

# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



PLANNING &  
DEVELOPMENT  
DEPARTMENT

## PROPERTY

Address 416 Main Street, 77002

Historic District / Landmark Market Square

HCAD # 0010440000002

Subdivision

Lot Tract 2

Block 4 5588

## DESIGNATION TYPE

- Landmark  
 Protected Landmark  
 Archaeological Site
- Contributing  
 Noncontributing  
 Vacant

## PROPOSED ACTION

- Alteration or Addition  
 Restoration  
 New Construction
- Relocation  
 Demolition  
 Excavation

## DOCUMENTS

- Application checklist for each proposed action and all applicable documentation listed within are attached

## OWNER

Name 416 Main LLC

Company % MC Management Development

Mailing Address P.O. Box 1074  
Bellaire TX 77402-1074

Phone 713.668.2369

Email

Signature W. Daniel Meyer

Date 1/14/15

W. Daniel Meyer, Manager

## APPLICANT (if other than owner)

Name Bayne & Berkey LLC

Company

Mailing Address 416 Main St

Phone 832.772.4129

Email

Signature [Signature]

Date 1/15/15

## ACKNOWLEDGEMENT OF RESPONSIBILITY

**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Deed Restrictions:** You have verified that the work does not violate applicable deed restrictions.

**Public Records:** If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

**Compliance:** If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: \_\_\_\_\_

Application received: \_\_\_/\_\_\_/\_\_\_ Application complete: \_\_\_/\_\_\_/\_\_\_

# CERTIFICATE OF APPROPRIATENESS APPLICATION

## PART I – GENERAL FORM



**PLANNING &  
DEVELOPMENT  
DEPARTMENT**

Complete all sections and attach all necessary documentation as an incomplete application may cause delays in processing. A complete application includes two parts: part 1- general form; and part 2 - COA checklist(s) for project type and all applicable documentation requested within the checklist(s). Please review the criteria to be considered by the HAHC for Certificates of Appropriateness in the Houston Code of Ordinances, Historic Preservation Ordinance, Chapter 33 VII, Sections 33-240 through 33-249. Refer to the Historic Preservation section on the City of Houston Planning Department website for more information at [www.houstontx.gov/planning](http://www.houstontx.gov/planning).

### OWNER <sup>1</sup>

Name <i>Dan Meyer</i>		
Company <i>MC Management &amp; Development, INC</i>		
Mailing Address		
City <i>Houston</i>	State <i>TX</i>	Zip
Phone <i>713 668 2369</i>		
Email		
Signature <sup>2</sup>	Date <i>12/10/14</i>	

### APPLICANT (if other than owner)

Name <i>Michael Collins</i>		
Company <i>Bowling &amp; Bailey</i>		
Mailing Address		
<i>416 Main St</i>		
City <i>Houston</i>	State <i>TX</i>	Zip <i>77002</i>
Phone <i>832 722 4129</i>		
Email		
Signature	Date <i>12/10/14</i>	

### SITE

Address <i>416 Main St</i>	City <i>Houston</i>	State <i>TX</i>	Zip <i>77002</i>
Subdivision <i>South Side Buffalo Bayou</i>	Lot <i>2</i>	Block <i>44</i>	

### PROPOSED ACTION (refer to definitions on next page)

- |                                                                                                      |                                                                          |
|------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------|
| <input type="checkbox"/> <b>Addition, Alteration, Rehabilitation and/or Restoration</b> <sup>3</sup> | <input type="checkbox"/> <b>New Construction</b> in an historic district |
| <input type="checkbox"/> <b>Relocation</b> <sup>3</sup>                                              | <input type="checkbox"/> <b>Demolition</b> <sup>3</sup>                  |
| <input type="checkbox"/> <b>Mandatory Repair</b> by order or citation <sup>3</sup>                   | <input type="checkbox"/> <b>Excavation</b> of an archaeological site     |

### ATTACHED DOCUMENTATION

- Written Description** detailing existing site conditions including lot size, structures on lot, area of structures in square feet, setbacks, driveways, and other unique conditions, AND detailed description of the proposed activity; refer to checklists for details
- Current Photographs** showing the overall structure for each elevation visible from a public right-of-way
- Renderings** illustrating existing conditions and proposed activity; refer to checklists for project-specific rendering requirements
- Deed Restriction** compliance of proposed activity and approval of neighborhood or civic association, if applicable
- Application Checklist**<sup>4</sup> for each proposed action checked above and all applicable documentation listed within checklist

<sup>1</sup> **Owner** is the record title property owner. **Applicant** may be owner, tenant, architect, contractor, etc.  
<sup>2</sup> Application will not be accepted as complete without a signature of the record title property owner  
<sup>3</sup> Applies to any landmark, protected landmark, or structure within a historic district or archaeological site  
<sup>4</sup> Submit a separate checklist for each proposed action (i.e. a project including an **Addition** to a house and **New Construction** of a detached garage)

To be completed by <b>PLANNING STAFF:</b>	Application received by: Accepted as complete by:	Date: Date:
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# CERTIFICATE OF APPROPRIATENESS APPLICATION

## PART I – GENERAL FORM



**PLANNING &  
DEVELOPMENT  
DEPARTMENT**

### SUBMISSION INSTRUCTIONS

A complete application for a Certificate of Appropriateness (COA) must be submitted at least 15 days prior to the date of the next HAHC meeting to allow time for staff to review the proposal and give public notice of the HAHC hearing agenda. Application materials shall be submitted to Historic Preservation staff in the Planning and Development Department via:

- (1) Email - attach digital format documentation (preferred) OR
- (2) In person by appointment - digital format on a disc (preferred) or hard copy at 611 Walker, 6th Floor, Houston, Texas

### CONTACT INFORMATION

Well in advance of the COA application deadline (see schedule below) contact staff in the Historic Preservation office to discuss your project and, if necessary, to make an appointment to meet with a staff member in person for project consultation. Please don't hesitate to contact staff with any questions regarding the COA application process or documentation requirements:

Historic Preservation Office	713.837.7963	historicpreservation@houston.tx.gov
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### 2014 MEETING SCHEDULE – REVISED EFFECTIVE JUNE 1, 2014

- Beginning with the June 2014 HAHC meeting, COA applications are due 22 calendar days in advance of the meeting by **12 PM (noon)** on the deadline date. *Exception: revisions to items deferred or denied at the previous HAHC meeting are due 15 days in advance of the scheduled meeting.*
- Application deadlines are firm. All materials must be submitted by the deadline to be considered at the following HAHC meeting. Designs must be final at time of application; revisions will not be accepted after the deadline.
- HAHC will not accept new material or redesigns presented at the HAHC meeting. Deferral until the following month's meeting may be necessary in such cases to allow for adequate review by staff and commissioners.
- HAHC monthly meetings are held at 3:00 PM at City Hall Annex, 900 Bagby Street, City Council Chambers, Public Level.

HAHC 2014 Meeting Dates (Thursdays unless noted otherwise)	COA Application Deadlines	Demolition / Relocation Posted Sign Deadlines
May 22	May 7	May 12
June 19	May 28*	June 9
July 17	June 25*	July 7
August 28	August 6*	August 18
September 25	September 3*	September 15
October 23	October 1*	October 13
November 20	October 29*	November 10
December 17 (Wednesday)	November 25*	December 7

\* Revised Dates

*Jan 7<sup>th</sup> Meeting Date 29<sup>th</sup>*

### DEFINITIONS

- Addition:** any expansion to an existing building, structure or object.
- Alteration:** any change to the exterior of a building or structure, including adding, moving, removing or replacing an exterior feature.
- Demolition:** an act or process that destroys in whole, or a majority of, any building, structure, object or site.
- Excavation:** to expose, uncover, or remove by digging, cutting or hollowing out.
- Exterior Feature:** an element of the architectural character and the general arrangement of the external portion of a building, structure or object, including building materials.
- Mandatory Repair:** a repair of a building or structure that is necessary to comply with Article IX, Chapter 10, Houston Code of Ordinances, as evidenced by an order of the hearing official or the building and standards commission or by a citation.
- New Construction:** the erection of a new building, structure, or object, on a lot, site, or other property.
- Rehabilitation:** returning a building, structure, object, or site to a state of utility that makes possible an efficient contemporary use while preserving those portions or exterior features that are historically, architecturally and culturally significant.
- Relocation:** any change in the location of a building, structure, or object.
- Restoration:** accurately recovering the form and detail of a building, structure, object, or site and its setting as it appeared at a particular period of time by means of the removal of later work, or by the replacement of missing earlier work, or both.

