

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



**PLANNING &
DEVELOPMENT
DEPARTMENT**

PROPERTY

Address 620 Columbia

Historic District / Landmark Houston Heights South

HCAD # 0210130000017

Subdivision Houston Heights

Lot 17

Block 281

DESIGNATION TYPE

- | | |
|--|--|
| <input type="checkbox"/> Landmark | <input checked="" type="checkbox"/> Contributing |
| <input type="checkbox"/> Protected Landmark | <input type="checkbox"/> Noncontributing |
| <input type="checkbox"/> Archaeological Site | <input type="checkbox"/> Vacant |

PROPOSED ACTION

- | | |
|--|-------------------------------------|
| <input checked="" type="checkbox"/> Alteration or Addition | <input type="checkbox"/> Relocation |
| <input type="checkbox"/> Restoration | <input type="checkbox"/> Demolition |
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Excavation |

DOCUMENTS

- Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name Adrian Guerra-Paz

Company _____

Mailing Address 620 Columbia

Houston, TX 77007

Phone 832-274-2223

Email _____

Signature _____

Date 1/6/2015

APPLICANT (if other than owner)

Name Sam Gianukos

Company Creole Design, LLC

Mailing Address 505 Merrill Street

Houston, TX 77009

Phone 713-880-3158

Email _____

Signature _____

Date 1/6/15

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____

Application received: ___/___/___ Application complete: ___/___/___

CERTIFICATE OF APPROPRIATENESS ALTERATION & ADDITON CHECKLIST



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Well in advance of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable items and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-241 for approval criteria for alteration, rehabilitation, restoration and additions.

PROPERTY ADDRESS: 620 Columbia Street, Houston, Texas 77007

BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- carport
- accessory structure
- other

ALTERATION TYPE

- addition
- foundation
- wall siding or cladding
- windows or doors
- porch or balcony
- roof
- awning or canopy
- commercial sign
- ramp or lift
- other

WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work; plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new materials description; attach specification sheets if necessary

PHOTOGRAPHS label photos with description and location

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

DRAWINGS scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

- current site plan
- proposed site plan
- current floor plans
- proposed floor plans
- current window and door schedule
- proposed window and door schedule
- demolition plan
- current roof plan
- proposed roof plan
- current elevations (all sides)
- proposed elevations (all sides)
- perspective and/or line of sight

620 Columbia Street - House Addition and Rehabilitation.

Description letter:

We are submitting the attached application for the renovation of 620 Columbia Street. The house is a one-story structure with a covered front porch. Below is a description of the scope of work:

1. The front porch and entry door will remain and function as the main entry to the house. The material is wood and the style is craftsman. Please see attached pictures.
2. New railing to be added on the front porch by code: wood baluster and rail, color and style to match the original house.
3. The siding on the house is not original. The owners would like to replace the existing siding, with siding matching the original, lap siding. The proposed siding will be cementitious lap siding.
4. Existing front windows to remain.
5. Windows in the addition will be a combination of wood single hung and wood fixed windows. See plans for size and location.
6. The current ceiling height is 8'-0" to 10'-4". Additions to the first floor level will be at 10'-0" ceiling height. The second floor addition will have ceiling height of 9'-0".
7. The new addition will match the existing roof overhangs. The pitch on the new roof to be 8 on twelve, and 5 on twelve. The proposed new eave height to be 22'-7" approximately. The top ridge height on the addition will be 30'-2" approx.
8. The current living square footage is 1,279 square feet. We are adding 1,787 square feet.
9. Foundation type on the existing house is pier and beam foundation, the same to be used in the addition. The existing Finish Floor height is 1'-8". We are proposing to raise the floor of the house an additional 8"
10. The original garage is detached and on the property. We have proposed to leave the existing garage as is.

Please let us know if we need to provide any additional information.

