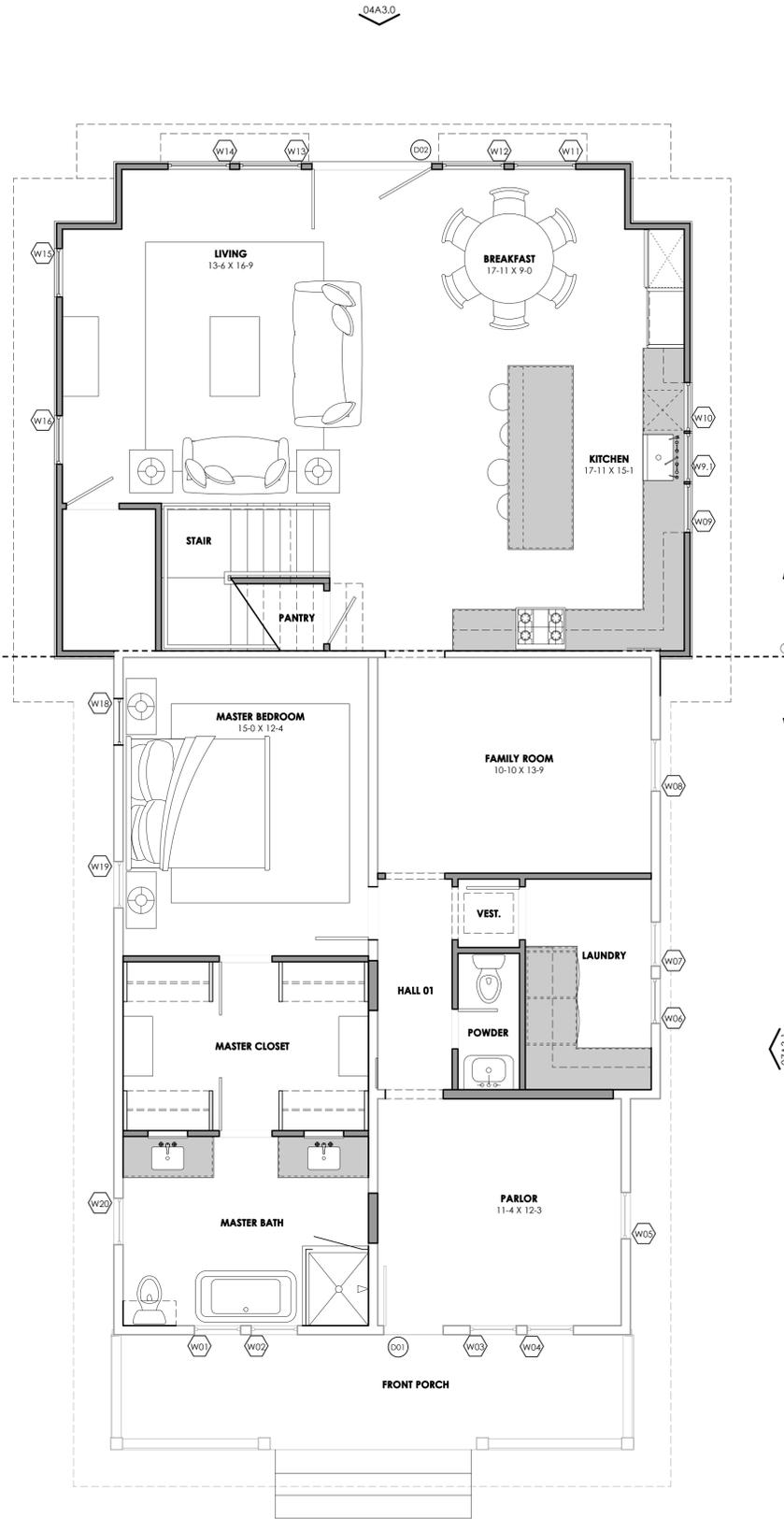
**FIRST FLOOR WINDOW SCHEDULE**

WINDOW TYPE	HINGE	HEAD	JAMB	SILL	COMMENTS
W01	A				EXISTING WINDOW TO REMAIN
W02	A				EXISTING WINDOW TO REMAIN
W03	A				
W04	A				
W05	A				
W06	F				EXISTING WINDOW TYPE 'B' TO BE REPLACED WITH TYPE 'F'
W07	F				EXISTING WINDOW TYPE 'B' TO BE REPLACED WITH TYPE 'F'
W08	F				EXISTING WINDOW TYPE 'B' TO BE REPLACED WITH TYPE 'F'
W09	D				EXISTING WINDOW TYPE 'C' TO BE REPLACED WITH TYPE 'F'
W09.1	D				
W10	D				
W11	E				
W12	E				
W13	E				
W14	E				
W15	F				
W16	F				
W18	F				REPLACE EXISTING WINDOW AT THIS LOCATION
W19	A				EXISTING WINDOW TO REMAIN
W20	A				EXISTING WINDOW TO REMAIN

- NOTES:**  
 01. SEE SHEET A7.0 FOR DIMENSIONED WINDOW ELEVATIONS AND TYPES.  
 02. ALL WINDOWS SHALL HAVE SHEETROCK RETURN FINISH U.N.O. NO JAMB EXTENSIONS REQUIRED.