**CERTIFICATE OF APPROPRIATENESS APPLICATION**  
**PART II.A – CHECKLIST AND FORM:**  
**ADDITION, ALTERATION, REHABILITATION AND/OR RESTORATION**



**PLANNING &  
DEVELOPMENT  
DEPARTMENT**

Please complete all applicable items and submit with the COA application; digital application documents preferred. An incomplete application may cause delays in processing or may be deferred to the next agenda. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-241 for HAHC consideration criteria for approval for an addition, alteration, rehabilitation, or restoration of a landmark; protected landmark; or structure in a historic district.

**ACTION TYPE AND SUBTYPES: (select all that apply)**

**Addition**

**Side Addition**

- addition to a single side of structure
- addition to multiple sides of structure

**Rear Addition**

- addition to rear of same width/height of existing structure
- addition to rear taller and/or wider than existing structure

**Additional Story / Level / Height**

- 1 additional level/story to existing
- 2+ additional levels/stories to existing
- other addition increasing height of existing  
(explain in written description)

**Porch / Balcony**

- addition of a porch/balcony at the front of the structure
- addition of a porch/balcony at a side of the structure
- addition of a porch/balcony at the rear of the structure

**Other**

- type of addition not listed above  
(explain in written description)

**Alteration, Rehabilitation or Restoration**

**Foundation**

- leveling or height alterations
- foundation material or foundation cladding
- type alteration; i.e. slab on grade, pier on beam

**Walls**

- cladding: i.e. siding, shingles, brick, paneling, stucco
- windows: i.e. location, size, type, material, quantity
- doors: i.e. location, size, type, material, quantity
- commercial storefront system

**Roof**

- shape: i.e. form, pitch, type
- wall junction: i.e. eaves, soffit, brackets, overhang
- projections: i.e. chimneys, towers, dormers
- equipment: i.e. antennas, solar panels

**Architectural Elements**

- awnings or canopies
- porch or balcony
- columns or visible structural members
- commercial signage
- other architectural element alterations  
(explain in written description)

**ALTERATION, REHABILITATION, RESTORATION, ADDITION DOCUMENTATION:**

**Photographs (label each photo with a description and location)**

- Elevations** of front (street) facing facade and all sides of the structure visually affected by the proposed addition or alteration
- Detail Photos** of exterior elements subject to proposal illustrating current pertinent conditions; i.e. damaged beyond repair materials, architectural elements to be altered or replicated, areas to be altered or removed
- Historical Photos** or evidence illustrating past architectural authenticity if restoring or replacing missing historic elements

**Renderings (accurately scaled and dimensioned)**

- Current Site Plan** of the property containing the subject of the proposal, indicate area of proposed work; include dimensions for all setbacks from property line, easements, secondary structures, and any other pertinent existing site conditions

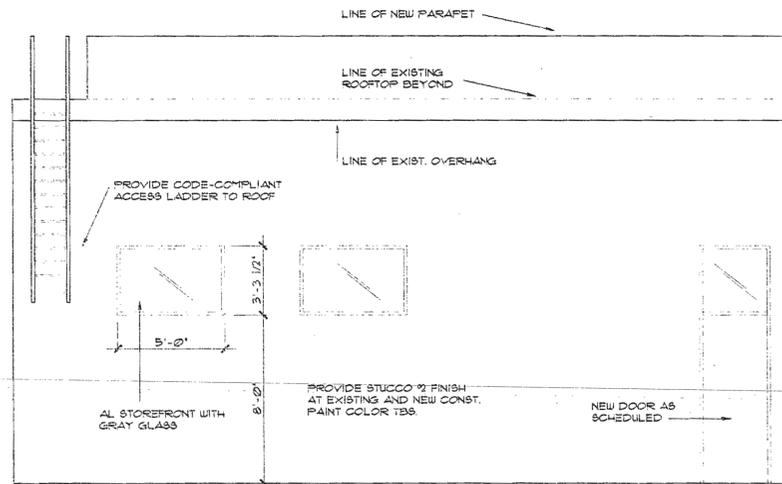
Site Address	Subdivision	Lot	Block
Primary Project Contact	Email	Phone	



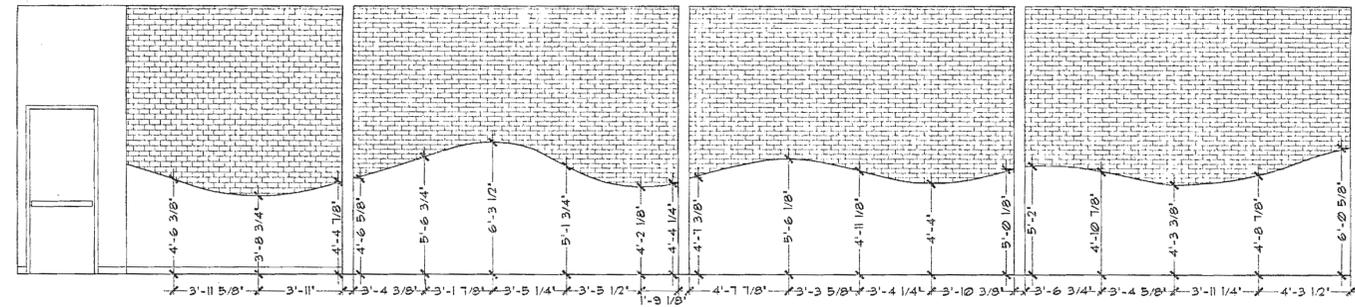
#### 416 Main written Description (from email)

Current building façade is composed of multiple stucco colors that has deteriorated over the years, with aluminum finish metal trims, and punched windows at street level not original to the building. It seems that all of the original façade finishes have been removed in the last renovation, but pictures circa 1996-1997 shows the building façade with corrugated cement panels installed vertically above the storefront. The proposed design has a glass storefront that is 12 feet in height and spans the entire width of the building, and recessed back from the street R.O.W about 4 feet, both similar to the building conditions prior to latest renovation. This change should have a positive effect on the pedestrian experience on Main Street. The stucco finishes above the glass storefront and to the top of the existing parapet will be removed and new wood siding installed vertically similar the corrugated cement panels prior to latest renovation.. Parapet height will not be changed. The proposed material palette is warmer with the wood and bronze colored storefront and trim, and new wood door. Proposed signage will be applied on the wood siding.

ADD 3'-0" PARAPHET WALL TO CONCEAL ROOFTOP EQUIPMENT  
ALIGN WITH EDGE OF EXISTING OVERHANG.