Creole Design

Tel. 713.880.3158

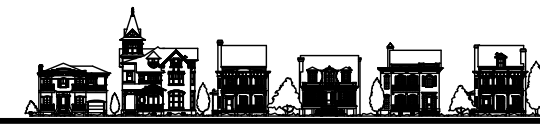


GUERRA-PAZ RESIDENCE

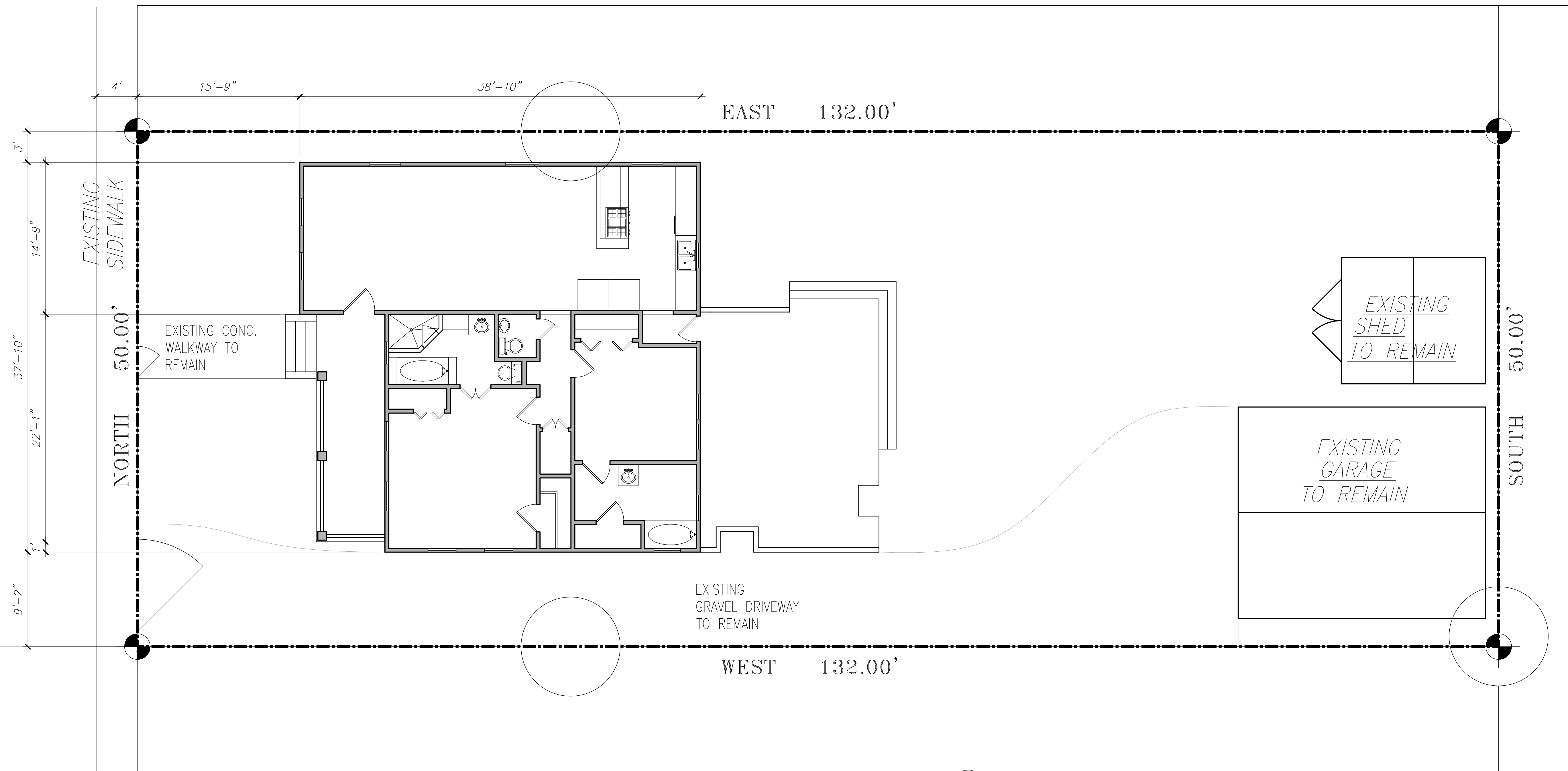
620 COLUMBIA
HOUSTON, TEXAS 77008

CREOLE DESIGN L.L.C

505 MERRILL
HOUSTON, TX 77008
(713)880-3158



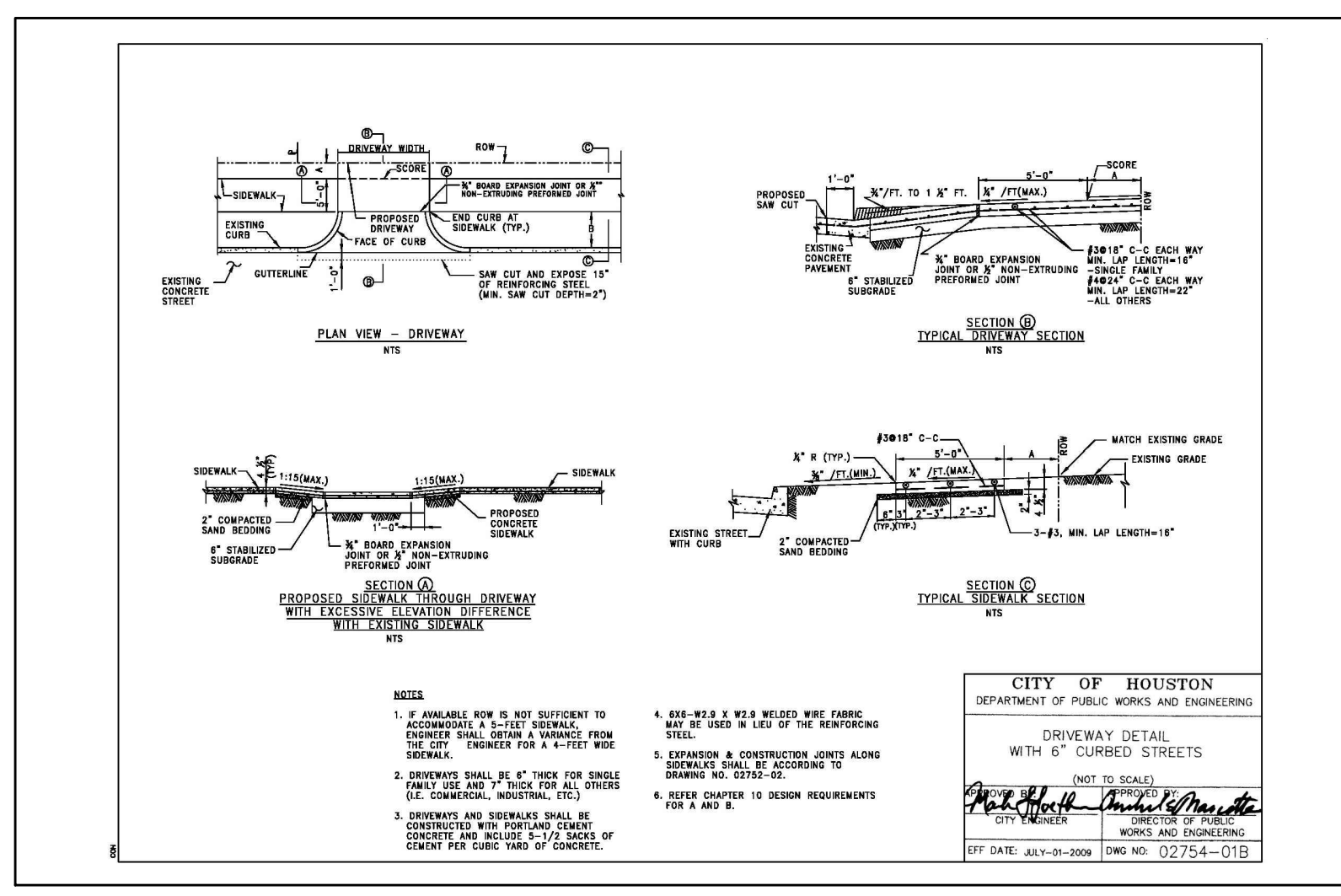
COLUMBIA STREET
(70' R.O.W.)



AS BUILT SITE PLAN
Scale: 3/16" = 1'-0"

LEGAL DESCRIPTION	
LOT: 17	
BLOCK: 281	
HOUSTON HEIGHTS	
HOUSTON, TEXAS 77007	

CALCULATION OF IMPERVIOUS PERCENTAGE	
HOUSE/DECK/GARAGE/SHED	2,497 SQ. FT.
DRIVEWAY/SIDEWALK	1,334 SQ. FT.
TOTAL OF IMPERVIOUS COVER	3,831 SQ. FT.
LOT AREA	6,600 SQ. FT.
PERCENTAGE IMPERVIOUS AREA	58.04 %



CREOLE DESIGN L.L.C.
CREOLEDESIGN.COM
505 MERRILL HOUSTON, TX 77003
(713)880-3158



MEMBER: A.I.B.D. N.C.B.D.-C. AMERICAN INSTITUTE OF BUILDING OFFICERS

THIS DRAWING AND RELATED DOCUMENTS REMAIN THE PROPERTY OF CREOLE DESIGN L.L.C. AND ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT FROM CREOLE DESIGN.

MARK	DATE	DESCRIPTION
1	12/05/2014	ISSUED FOR REVIEW
2	12/09/2014	ISSUED FOR REVIEW
3	12/17/2014	ISSUED FOR REVIEW
4	1/6/2016	ISSUED FOR FINAL REVIEW

MARK	DATE	DESCRIPTION
1	12/05/2014	ISSUED FOR REVIEW
2	12/09/2014	ISSUED FOR REVIEW
3	12/17/2014	ISSUED FOR REVIEW
4	1/6/2016	ISSUED FOR FINAL REVIEW

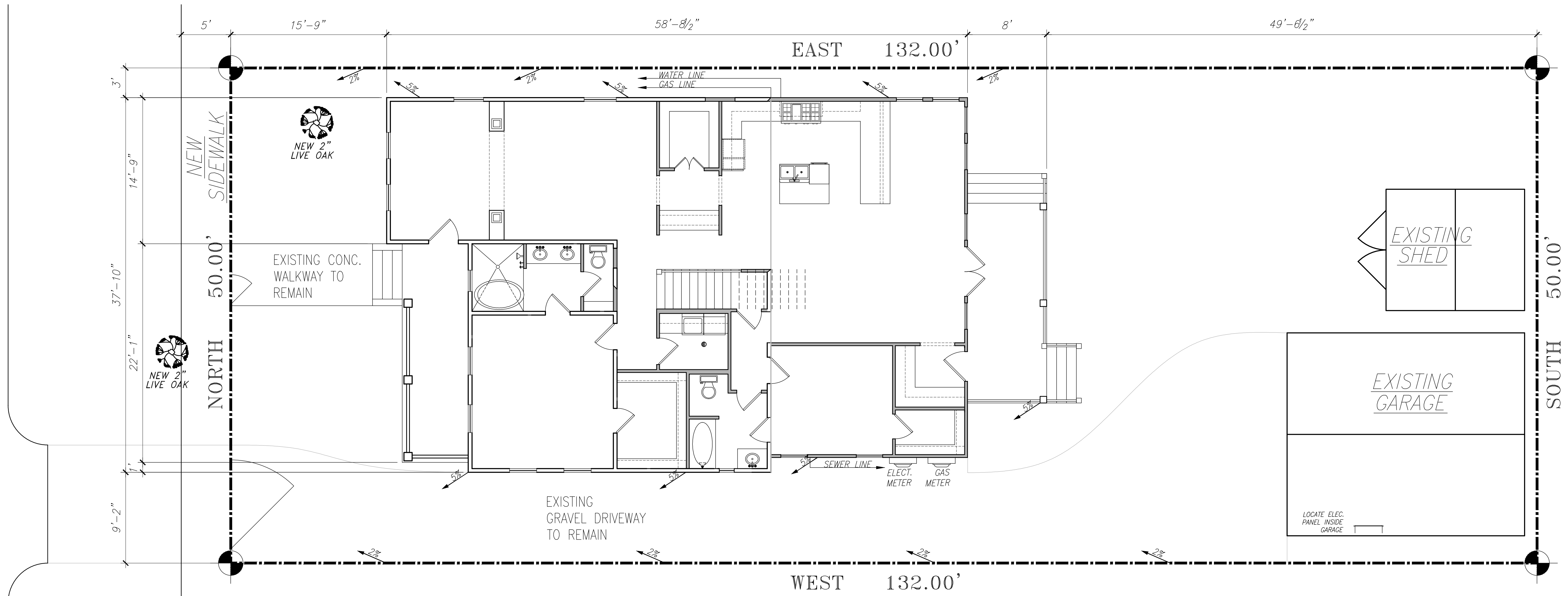
CAD DWG FILE: TEXT
COPYRIGHT 2006
ALL RIGHTS RESERVED
DRAWN BY: JC

GUERRA-PAZ RESIDENCE
620 COLUMBIA
HOUSTON, TEXAS

SHEET TITLE
AS-BUILT SITE PLAN

SHEET NO.
A0.1

COLUMBIA STREET
(70' R.O.W.)