**10** EXISTING FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



**04** PROPOSED FIRST FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

**AREA CALCULATIONS:**

INTERIOR SPACE	
FIRST FLOOR EXISTING	933 SQ. FT.
FIRST FLOOR ADDITION	763 SQ. FT.
SECOND FLOOR ADDITION	663 SQ. FT.
<b>TOTAL</b>	<b>2359 SQ. FT.</b>
EXTERIOR SPACE	
FRONT PORCH	150 SQ. FT.
<b>TOTAL</b>	<b>150 SQ. FT.</b>
<b>TOTAL SLAB</b>	<b>1844 SQ. FT.</b>
<b>TOTAL BUILT</b>	<b>2509 SQ. FT.</b>

**PLAN KEYS:**

- ROOM** ROOM KEY
- WINDOW KEY
- DOOR KEY
- PF.01** PLUMBING FIXTURE KEY
- EQ.01** EQUIPMENT KEY
- INTERIOR ELEVATION KEY
- NOTE KEY
- SECTION KEY
- DETAIL KEY

**CUSIMANO**  
 ARCHITECT

Kelly Grl Cusimano, AIA 832.465.0419

1535 ARLINGTON STREET

**PROJECT:**  
 REMODEL/ADDITION FOR JOE & CHRISTY WRIGHT  
 1535 ARLINGTON STREET  
 HOUSTON, TX 77008

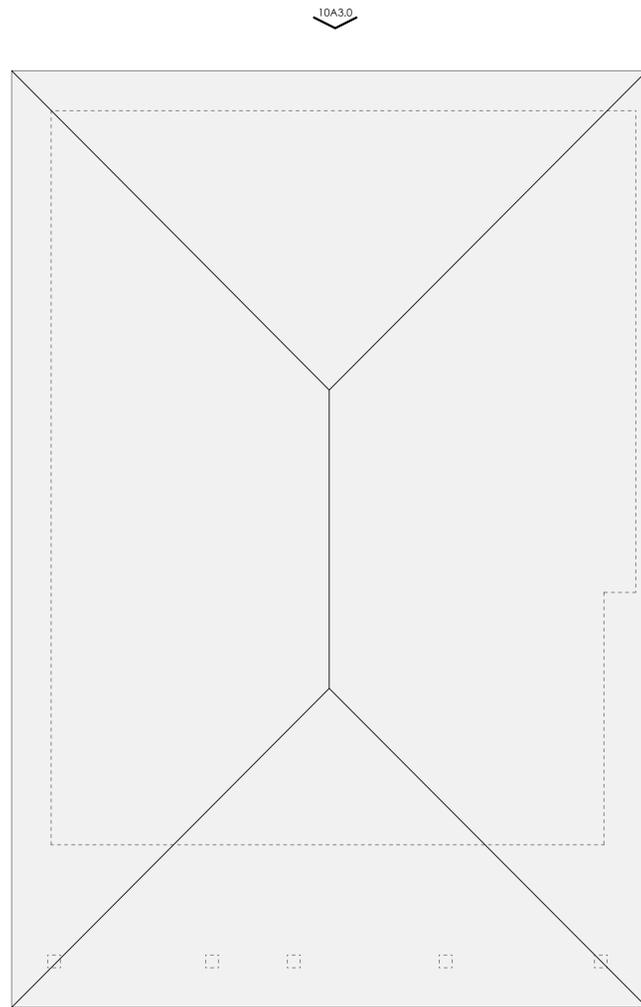
**ISSUED:**  
 For Client Review  
 15 August 2014  
 For Client Review  
 04 October 2014  
 For Client Review  
 23 October 2014  
 For Client Review  
 27 October 2014  
 For AHAC Review  
 28 October 2014