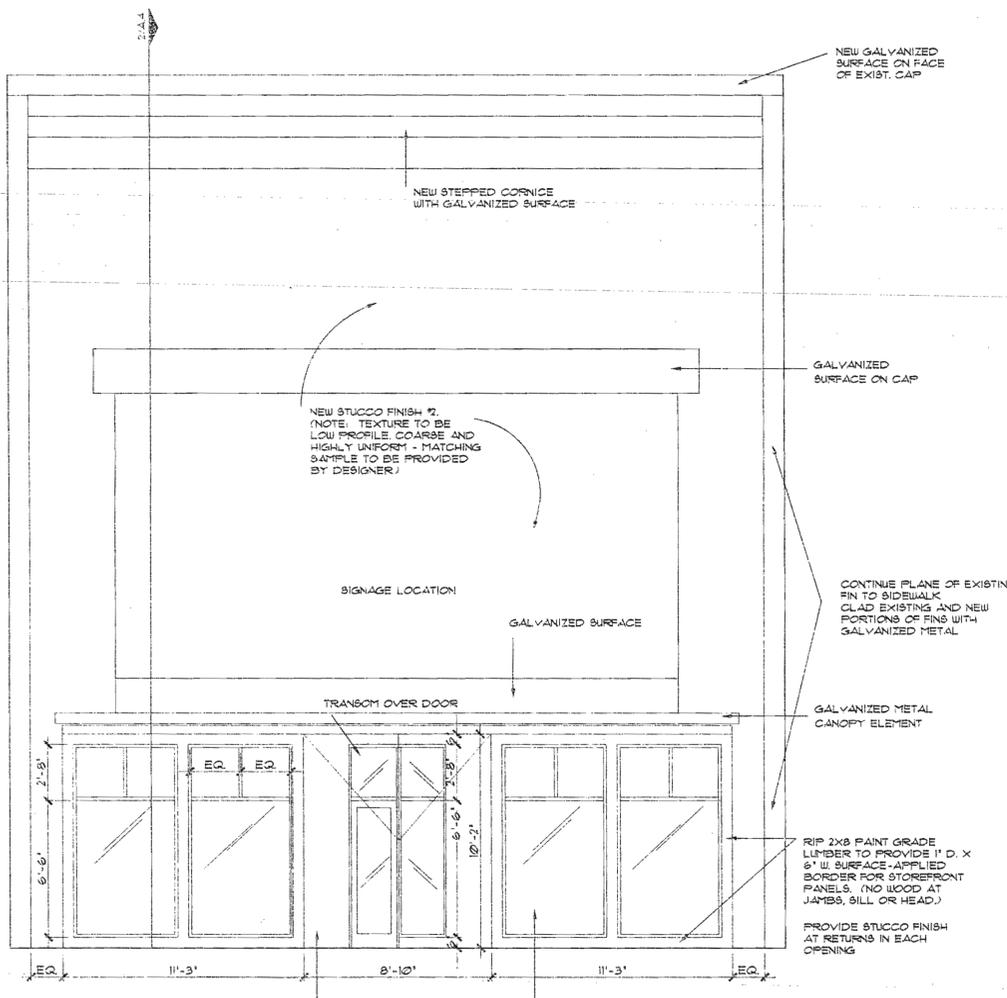


8 REAR FACADE  
SCALE: 1/4" = 1'-0"



5 PARTIAL NORTH ELEVATION - DINING 108  
SCALE: 1/4" = 1'-0"

DIMENSIONS OF GUB CURVES ARE INTENDED AS A GUIDE AND ARE NOT CRITICAL. THE GOAL IS TO CREATE A SMOOTHLY CURVING TOP EDGE IN EACH BAY.

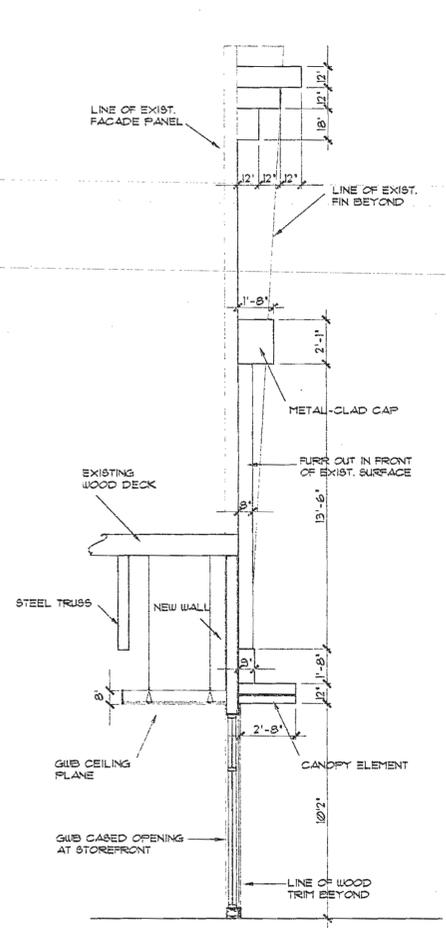


1 FRONT FACADE  
SCALE: 1/4" = 1'-0"

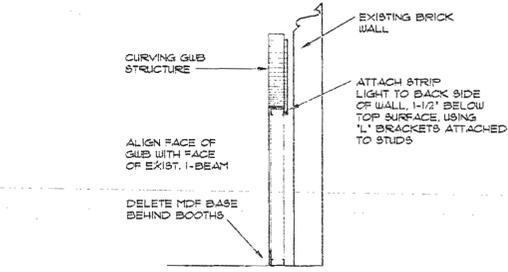
ANGLED ENTRY AREA. PROVIDE STUCCO FINISH #2 ON WALLS AND CEILING

VISTAWALL 2000 SERIES FLUSH GLAZE STOREFRONT SYSTEM (1-3/4" X 4-1/2" PROFILE) WITH NARROW STILE DOOR AT ENTRY. CLEAR ANODIZED FIN-5H. 1/4" LIGHT GRAY GLAZING

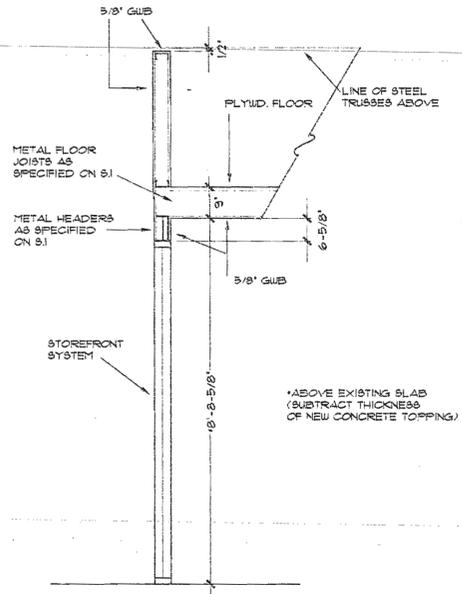
STOREFRONT PANEL IN ANGLED WALL ADJACENT TO ENTRY DOOR TO BE 3' WIDE TO MATCH DOOR



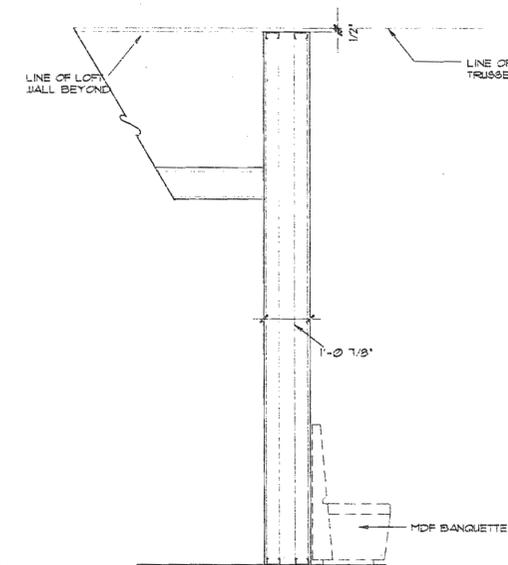
2 SECTION THROUGH FACADE  
SCALE: 1/4" = 1'-0"



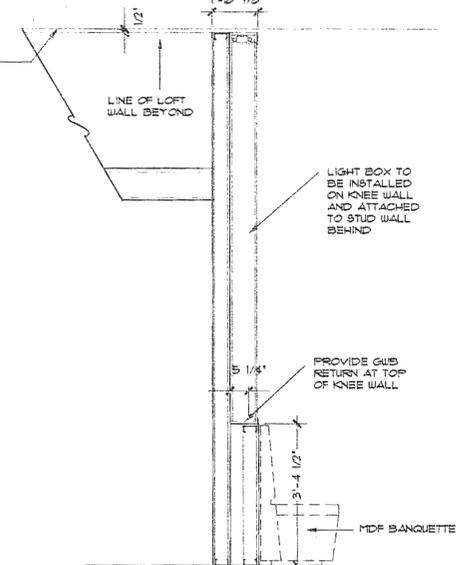
3 WALL SECTION  
SCALE: 1/2" = 1'-0"



4 WALL SECTION  
SCALE: 1/2" = 1'-0"



6 WALL SECTION  
SCALE: 1/2" = 1'-0"



7 WALL SECTION  
SCALE: 1/2" = 1'-0"



DATE  
03/15/00

REVISIONS  
3/21/00  
2/3/00

SHEET NO.