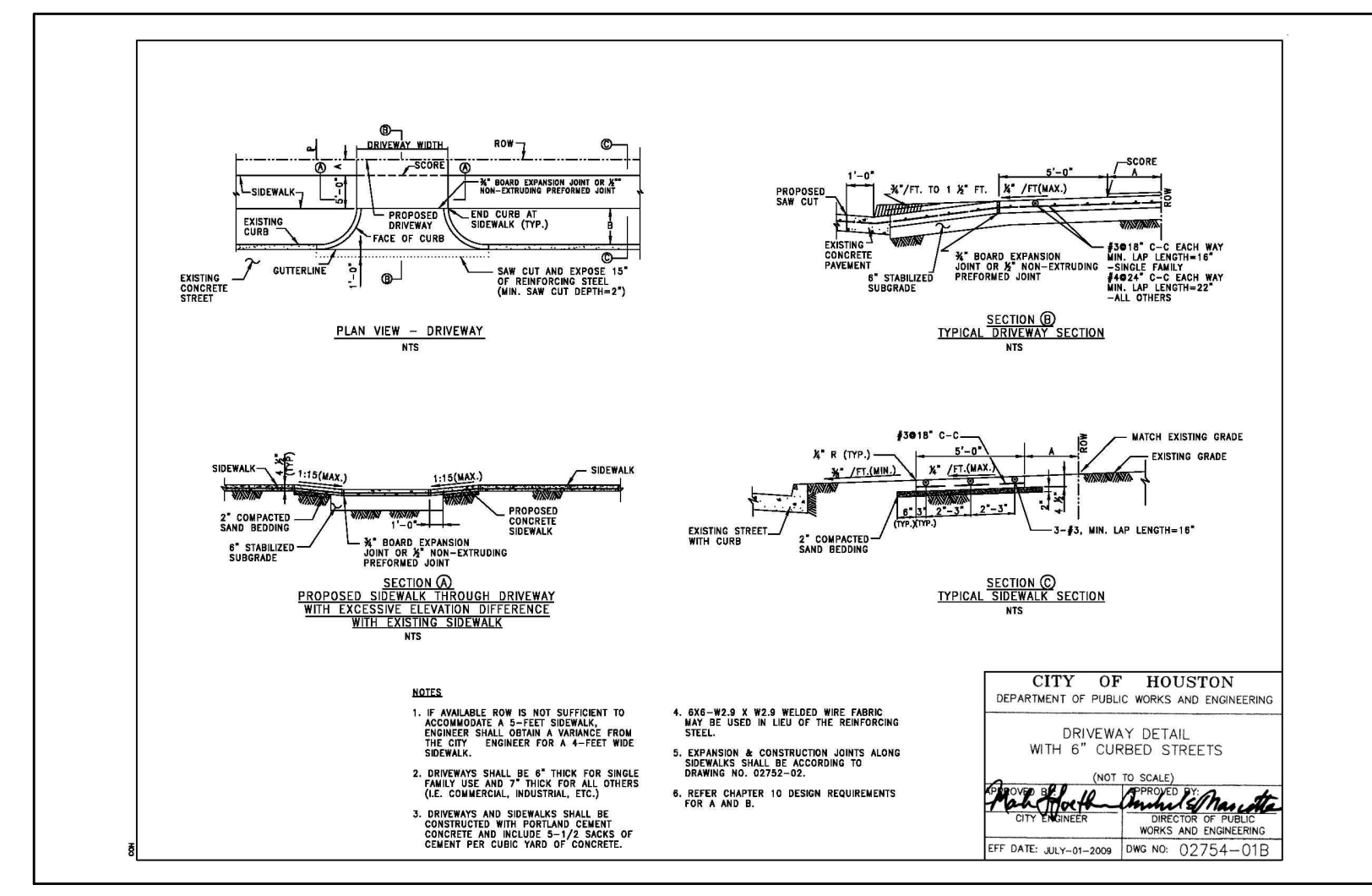


PROPOSED SITE PLAN
Scale: 3/16" = 1'-0"

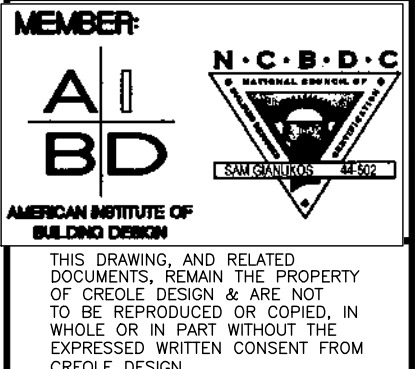
LEGAL DESCRIPTION
LOT: 17
BLOCK: 281
HOUSTON HEIGHTS
HOUSTON, TEXAS 77007

CALCULATION OF IMPERVIOUS PERCENTAGE	
HOUSE/GARAGE/SHED	3,040 SQ. FT.
DRIVEWAY/SIDEWALK	1,334 SQ. FT.
TOTAL OF IMPERVIOUS COVER	4,374 SQ. FT.
LOT AREA	6,600 SQ. FT.
PERCENTAGE IMPERVIOUS AREA	66.27 %

*** NOTE ***
FIRST FLOOR FINISHED HEIGHT TO BE NOT LESS THAN 12" ABOVE NEAREST MANHOLE RIM.



CREOLE DESIGN L.L.C.
CREOLEDESIGN.COM
505 MERRILL HOUSTON, TX 77008
(713)880-3158



MARK	DATE	DESCRIPTION
1	12/05/2014	ISSUED FOR REVIEW
2	12/09/2014	ISSUED FOR REVIEW
3	12/17/2014	ISSUED FOR REVIEW
4	1/6/2015	ISSUED FOR HA/C REVIEW