**NOT FOR CONSTRUCTION**  
**A2.1**

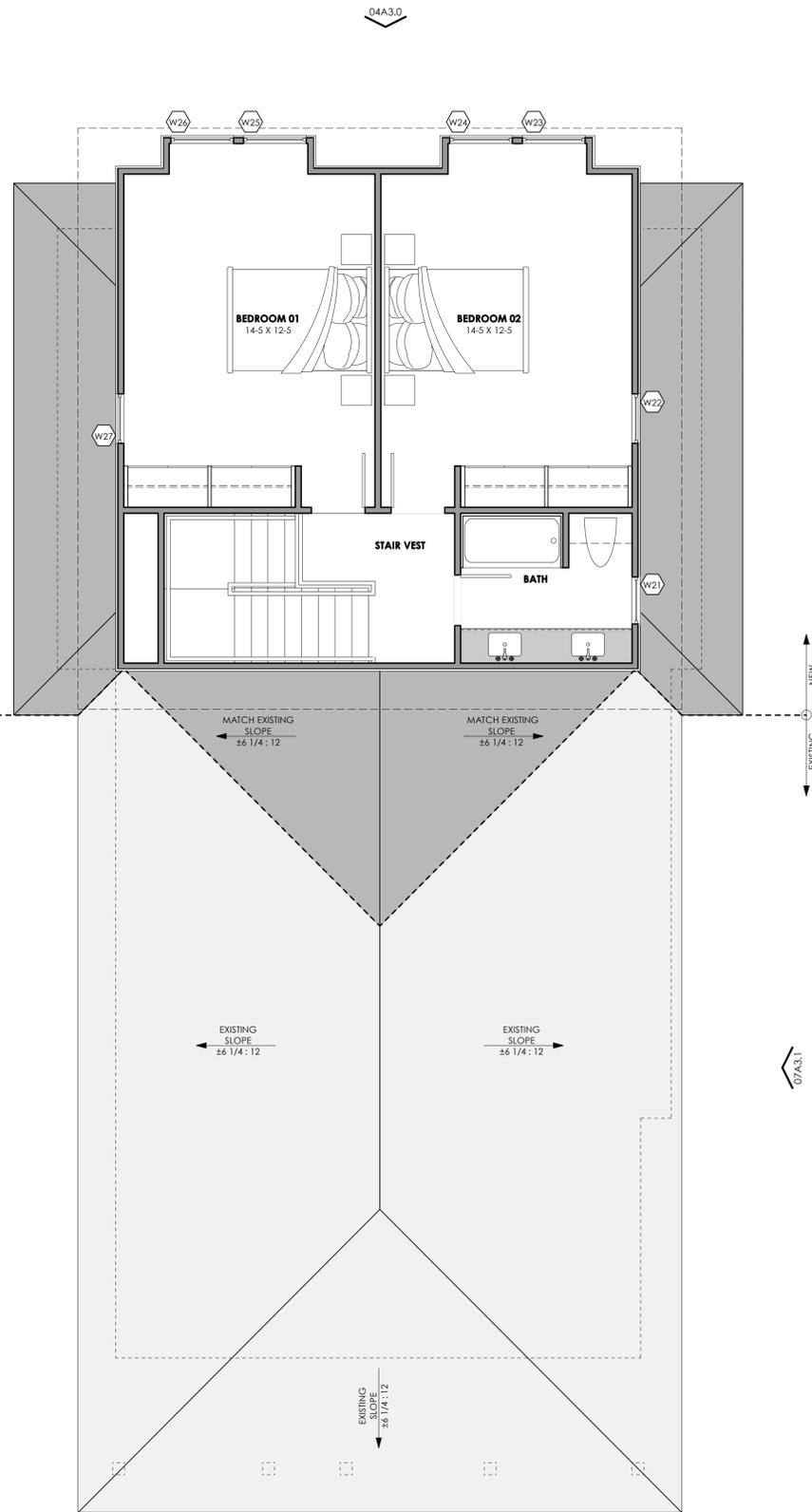
### SECOND FLOOR WINDOW SCHEDULE

WINDOW TYPE	HINGE	HEAD	JAMB	SILL	COMMENTS
W21	D	-	-	-	-
W22	H	-	-	-	-
W23	I	-	-	-	EGRESS
W24	I	-	-	-	EGRESS
W25	I	-	-	-	EGRESS
W26	I	-	-	-	EGRESS
W27	H	-	-	-	-

**NOTES:**  
 01. SEE SHEET A7.0 FOR DIMENSIONED WINDOW ELEVATIONS AND TYPES.  
 02. ALL WINDOWS SHALL HAVE SHEETROCK RETURN FINISH U.N.O. NO JAMB EXTENSIONS REQUIRED.



**10** EXISTING ROOF PLAN  
 SCALE: 1/4" = 1'-0"



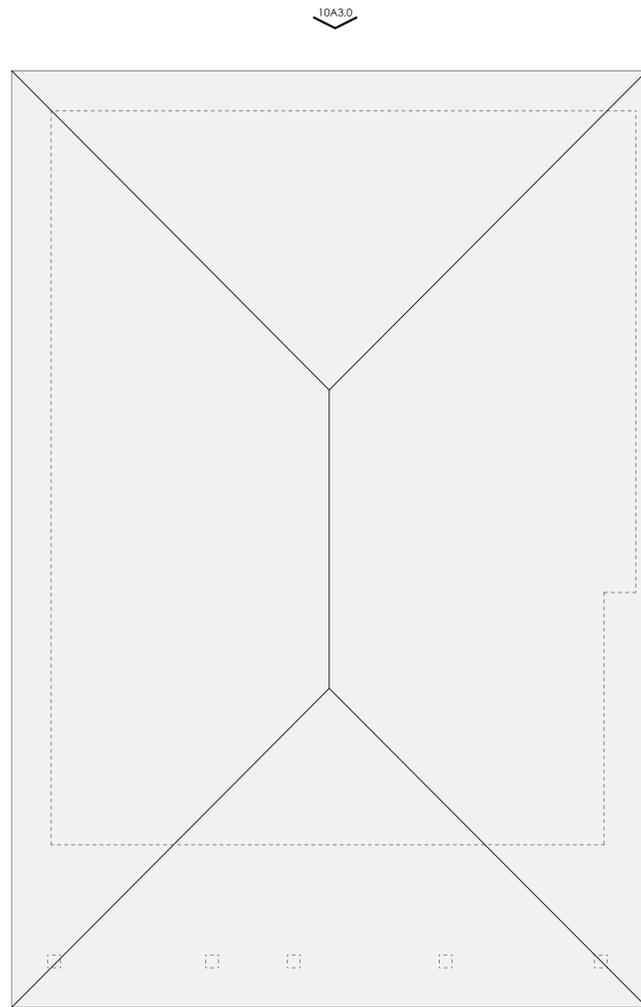
**04** PROPOSED SECOND FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