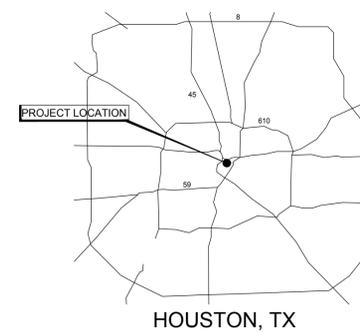
A.4

# Bovine & Barley Facade Renovation

416 Main St., Houston TX 77002



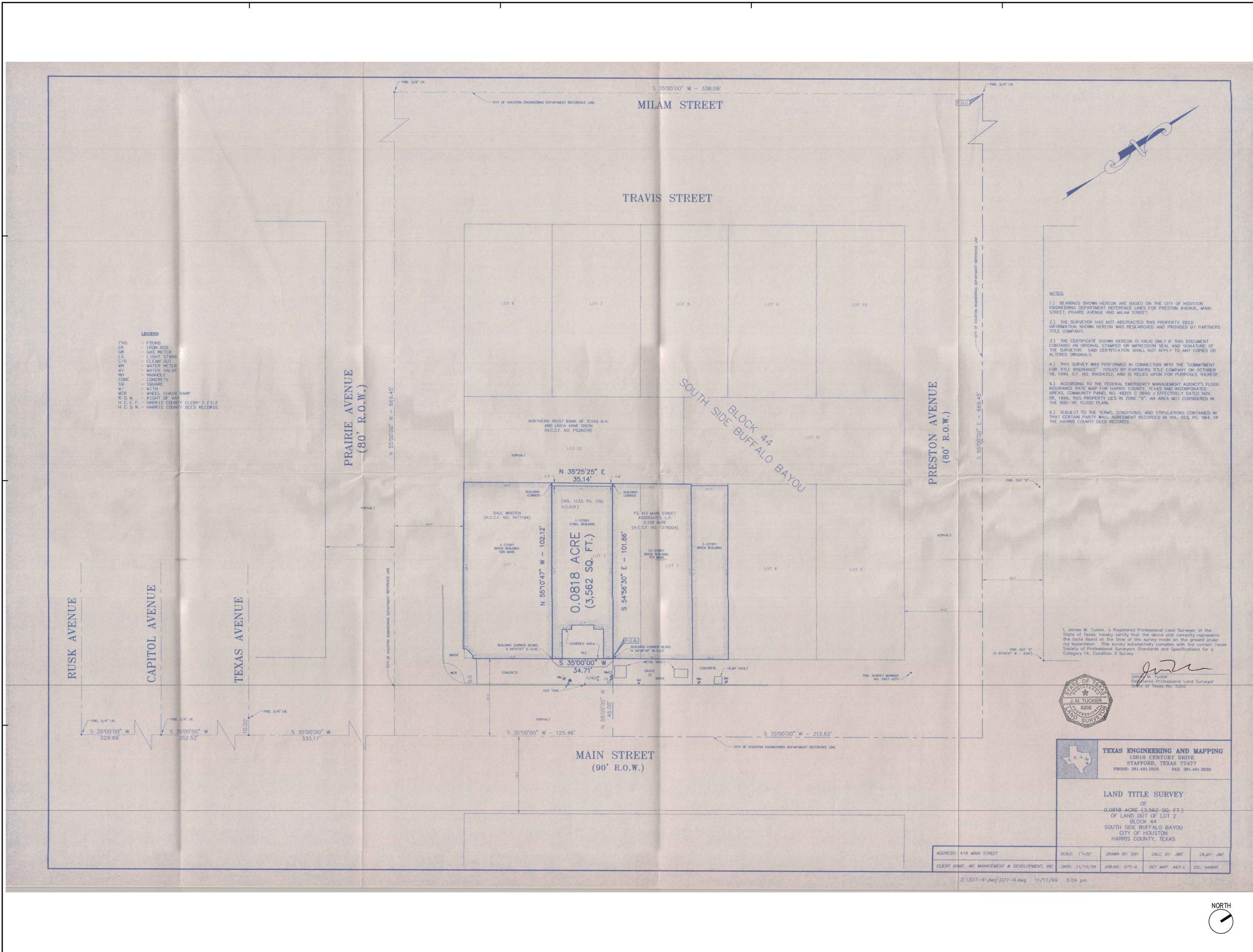
**ISSUE FOR PERMIT  
09.29.2014**



Owner	Bovine & Barley
Architect	Studio RED Architects

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**PROJECT TEAM**



Issue No.	Date	Description
01	09.29.14	ISSUE FOR PERMIT



**Project Team**  
 Owner: Bovine & Barley  
 Architect: Studio Red Architects

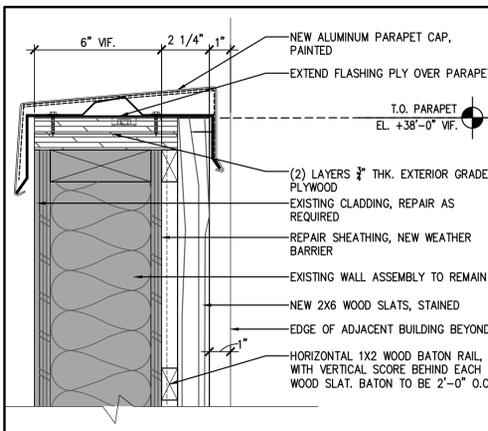
**Project Name**  
 Bovine & Barley  
 Facade Renovation