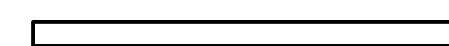

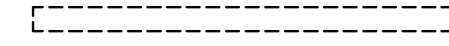
CAD DWG FILE: TEXT
COPYRIGHT 2006
ALL RIGHTS RESERVED
DRAWN BY: JC

GUERRA-PAZ RESIDENCE
620 COLUMBIA
HOUSTON, TEXAS

SHEET TITLE
PROPOSED SITE PLAN

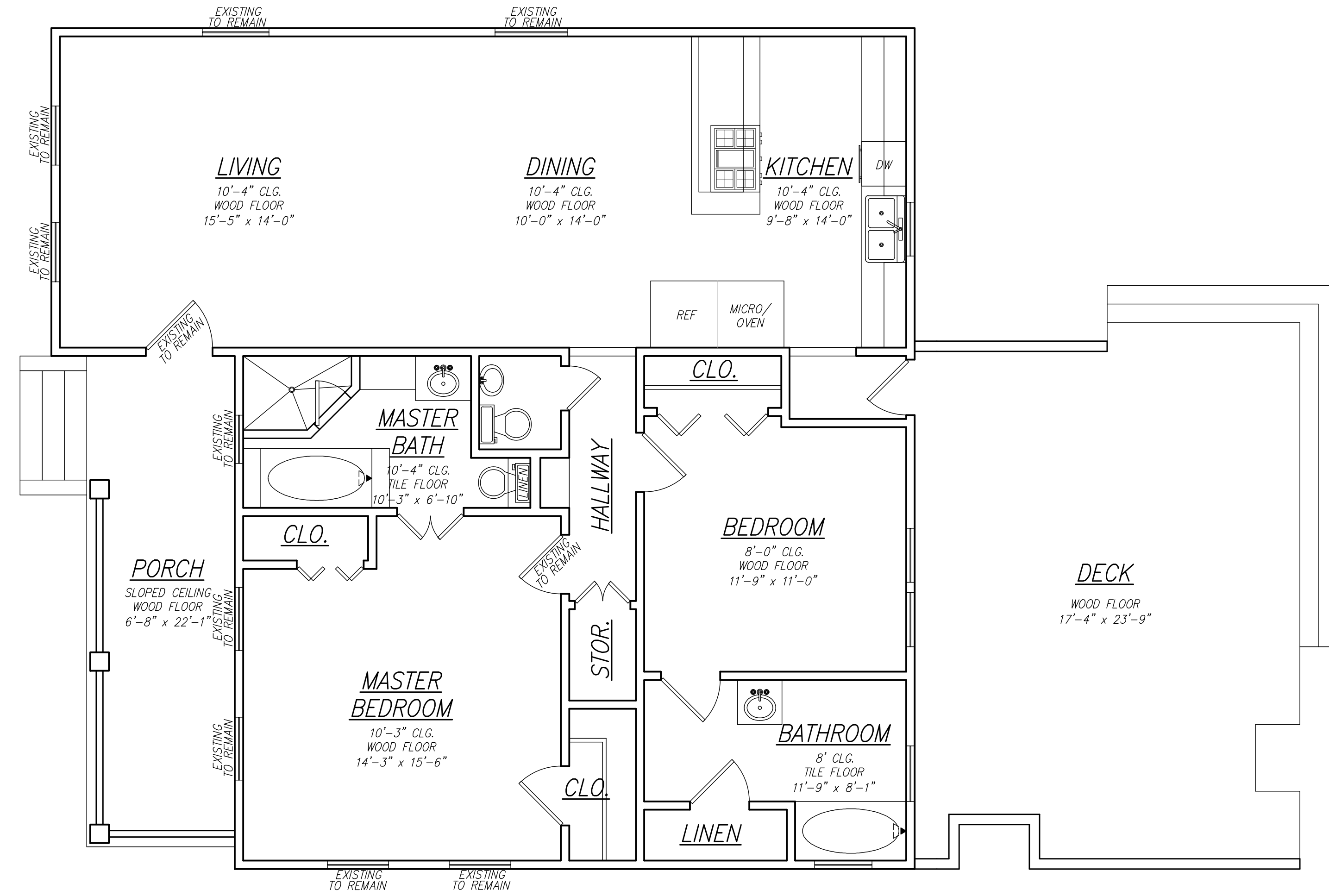
SHEET NO.
A0.2

WALL LEGEND

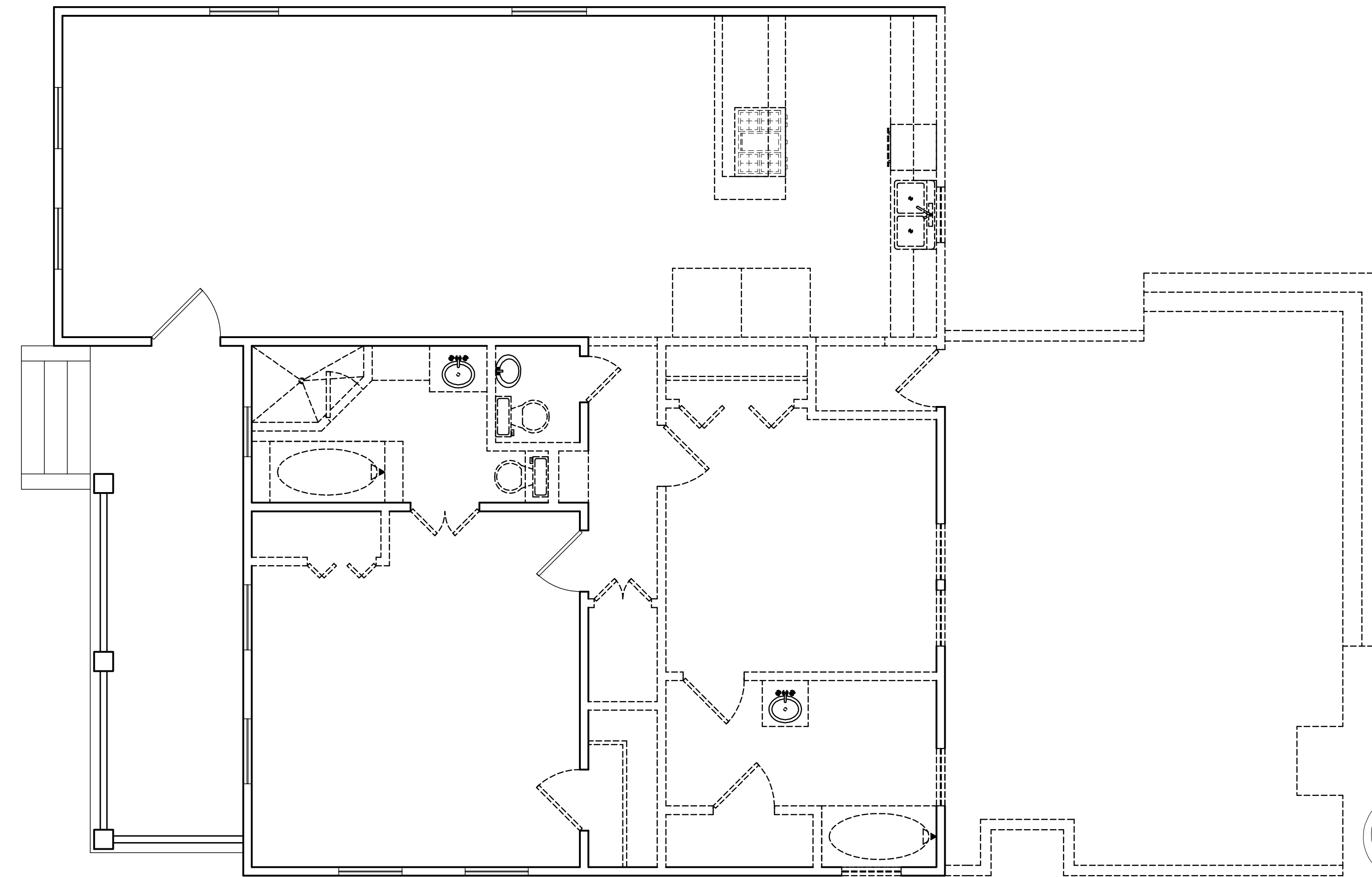
-  EXISTING WALLS
-  NEW WALLS
-  DEMO WALLS

PROPOSED SQUARE FOOTAGE	
FIRST FLOOR	2,048
SECOND FLOOR	1,018
TOTAL HEATED	3,066
PORCH	147
PATIO	177
TOTAL UNHEATED	324
TOTAL COVERED	3,572

EXISTING SQUARE FOOTAGE	
FLOOR PLAN	1,279
TOTAL HEATED	1,279
PORCH	147
DECK	413



AS-BUILT FLOOR PLAN
Scale: 1/4" = 1'-0"



DEMOLITION FLOOR PLAN
Scale: 1/4" = 1'-0"

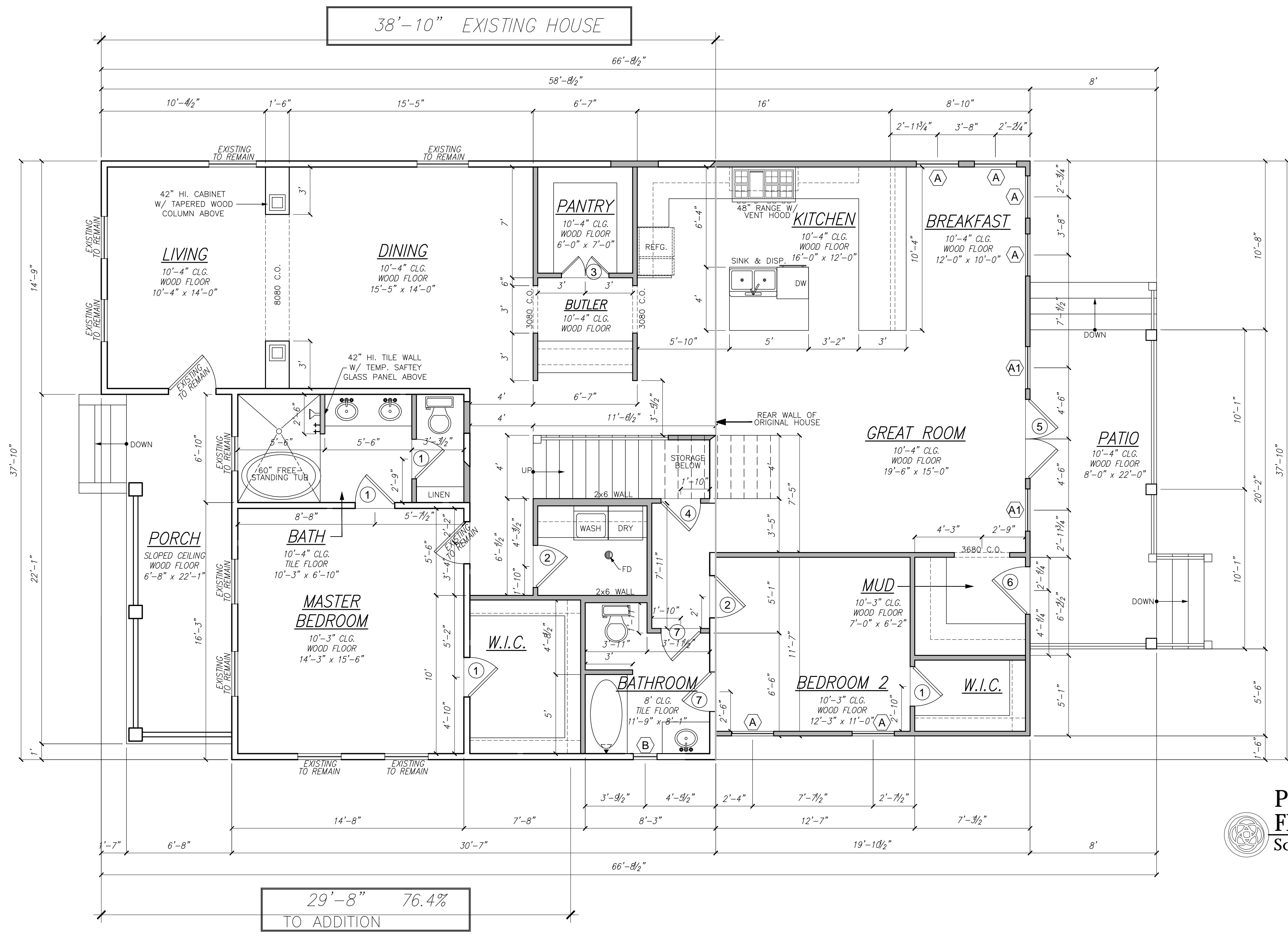
MARK	DATE	DESCRIPTION
1	12/05/2004	ISSUED FOR REVIEW
2	12/09/2004	ISSUED FOR REVIEW
3	12/17/2004	ISSUED FOR REVIEW
4	1/6/2005	ISSUED FOR HAPC REVIEW

CAD DWG FILE: TEXT
DRAWN BY: JC
COPYRIGHT 2006 ALL RIGHTS RESERVED

GUERRA-PAZ RESIDENCE
620 COLUMBIA
HOUSTON, TEXAS

SHEET TITLE
EXISTING & DEMO PLANS

SHEET NO.
A1.1



WALL LEGEND

	EXISTING WALLS
	NEW WALLS
	DEMO WALLS

PROPOSED FLOOR PLAN
Scale: 1/4" = 1'-0"