### AREA CALCULATIONS:

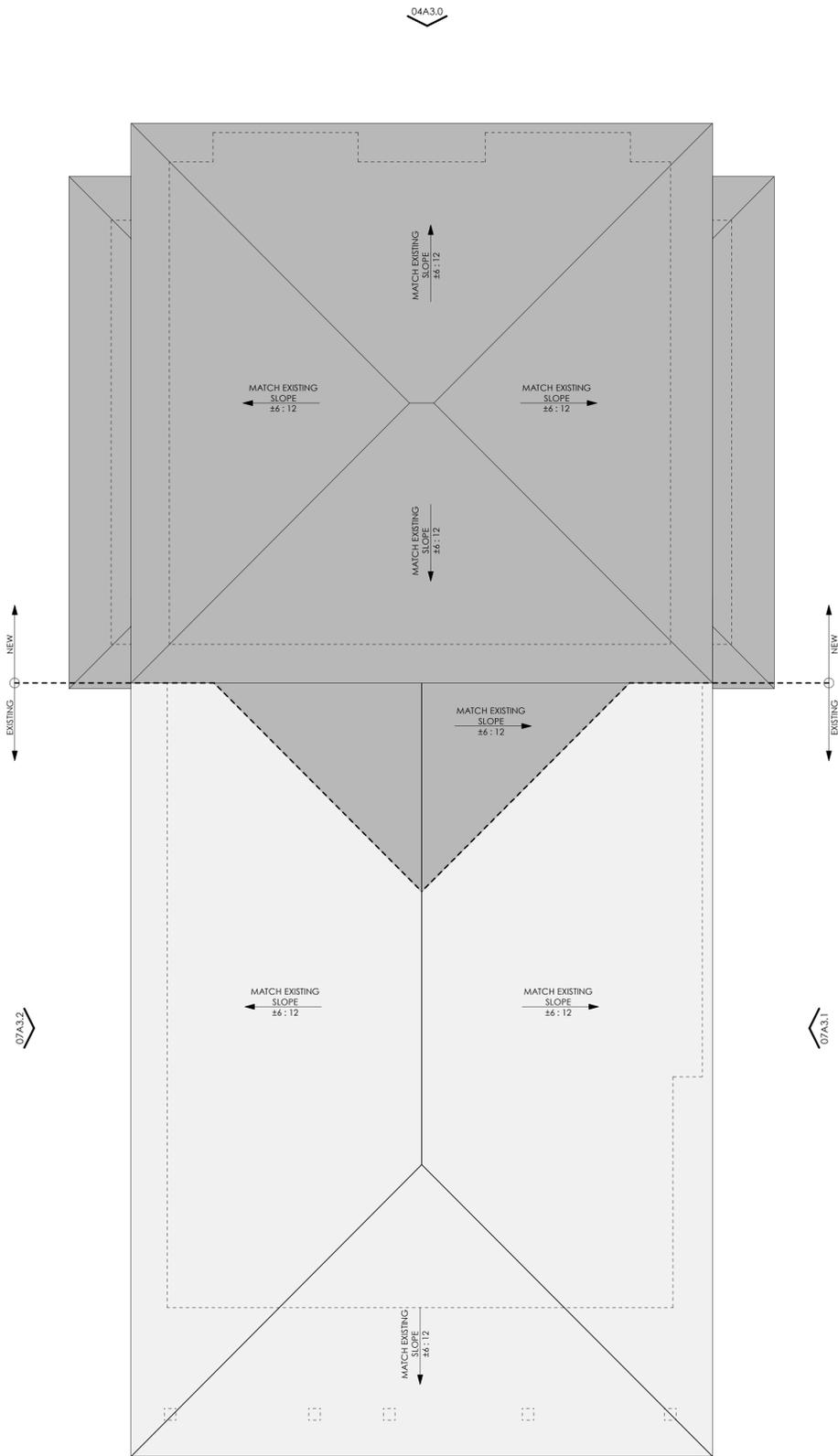
INTERIOR SPACE	
FIRST FLOOR EXISTING	933 SQ. FT.
FIRST FLOOR ADDITION	763 SQ. FT.
SECOND FLOOR ADDITION	663 SQ. FT.
<b>TOTAL</b>	<b>2359 SQ. FT.</b>
EXTERIOR SPACE	
FRONT PORCH	150 SQ. FT.
<b>TOTAL</b>	<b>150 SQ. FT.</b>
<b>TOTAL SLAB</b>	<b>1844 SQ. FT.</b>
<b>TOTAL BUILT</b>	<b>2509 SQ. FT.</b>