**Drawing Name**  
 SURVEY

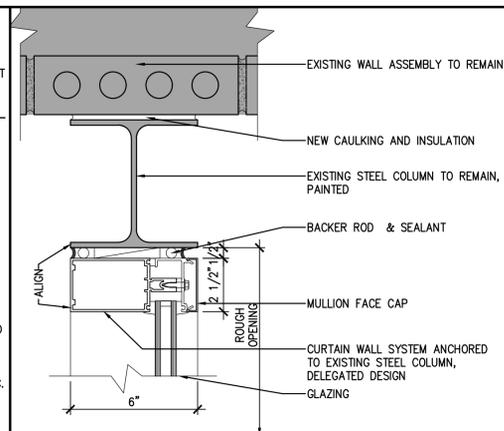
**SRA Project Number**  
 1437

**Scale**  
 NOT TO SCALE

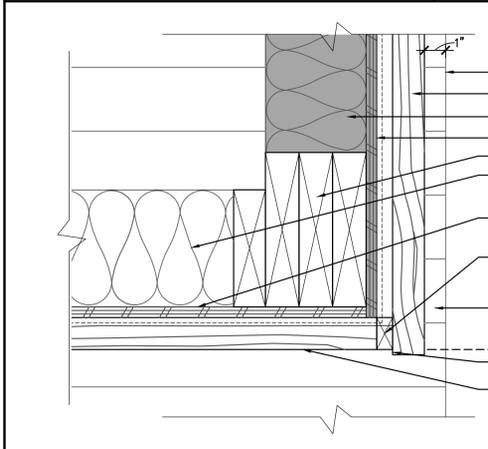
**Drawing Number**  
 A0.00



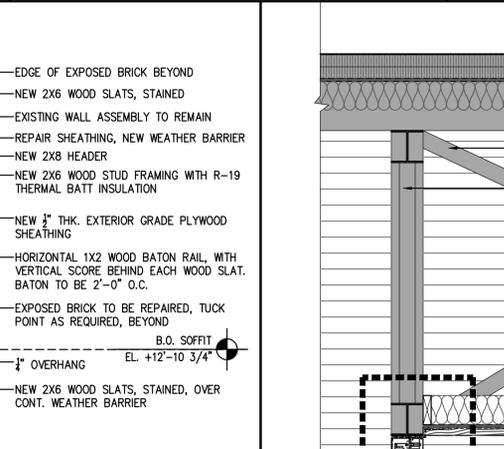
SECTION DETAIL SCALE: 3" = 1'-0" 20



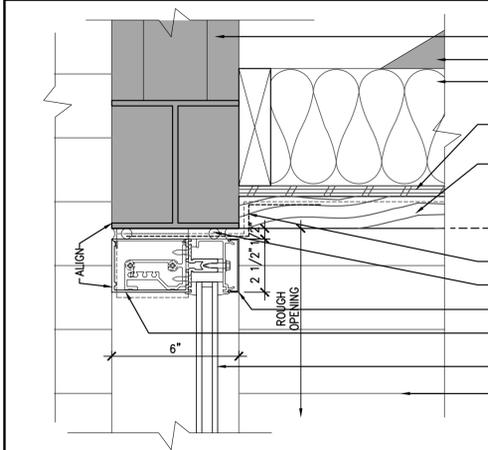
PLAN DETAIL SCALE: 3" = 1'-0" 16



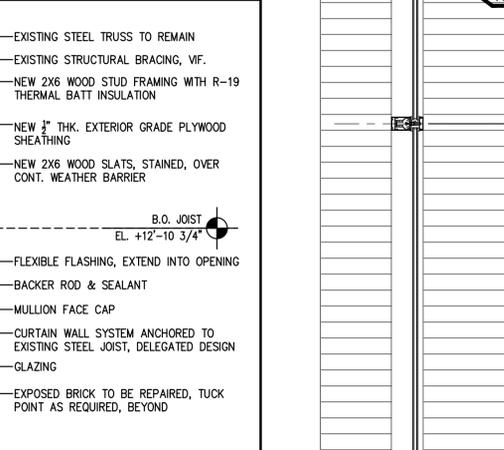
SECTION DETAIL SCALE: 3" = 1'-0" 15



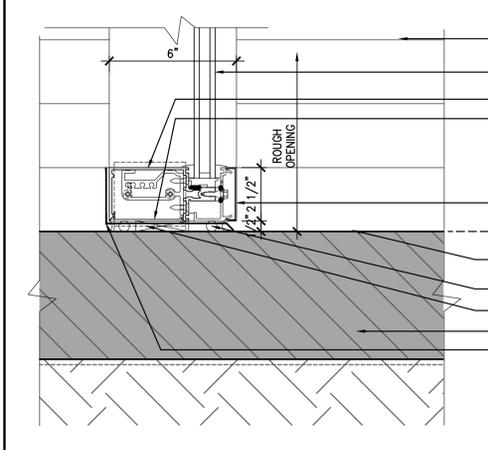
WALL SECTION SCALE: 3/4" = 1'-0" 13



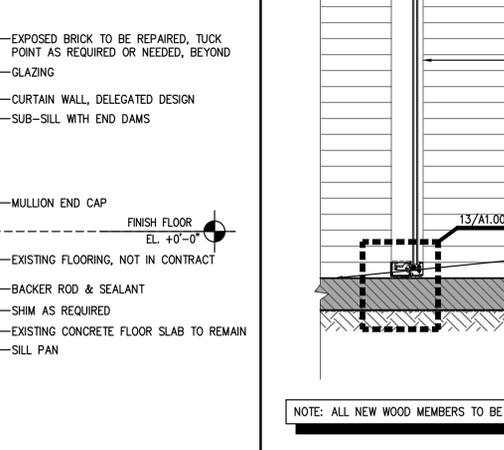
SECTION DETAIL SCALE: 3" = 1'-0" 14



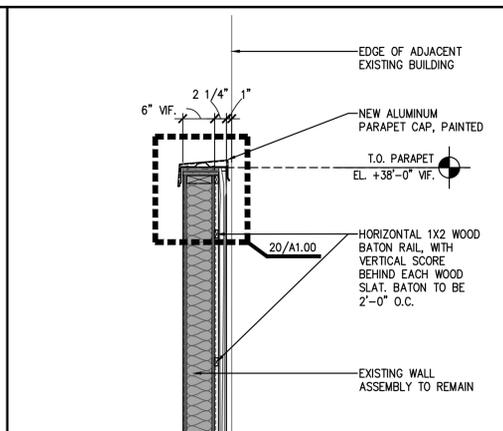
WALL SECTION SCALE: 3/4" = 1'-0" 15



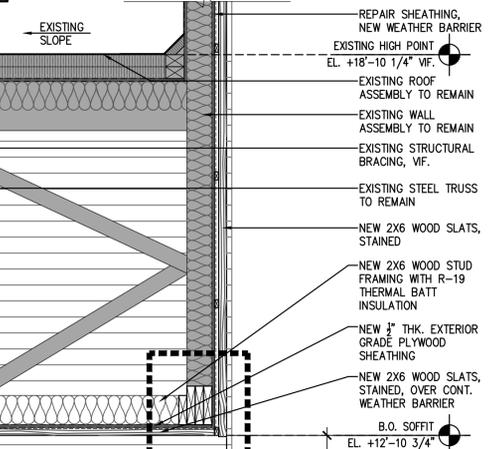
SECTION DETAIL SCALE: 3" = 1'-0" 13



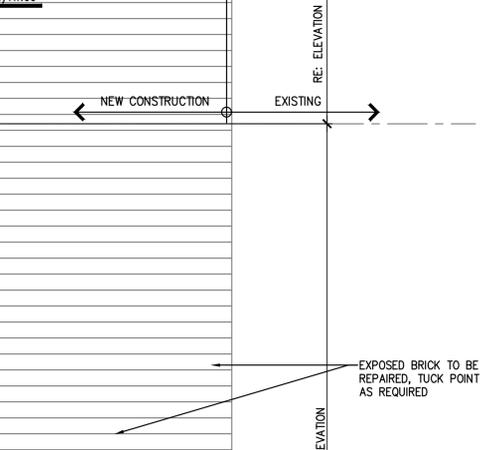
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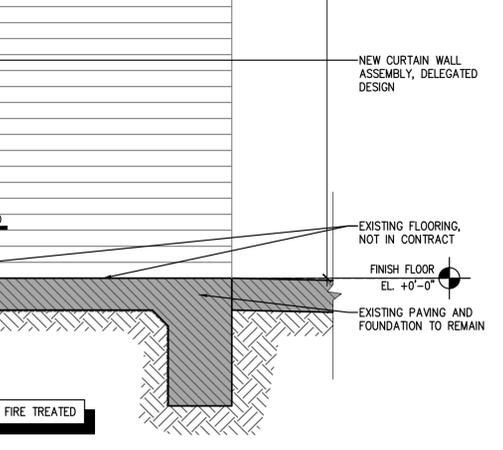
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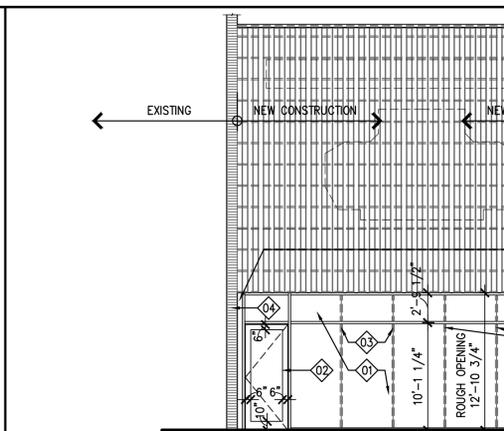
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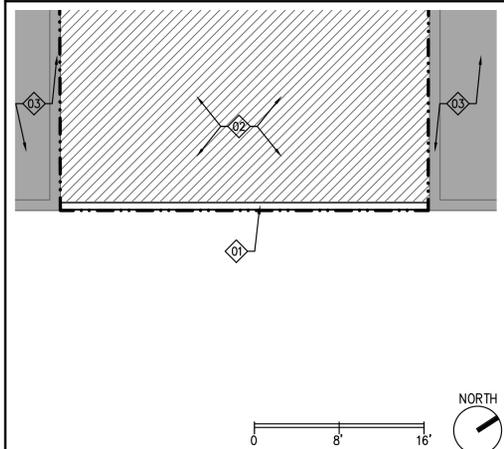
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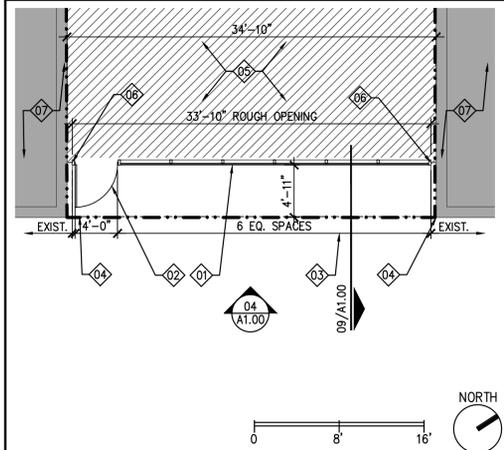
WALL SECTION SCALE: 3/4" = 1'-0" 13