PROPOSED SQUARE FOOTAGE

FIRST FLOOR	2,048
SECOND FLOOR	1,018
TOTAL HEATED	3,066
PORCH	147
PATIO	177
TOTAL UNHEATED	324
TOTAL COVERED	3,572

EXISTING SQUARE FOOTAGE

FLOOR PLAN	1,279
TOTAL HEATED	1,279
PORCH	147
DECK	413

WINDOW SCHEDULE

MARK	QTY	WIDTH	HEIGHT	DESCRIPTION
(A)	14	2'-8"	6'-0"	JELD-WEN WOOD DOUBLE HUNG
(A1)	2	2'-8"	6'-0"	JELD-WEN WOOD DOUBLE HUNG - TEMPERED
(B)	1	1'-6"	3'-0"	JELD-WEN WOOD FIXED GLASS - TEMPERED
(C)	1	2'-8"	3'-0"	JELD-WEN WOOD FIXED GLASS - TEMPERED

DOOR SCHEDULE

DOOR NO.	QTY.	WIDTH	HEIGHT	DESCRIPTION
1	4	2'-6"	8'-0"	INTERIOR DOOR
2	2	2'-8"	8'-0"	INTERIOR DOOR
3	1	(2)1'-6"	8'-0"	INTERIOR FRENCH DOOR (UNIT)
4	1	2'-6"		INTERIOR DOOR (CUT TO FIT)
5	1	(2)2'-6"	8'-0"	EXTERIOR FRENCH DOOR (UNIT)
6	1	3'-0"	8'-0"	EXTERIOR FRENCH DOOR
7	9	2'-6"	6'-8"	INTERIOR DOOR
8	2	2'-8"	6'-8"	INTERIOR DOOR
9	1	2'-0"	6'-8"	INTERIOR DOOR
10	1	2'-8"		INTERIOR DOOR (CUT TO FIT)
11	1	2'-0"		INTERIOR DOOR (CUT TO FIT)

NOTE:
WINDOW OPENING LIMITING DEVICES @ SECOND FLOOR WINDOWS WITHIN 24 INCHES OF FINISHED FLOOR. OPERABLE SECTIONS OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW PASSAGE OF 4 INCH DIAMETER SPHERE. DEVICES SHALL COMPLY WITH IRC 2006 R613.2 AND MEET ASTM F2090-10 STANDARD.

CREOLE DESIGN L.L.C.
CREOLEDESIGN.COM
505 MERRILL HOUSTON, TX
77008
(713)880-3158

MEMBER
AIBD
AMERICAN INSTITUTE OF BUILDING DESIGN
N-C-B-D-C
REGISTERED PROFESSIONAL ARCHITECT

THIS DRAWING AND RELATED DOCUMENTS REMAIN THE PROPERTY OF CREOLE DESIGN & ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT FROM CREOLE DESIGN.

MARK	DATE	DESCRIPTION
1	12/05/2014	ISSUED FOR REVIEW
2	12/09/2014	ISSUED FOR REVIEW
3	12/17/2014	ISSUED FOR REVIEW
4	1/6/2015	ISSUED FOR H/M/C REVIEW

CAD DWG FILE: TEXT
COPYRIGHT 2006
ALL RIGHTS RESERVED
DRAWN BY: JC

GUERRA-PAZ RESIDENCE
620 COLUMBIA
HOUSTON, TEXAS

SHEET TITLE
PROPOSED FLOOR PLANS

SHEET NO.
A1.2

MARK	DATE	DESCRIPTION
1	12/05/2004	ISSUED FOR REVIEW
2	12/09/2004	ISSUED FOR REVIEW
3	12/17/2004	ISSUED FOR REVIEW
4	1/6/2005	ISSUED FOR H&MC REVIEW

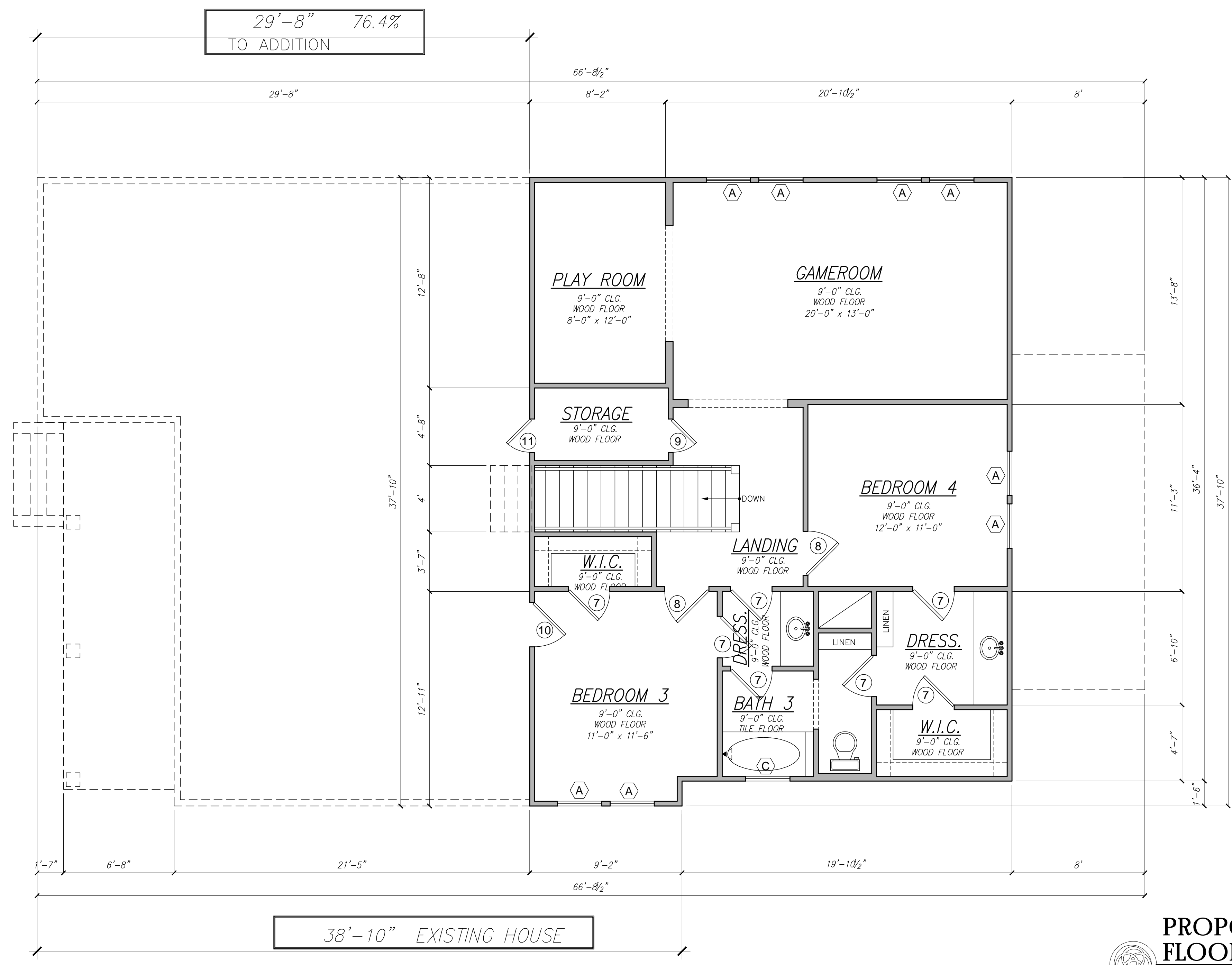
CAD DWG FILE: TEXT
COPYRIGHT 2006
ALL RIGHTS RESERVED

GUERRA-PAZ RESIDENCE
620 COLUMBIA
HOUSTON, TEXAS

SHEET TITLE
PROPOSED FLOOR PLANS

SHEET NO.
A1.2

DRAWN BY: JC



WALL LEGEND

- EXISTING WALLS
- NEW WALLS
- DEMO WALLS

PROPOSED SQUARE FOOTAGE	
FIRST FLOOR	2,048
SECOND FLOOR	1,018
TOTAL HEATED	3,066
PORCH	147
PATIO	177
TOTAL UNHEATED	324
TOTAL COVERED	3,572

EXISTING SQUARE FOOTAGE	
FLOOR PLAN	1,279
TOTAL HEATED	1,279
PORCH	147
DECK	413

WINDOW SCHEDULE				
MARK	QTY	WIDTH	HEIGHT	DESCRIPTION
(A)	14	2'-8"	6'-0"	JELD-WEN WOOD DOUBLE HUNG
(A1)	2	2'-8"	6'-0"	JELD-WEN WOOD DOUBLE HUNG - TEMPERED
(B)	1	1'-6"	3'-0"	JELD-WEN WOOD FIXED GLASS - TEMPERED
(C)	1	2'-8"	3'-0"	JELD-WEN WOOD FIXED GLASS - TEMPERED

DOOR SCHEDULE				
DOOR NO.	QTY.	WIDTH	HEIGHT	DESCRIPTION
1	4	2'-6"	8'-0"	INTERIOR DOOR
2	2	2'-8"	8'-0"	INTERIOR DOOR
3	1	(2)1'-6"	8'-0"	INTERIOR FRENCH DOOR (UNIT)
4	1	2'-6"		INTERIOR DOOR (CUT TO FIT)
5	1	(2)2'-6"	8'-0"	EXTERIOR FRENCH DOOR (UNIT)
6	1	3'-0"	8'-0"	EXTERIOR FRENCH DOOR
7	9	2'-6"	6'-8"	INTERIOR DOOR
8	2	2'-8"	6'-8"	INTERIOR DOOR
9	1	2'-0"	6'-8"	INTERIOR DOOR
10	1	2'-8"		INTERIOR DOOR (CUT TO FIT)
11	1	2'-0"		INTERIOR DOOR (CUT TO FIT)

NOTE:
WINDOW OPENING LIMITING DEVICES @ SECOND FLOOR WINDOWS WITHIN 24 INCHES OF FINISHED FLOOR. OPERABLE SECTIONS OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW PASSAGE OF 4 INCH DIAMETER SPHERE. DEVICES SHALL COMPLY WITH IRC 2006 R613.2 AND MEET ASTM F2090-10 STANDARD.