### PLAN KEYS:

- ROOM** ROOM KEY
- WINDOW KEY
- DOOR KEY
- PF.01** PLUMBING FIXTURE KEY
- EQ.01** EQUIPMENT KEY
- INTERIOR ELEVATION KEY
- NOTE KEY
- SECTION KEY
- DETAIL KEY



**10** EXISTING ROOF PLAN  
SCALE: 1/4" = 1'-0"



**04** PROPOSED ROOF PLAN  
SCALE: 1/4" = 1'-0"

**AREA CALCULATIONS:**

INTERIOR SPACE	
FIRST FLOOR EXISTING	933 SQ. FT.
FIRST FLOOR ADDITION	763 SQ. FT.
SECOND FLOOR ADDITION	663 SQ. FT.
<b>TOTAL</b>	<b>2359 SQ. FT.</b>
EXTERIOR SPACE	
FRONT PORCH	150 SQ. FT.
<b>TOTAL</b>	<b>150 SQ. FT.</b>
<b>TOTAL SLAB</b>	<b>1844 SQ. FT.</b>
<b>TOTAL BUILT</b>	<b>2509 SQ. FT.</b>

**PLAN KEYS:**

- ROOM** ROOM KEY
- WINDOW KEY
- DOOR KEY
- PF.01** PLUMBING FIXTURE KEY
- EQ.01** EQUIPMENT KEY
- INTERIOR ELEVATION KEY
- NOTE KEY
- SECTION KEY
- DETAIL KEY

**PROJECT:**

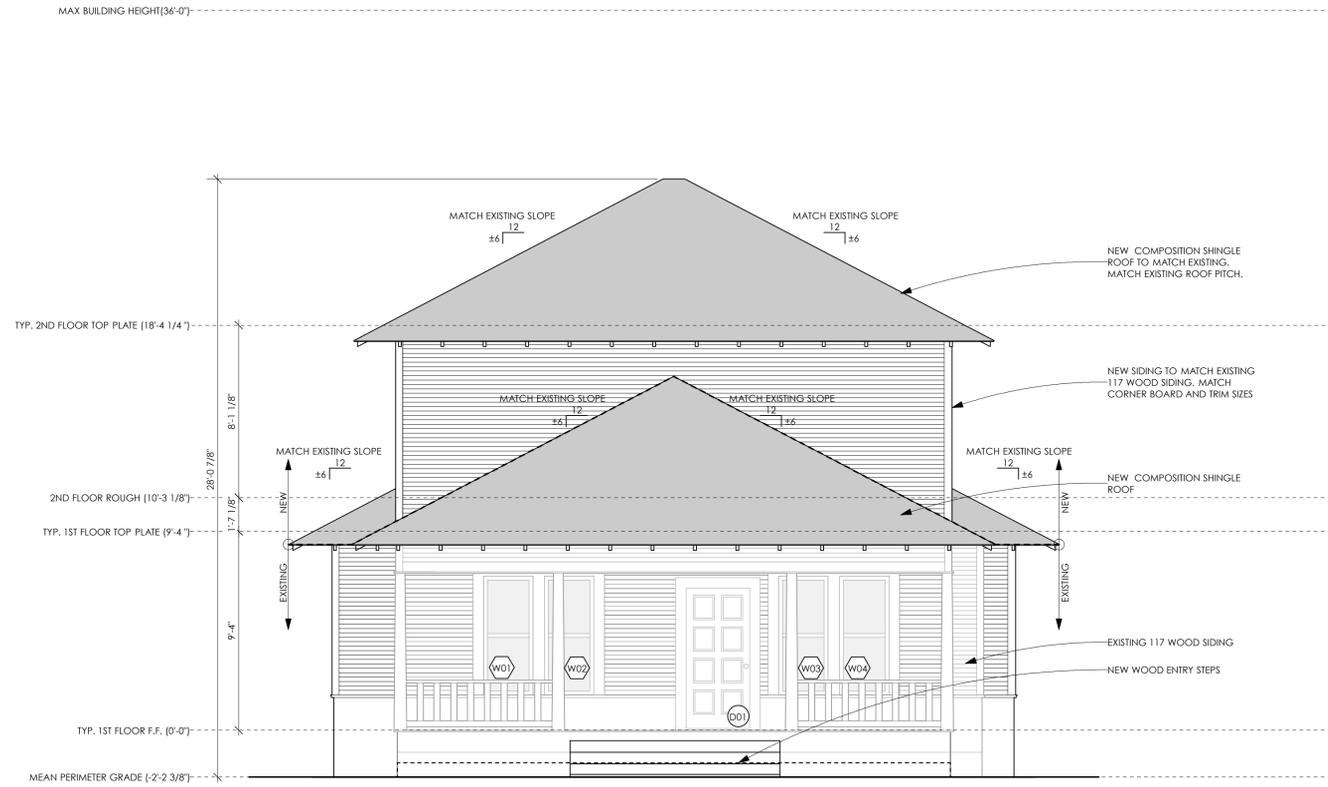
REMODEL/ADDITION FOR  
JOE & CHRISTY WRIGHT  
1535 ARLINGTON STREET  
HOUSTON, TX 77008