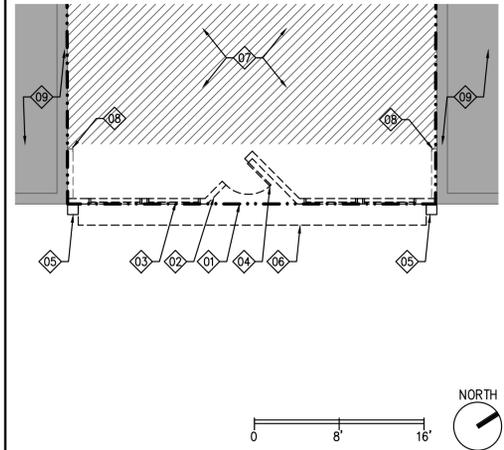
ELEVATION SCALE: 1/8" = 1'-0" 04



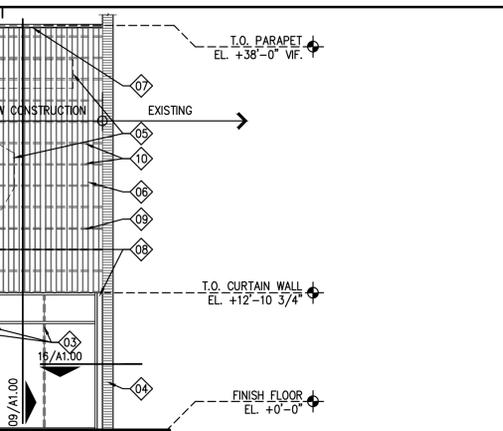
DEMOLITION PLAN SCALE: 1/8" = 1'-0" 03



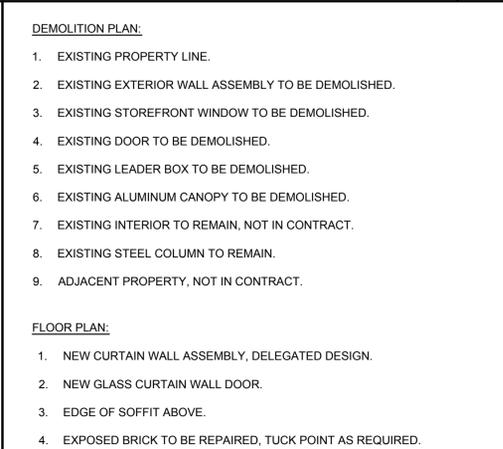
ROOF PLAN SCALE: 1/8" = 1'-0" 07



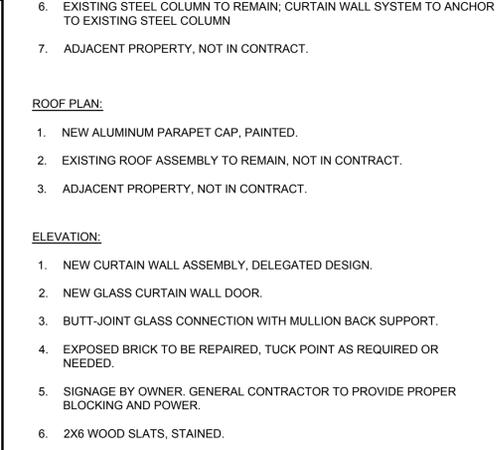
FLOOR PLAN SCALE: 1/8" = 1'-0" 06



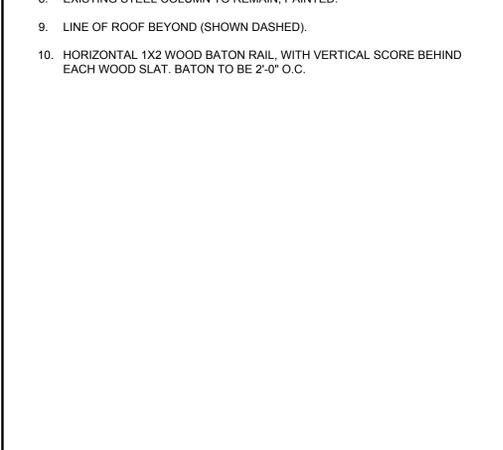
ELEVATION SCALE: 1/8" = 1'-0" 04



DEMOLITION PLAN SCALE: 1/8" = 1'-0" 05



FLOOR PLAN SCALE: 1/8" = 1'-0" 06



FLOOR PLAN SCALE: 1/8" = 1'-0" 05

Issue

No.	Date	Description
01	09.29.14	ISSUE FOR PERMIT

Project Team

Owner: Bovine & Barley

Architect: Studio Red Architects

Project Name: Bovine & Barley Facade Renovation

Drawing Name: PLANS, ELEVATION AND SECTIONS

SRA Project Number: 1437

Scale: AS NOTED

Drawing Number: A1.00

1320 McGowen, Houston, Texas 77004  
www.studioredarchitects.com 713.622.5333

- DEMOLITION PLAN:**
- EXISTING PROPERTY LINE.
  - EXISTING EXTERIOR WALL ASSEMBLY TO BE DEMOLISHED.
  - EXISTING STOREFRONT WINDOW TO BE DEMOLISHED.
  - EXISTING DOOR TO BE DEMOLISHED.
  - EXISTING LEADER BOX TO BE DEMOLISHED.
  - EXISTING ALUMINUM CANOPY TO BE DEMOLISHED.
  - EXISTING INTERIOR TO REMAIN, NOT IN CONTRACT.
  - EXISTING STEEL COLUMN TO REMAIN.
  - ADJACENT PROPERTY, NOT IN CONTRACT.