MARK	DATE	DESCRIPTION
1	12/06/2014	ISSUED FOR REVIEW
2	12/09/2014	ISSUED FOR REVIEW
3	12/17/2014	ISSUED FOR REVIEW
4	1/6/2015	ISSUED FOR HAHCP REVIEW

MARK	DATE	DESCRIPTION

GUERRA-PAZ RESIDENCE
620 COLUMBIA
HOUSTON, TEXAS

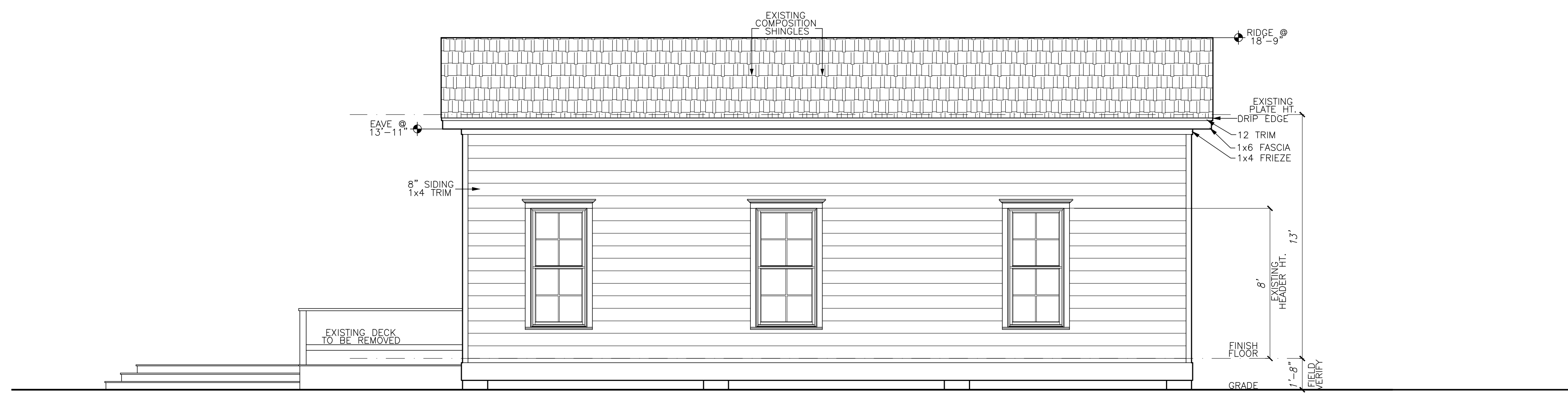
SHEET TITLE
EXISTING EXTERIOR ELEVATIONS

SHEET NO.
A2.1

NOTE:
WINDOW OPENING LIMITING DEVICES @ SECOND FLOOR WINDOWS WITHIN 24 INCHES OF FINISHED FLOOR. OPERABLE SECTIONS OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW PASSAGE OF 4 INCH DIAMETER SPHERE. DEVICES SHALL COMPLY WITH IRC 2006 R613.2 AND MEET ASTM F2090-10 STANDARD.



FRONT ELEVATION
Scale: 1/4" = 1'-0"

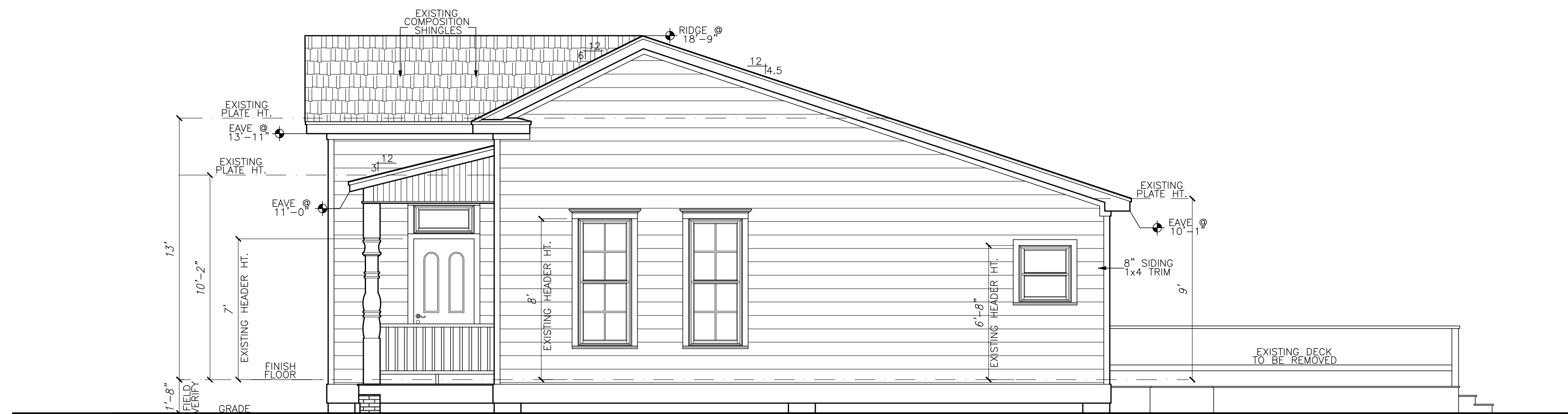


LEFT ELEVATION
Scale: 1/4" = 1'-0"



REAR ELEVATION
Scale: 1/4" = 1'-0"

NOTE:
WINDOW OPENING LIMITING DEVICES @ SECOND FLOOR
WINDOWS WITHIN 24 INCHES OF FINISHED FLOOR.
OPERABLE SECTIONS OF WINDOWS SHALL NOT PERMIT
OPENINGS THAT ALLOW PASSAGE OF 4 INCH DIAMETER
SPHERE. DEVICES SHALL COMPLY WITH IRC 2006
R613.2 AND MEET ASTM F2090-10 STANDARD.



RIGHT ELEVATION
Scale: 1/4" = 1'-0"

MARK	DATE	DESCRIPTION
1	12/05/2014	ISSUED FOR REVIEW
2	12/09/2014	ISSUED FOR REVIEW
3	12/17/2014	ISSUED FOR REVIEW
4	1/8/2015	ISSUED FOR HARC REVIEW

MARK	DATE	DESCRIPTION
1	12/05/2014	ISSUED FOR REVIEW
2	12/09/2014	ISSUED FOR REVIEW
3	12/17/2014	ISSUED FOR REVIEW
4	1/8/2015	ISSUED FOR HARC REVIEW

CAD DWG FILE: TEXT
COPYRIGHT 2006
ALL RIGHTS RESERVED

GUERRA-PAZ RESIDENCE
620 COLUMBIA
HOUSTON, TEXAS

SHEET TITLE

EXISTING EXTERIOR ELEVATIONS

SHEET NO.