**ISSUED:**

- For Client Review  
15 August 2014
- For Client Review  
04 October 2014
- For Client Review  
23 October 2014
- For Client Review  
27 October 2014
- For HAHC Review  
28 October 2014



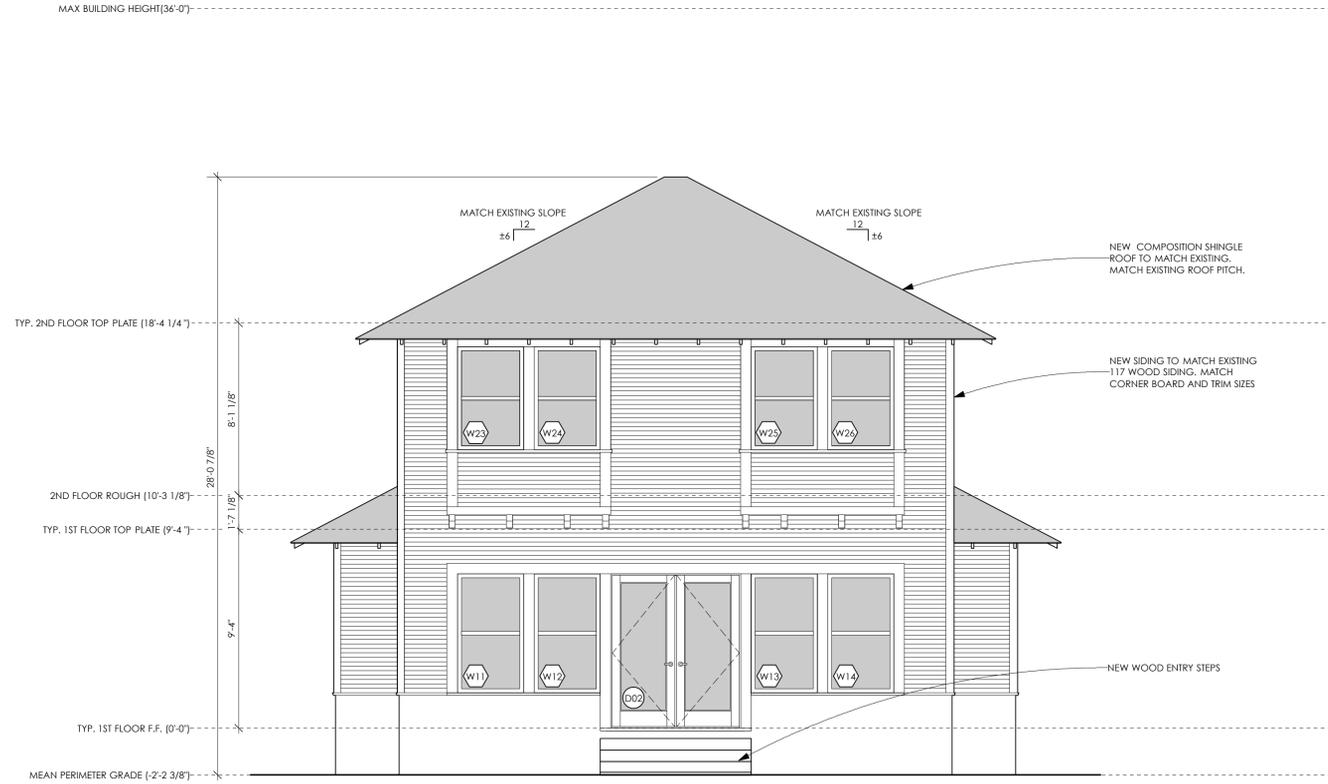
**12** EXISTING EAST ELEVATION  
SCALE: 1/4"= 1'- 0"