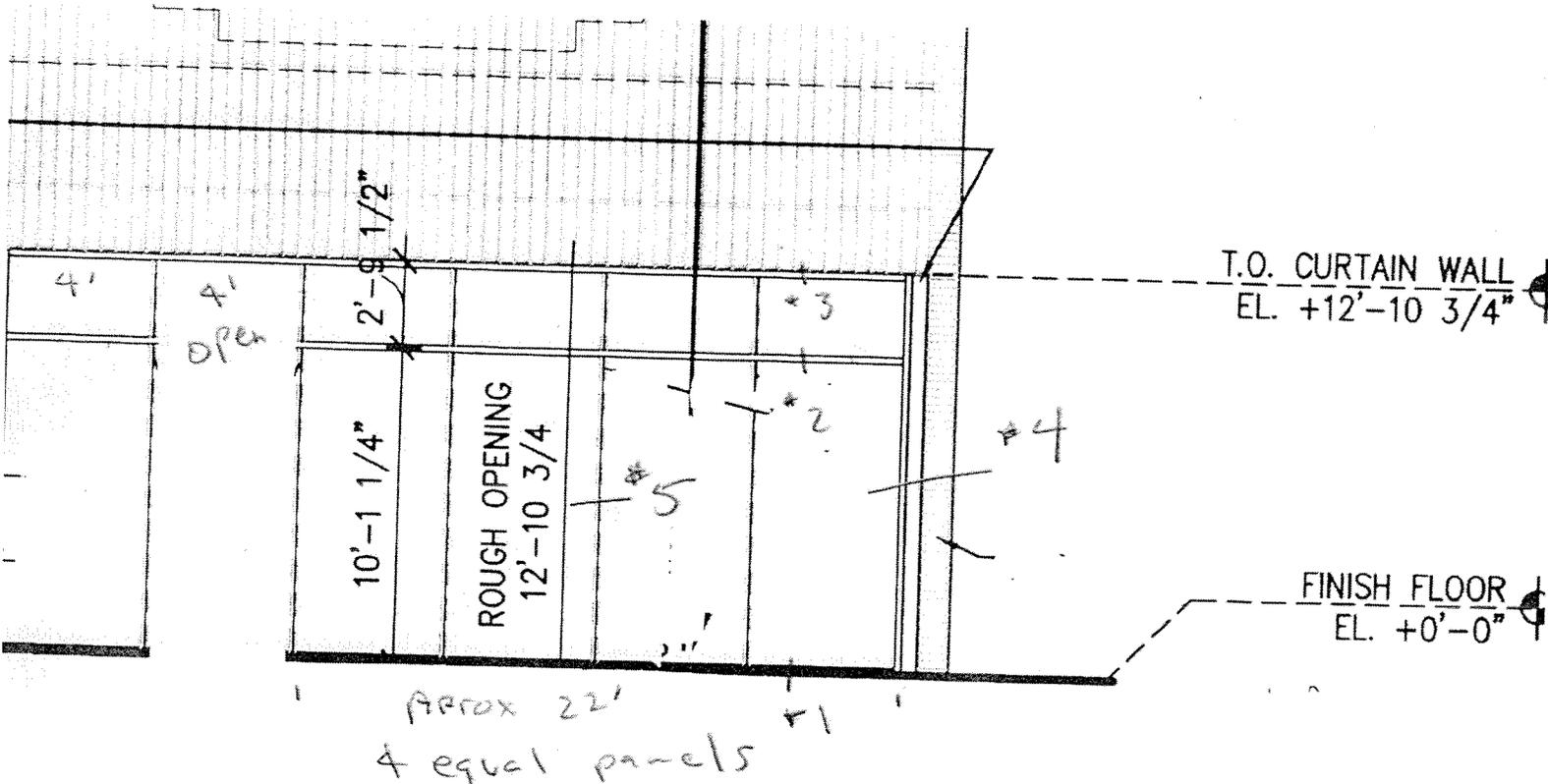
- FLOOR PLAN:**
- NEW CURTAIN WALL ASSEMBLY, DELEGATED DESIGN.
  - NEW GLASS CURTAIN WALL DOOR.
  - EDGE OF SOFFIT ABOVE.
  - EXPOSED BRICK TO BE REPAIRED, TUCK POINT AS REQUIRED.
  - EXISTING INTERIOR TO REMAIN, NOT IN CONTRACT.
  - EXISTING STEEL COLUMN TO REMAIN; CURTAIN WALL SYSTEM TO ANCHOR TO EXISTING STEEL COLUMN
  - ADJACENT PROPERTY, NOT IN CONTRACT.

- ROOF PLAN:**
- NEW ALUMINUM PARAPET CAP, PAINTED.
  - EXISTING ROOF ASSEMBLY TO REMAIN, NOT IN CONTRACT.
  - ADJACENT PROPERTY, NOT IN CONTRACT.

- ELEVATION:**
- NEW CURTAIN WALL ASSEMBLY, DELEGATED DESIGN.
  - NEW GLASS CURTAIN WALL DOOR.
  - BUTT-JOINT GLASS CONNECTION WITH MULLION BACK SUPPORT.
  - EXPOSED BRICK TO BE REPAIRED, TUCK POINT AS REQUIRED OR NEEDED.
  - SIGNAGE BY OWNER. GENERAL CONTRACTOR TO PROVIDE PROPER BLOCKING AND POWER.
  - 2X6 WOOD SLATS, STAINED.
  - NEW ALUMINUM PARAPET CAP, PAINTED.
  - EXISTING STEEL COLUMN TO REMAIN, PAINTED.
  - LINE OF ROOF BEYOND (SHOWN DASHED).
  - HORIZONTAL 1X2 WOOD BATON RAIL, WITH VERTICAL SCORE BEHIND EACH WOOD SLAT. BATON TO BE 2'-0" O.C.

Bonne + Barley  
416 MAIN

ABLE GLASS OF TEXAS  
5620 Rampart St.  
HOUSTON, TX 77081  
(713) 995-6870  
FAX 995-7242



Framing: Retrace curtain wall, Black Anodized, captured horizontal mullions, Butt jointed verticals / see cut sheet page 2

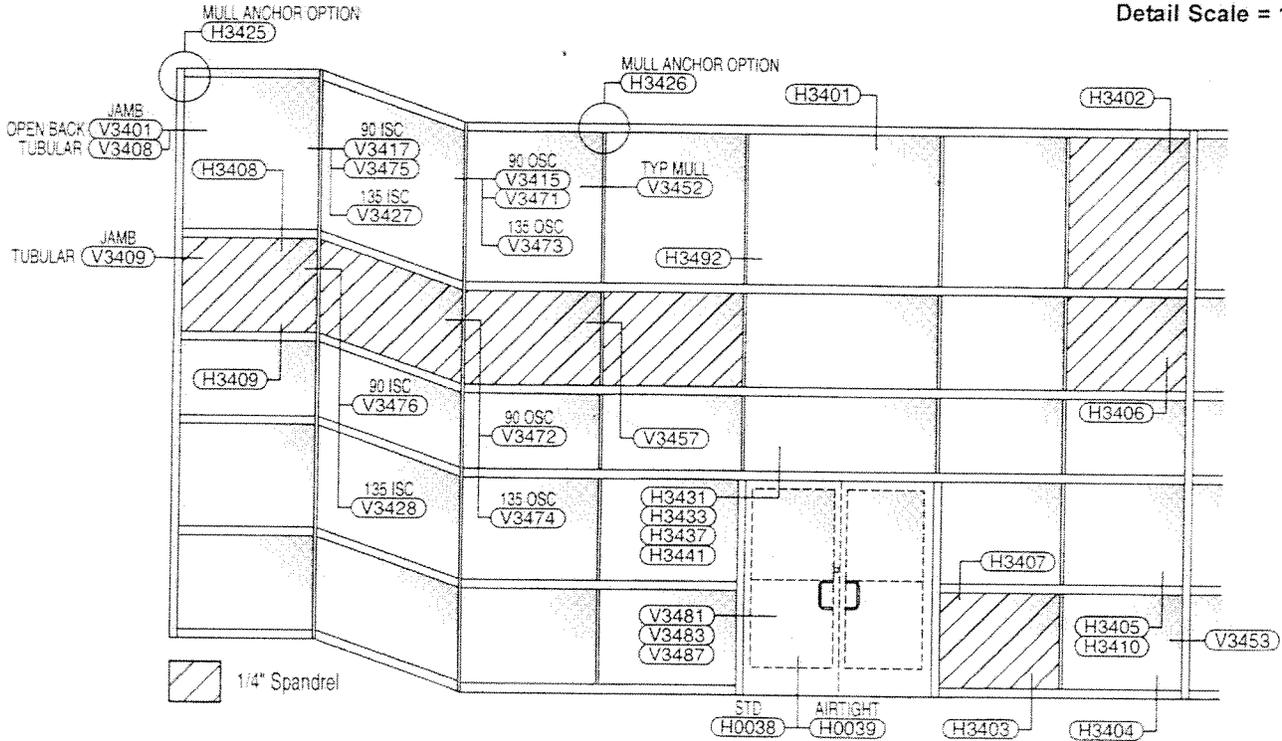
GLASS: 1" insulated, 1/4" PPG clear glass w/ Solar Bungo LOWE coating outboard glass over 1/4" clear glass, makes energy code requirements