A2.2

DRAWN BY: JC

MARK	DATE	DESCRIPTION
1	12/05/2014	ISSUED FOR REVIEW
2	12/09/2014	ISSUED FOR REVIEW
3	12/17/2014	ISSUED FOR REVIEW
4	1/6/2015	ISSUED FOR HARC REVIEW

MARK	DATE	DESCRIPTION
1		
2		
3		
4		

MARK	DATE	DESCRIPTION
1	12/05/2014	ISSUED FOR REVIEW
2	12/09/2014	ISSUED FOR REVIEW
3	12/17/2014	ISSUED FOR REVIEW
4	1/6/2015	ISSUED FOR HARC REVIEW

MARK	DATE	DESCRIPTION
1		
2		
3		
4		

GUERRA-PAZ RESIDENCE
620 COLUMBIA
HOUSTON, TEXAS

SHEET TITLE

**PROPOSED
EXTERIOR
ELEVATIONS**

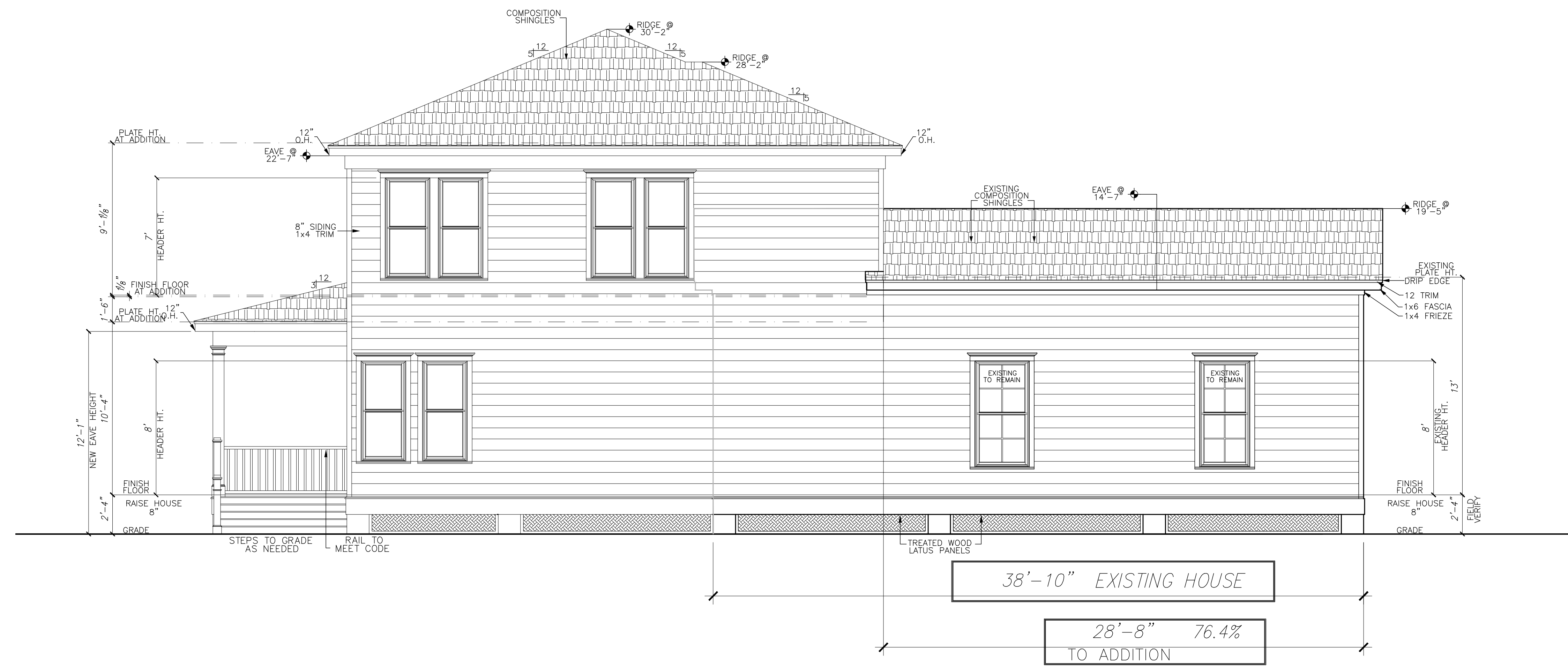
SHEET NO.

A2.3

*NOTE:
WINDOW OPENING LIMITING DEVICES @ SECOND FLOOR
WINDOWS WITHIN 24 INCHES OF FINISHED FLOOR.
OPERABLE SECTIONS OF WINDOWS SHALL NOT PERMIT
OPENINGS THAT ALLOW PASSAGE OF 4 INCH DIAMETER
SPHERE. DEVICES SHALL COMPLY WITH IRC 2006
R613.2 AND MEET ASTM F2090-10 STANDARD.*



FRONT ELEVATION
Scale: 1/4" = 1'-0"

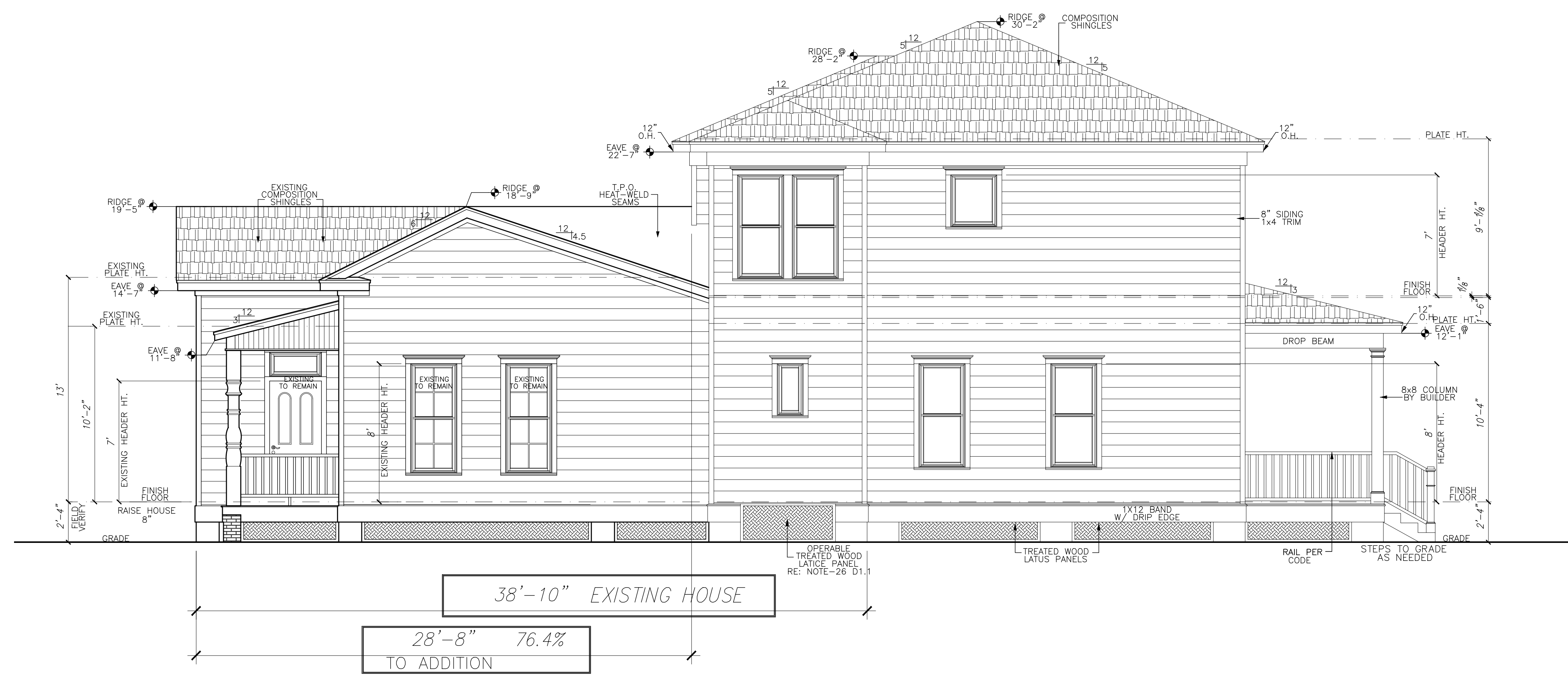


LEFT ELEVATION
Scale: 1/4" = 1'-0"

NOTE:
 WINDOW OPENING LIMITING DEVICES @ SECOND FLOOR
 WINDOWS WITHIN 24 INCHES OF FINISHED FLOOR.
 OPERABLE SECTIONS OF WINDOWS SHALL NOT PERMIT
 OPENINGS THAT ALLOW PASSAGE OF 4 INCH DIAMETER
 SPHERE. DEVICES SHALL COMPLY WITH IRC 2006
 R613.2 AND MEET ASTM F2090-10 STANDARD.

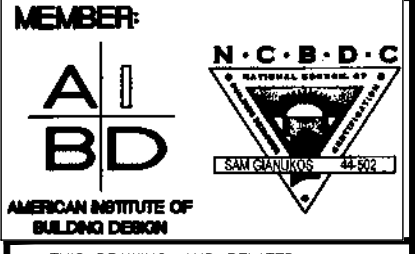


REAR ELEVATION
 Scale: 1/4" = 1'-0"



RIGHT ELEVATION
 Scale: 1/4" = 1'-0"

CREOLE DESIGN L.L.C.
 CREOLEDESIGN.COM
 505 MERRILL HOUSTON, TX 77008
 (713)880-3158



THIS DRAWING AND RELATED DOCUMENTS REMAIN THE PROPERTY OF CREOLE DESIGN & ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT FROM CREOLE DESIGN.