**06** PROPOSED EAST ELEVATION  
SCALE: 1/4"= 1'- 0"



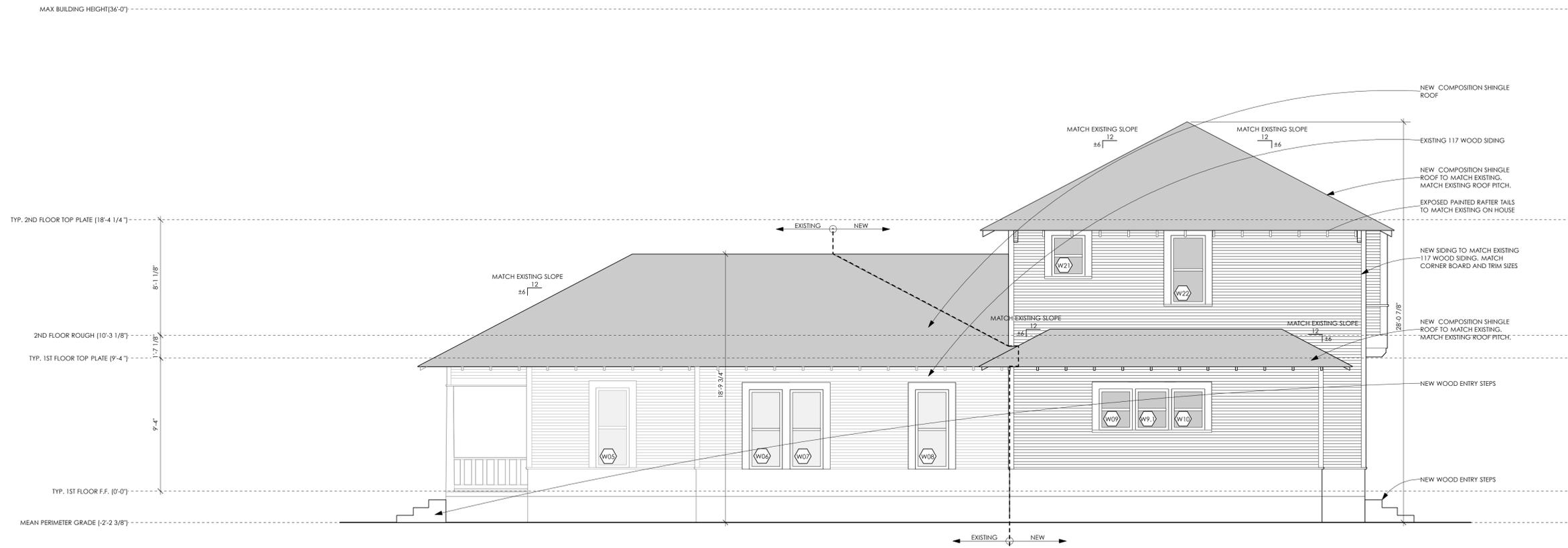
**10** EXISTING WEST ELEVATION  
SCALE: 1/4"= 1'- 0"