Page 2 has mullion cuts, #1 thro #5

THAS  
FAUL

# RELIANCE™ 2 1/2" x 7 1/4" SSG CURTAIN WALL SYSTEM

Detail Scale = 1/4 Size



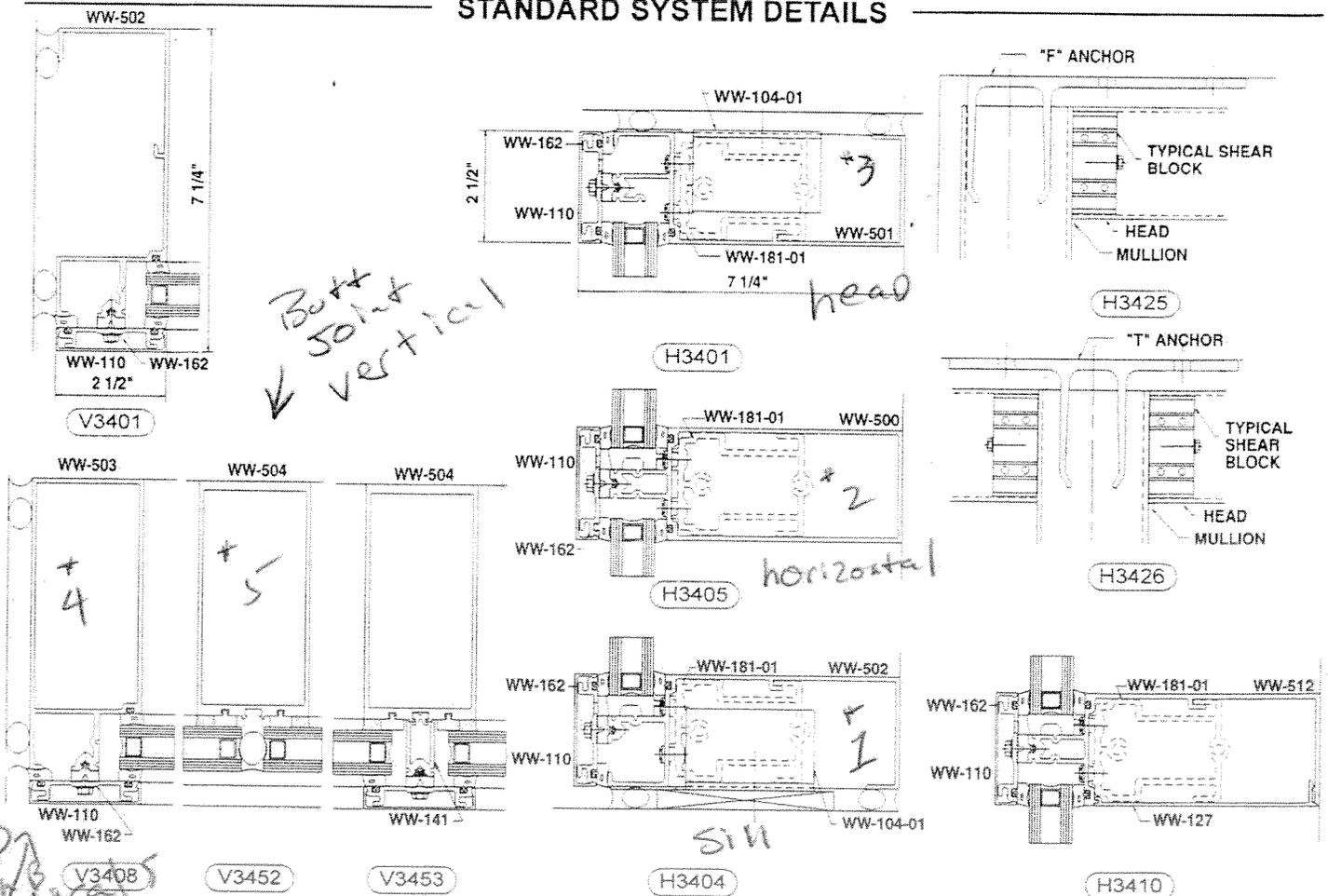
**RELIANCE 2 1/2" x 7 1/4" Captured Horizontals and SSG Curtain Wall System 1" Glazing**

Web Model # 42RCW725 (page 2)

To download full size CAD details: [www.vistawall.com/rcw725](http://www.vistawall.com/rcw725)

Drawing numbers shown (ie H3408) are reference to electronic details only.

## STANDARD SYSTEM DETAILS





# CTC CONTRACTORS

November 11, 2014

Bovine and Barley Façade Renovation  
416 Main St.  
Houston, TX 77002  
Attention: Michael Collins

RE: Proposal for Bovine and Barley Façade Renovation

Dear Mr. Collins,

CTC Contractors is pleased to submit this estimate for your review and consideration on the above referenced project.

1000	General Conditions	Superintendent	\$4,000.00
		Scaffold	\$3,000.00
		Boom Lift	\$2,800.00
		Porta Can	\$200.00
		Dumpster Haul	\$450.00
		Temporary Fencing Barricades	\$500.00
		Misc. Labor	\$1,200.00
		Road Closure Permit/Barricades	\$6,000.00
2000	Site Construction	Demolition	\$4,680.00
4000	Masonry	Point Up Brick and Minor Repair	\$2,500.00
6000	Wood & Plastics	Framing & Fascia materials	\$4,250.00
		Framing & Fascia labor	\$5,580.00
7000	Thermal & Moisture Protection	Parapet cap	\$725.00
		Insulation in soffit	\$425.00
		Waterproofing	\$9,650.00
8000	Doors & Windows	Curtain Wall System	\$28,450.00
9000	Finishes	Paint	\$5,820.00
16000	Electrical	EXCLUDED	
	SUBTOTAL		\$80,230.00
		OVERHEAD / PROFIT	\$12,034.50
		REMODEL TAX	\$7,611.82
	GRAND TOTAL		\$99,876.32

Proposal is based on the plans provided by Studio Red Architects dated 9/29/14. This Proposal is valid for 30 days.

**Exclusions:**

- Mold or asbestos testing or abatement
- Windstorm engineering, testing, inspections, or filing (With the exception of storefront system)
- Architectural and engineering services
- Security alarms, systems, and rekeying
- Furnish or install any exterior signage
- Any electrical, mechanical, or plumbing work
- Repair or replacement of exterior cladding or sheathing
- After hour or weekend work
- Payment and performance bond
- Any work other than stated on the plans

**Qualifications:**

- Pricing based on using an engineered curtain wall system similar to the attached sketch
- \$2,500 allowance for brick repair and pointing of mortar
- Based on using CTC subs
- Change orders to be cost plus 15%

We will furnish labor and materials complete in accordance with the above specifications. Payment is to be negotiated.

All material is guaranteed to be as specified. All work is to be completed in a workman-like manner according to standard practices. The warranty period is one year from substantial completion, in accordance with AIA Document A201-1997. Any alteration or deviation from the above specifications involving extra costs will be executed only upon written orders and will become an extra charge over and above the estimate. All agreements are contingent upon strikes, accidents or delays beyond our control. The Owner is to carry fire, tornado and other necessary insurance. Our workers are fully covered by workers' compensation and liability insurance.

CTC Contractors appreciates the opportunity to present this pricing for your review. If you have any questions, please do not hesitate to contact us at your convenience.

Sincerely,

Confirm Bid

Glen Boucher

\_\_\_\_\_ Sign \_\_\_\_\_ Date

Executive Project Manager

\_\_\_\_\_ Name/Title