**04** PROPOSED WEST ELEVATION  
SCALE: 1/4"= 1'- 0"



**09** EXISTING NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



**07** PROPOSED NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

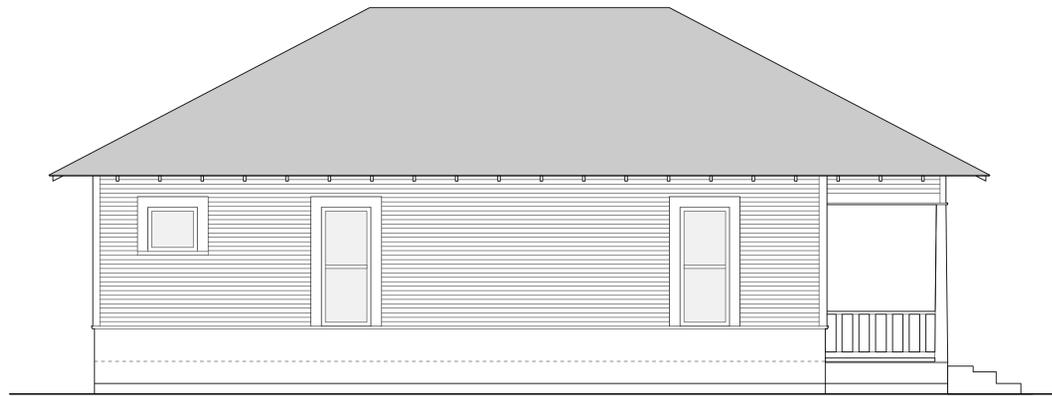
**PROJECT:**

REMODEL/ADDITION FOR  
JOE & CHRISTY WRIGHT  
1535 ARLINGTON STREET  
HOUSTON, TX 77008

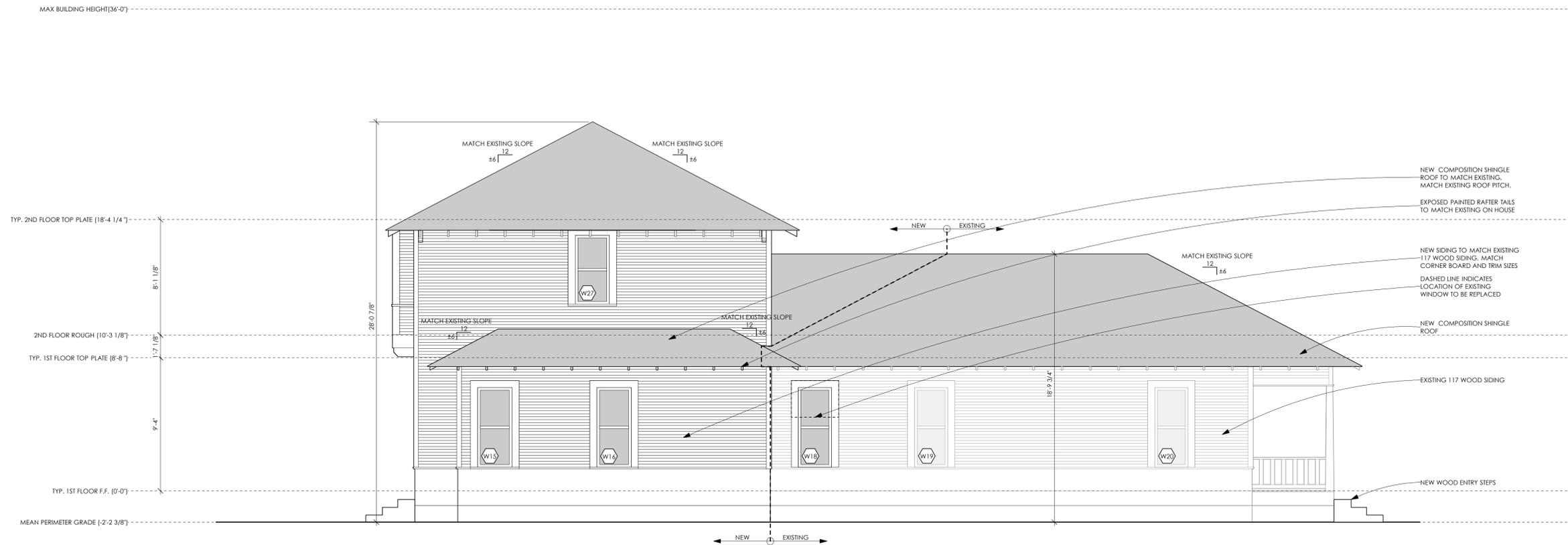
**ISSUED:**

- For Client Review  
15 August 2014
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04 October 2014
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14 October 2014
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23 October 2014
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28 October 2014

**NOT FOR  
CONSTRUCTION**



**09** EXISTING SOUTH ELEVATION  
SCALE: 1/4"= 1'- 0"



**07** PROPOSED SOUTH ELEVATION  
SCALE: 1/4"= 1'- 0"

**PROJECT:**

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1535 ARLINGTON STREET  
HOUSTON, TX 77008

**ISSUED:**

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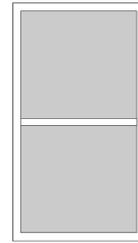
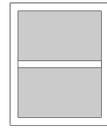
For Review  
14 October 2014

For Client Review  
24 October 2014

For Client Review  
27 October 2014

For HAHC Review  
28 October 2014

**NOT FOR  
CONSTRUCTION**



FINISH FLOOR

**A**  
EXISTING WINDOW TO REMAIN  
2'-4" X 5'-7" SINGLE HUNG

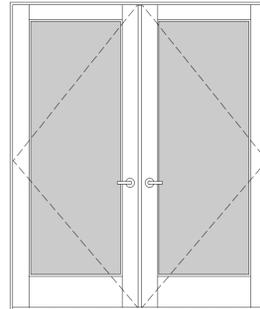
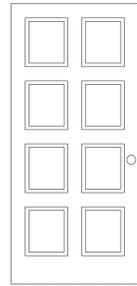
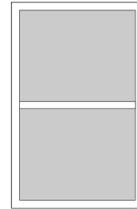
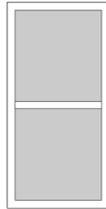
**B**  
EXISTING WINDOW TO BE REPLACED  
2'-3" X 5'-5 1/2" FIXED

**C**  
EXISTING WINDOW TO BE REPLACED  
2'-4" X 2'-10 1/2" SINGLE HUNG

**D**  
NEW WINDOW  
PAINTED WOOD  
2'-4" X 2'-10 1/2" SINGLE HUNG

**E**  
NEW WINDOW  
PAINTED WOOD  
2'-4" X 2'-10 1/2" SINGLE HUNG

**F**  
NEW WINDOW  
PAINTED WOOD  
2'-4" X 5'-7" SINGLE HUNG



FINISH FLOOR

**H**  
NEW WINDOW  
PAINTED WOOD  
2'-4" X 4'-10" SINGLE HUNG

**I**  
NEW WINDOW  
PAINTED WOOD  
3'-2" X 4'-10" SINGLE HUNG

**1**  
EXISTING DOOR TO REMAIN  
PAINTED WOOD  
3'-0" X 6'-8"

**2**  
NEW DOOR  
PAINTED WOOD  
(2) 3'-0" X 7'-1 1/4"

**PROJECT:**

REMODEL/ADDITION FOR  
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**ISSUED:**

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28 October 2014

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CONSTRUCTION

A7.0