MARK	DATE	DESCRIPTION
1	12/06/2014	ISSUED FOR REVIEW
2	12/09/2014	ISSUED FOR REVIEW
3	12/17/2014	ISSUED FOR REVIEW
4	1/6/2015	ISSUED FOR HAHC REVIEW

CAD DWG FILE: TEXT
 COPYRIGHT 2006
 ALL RIGHTS RESERVED

MARK: [] DATE: [] DESCRIPTION: [] DRAWN BY: JC


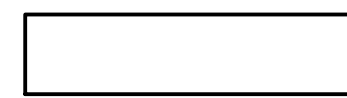
GUERRA-PAZ RESIDENCE
 620 COLUMBIA
 HOUSTON, TEXAS

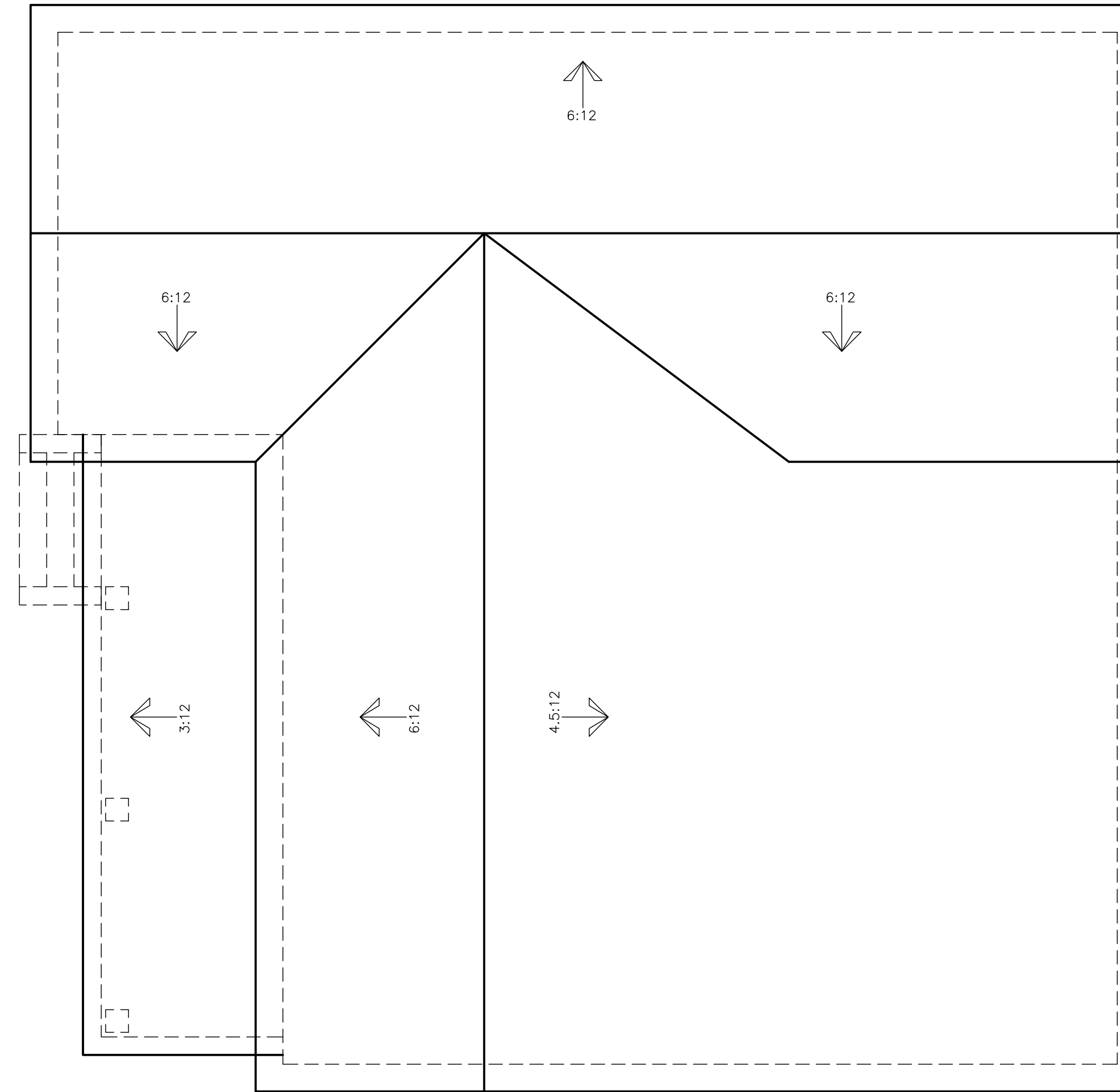
SHEET TITLE
PROPOSED EXTERIOR ELEVATIONS

SHEET NO.
A2.4

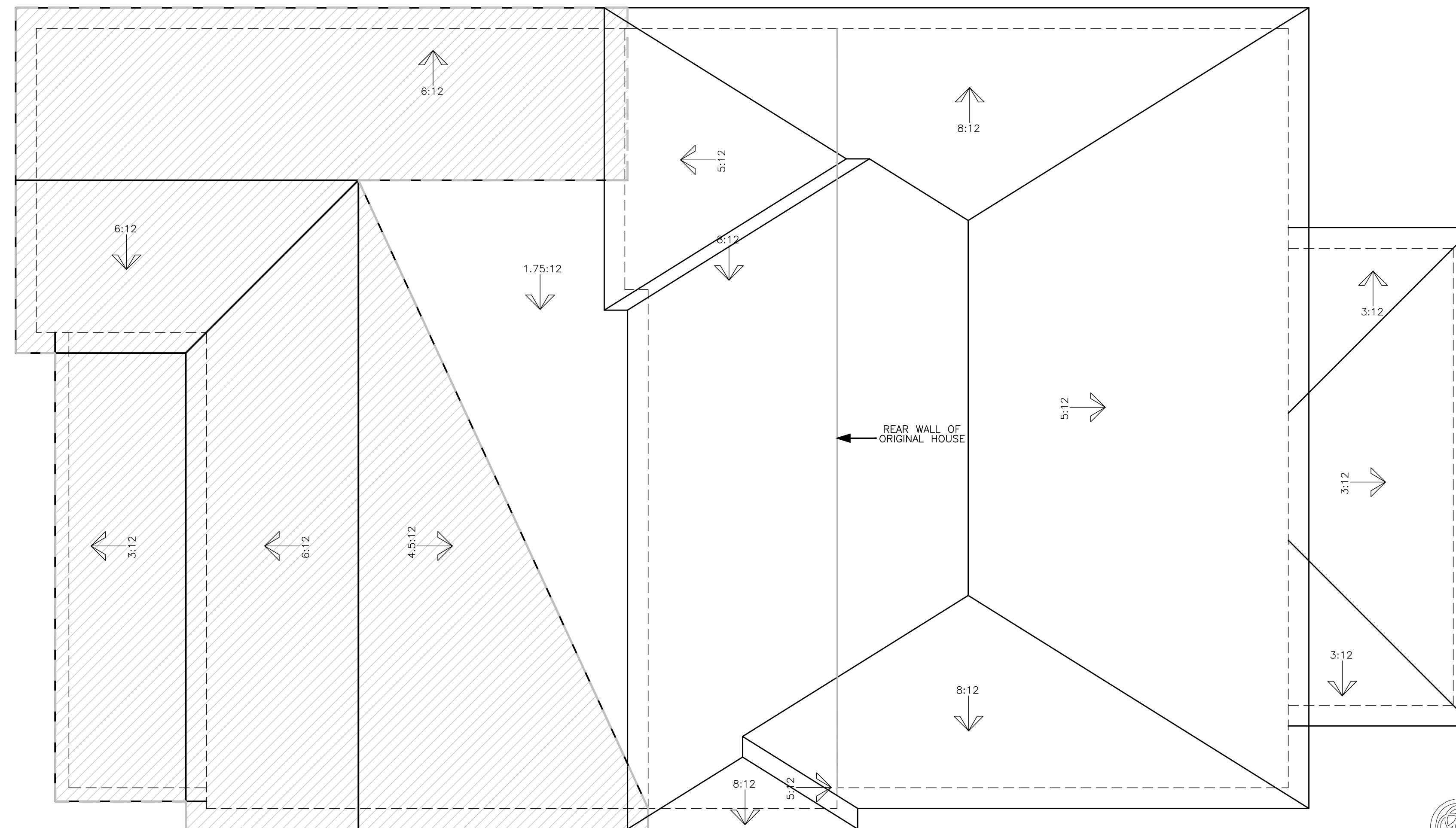
- UNLESS NOTED OTHERWISE
- 1.) FIELD VERIFY ALL EXISTING ROOF SLOPES.
 - 2.) MATCH EXISTING ROOF MATERIALS, OVERHANG, AND SLOPE.

ROOF LEGEND

-  EXISTING ROOF
-  NEW ROOF



EXISTING ROOF PLAN
Scale: 1/4" = 1'-0"



PROPOSED ROOF PLAN
Scale: 1/4" = 1'-0"

CREOLE DESIGN L.L.C.
CREOLEDESIGN.COM
505 MERRILL HOUSTON, TX 77008
(713)880-3158



MEMBER
A.I.A. N.C.B.D.C.
AMERICAN INSTITUTE OF BUILDING DESIGNERS
THIS DRAWING AND RELATED DOCUMENTS REMAIN THE PROPERTY OF CREOLE DESIGN & ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT FROM CREOLE DESIGN.

MARK	DATE	DESCRIPTION
1	12/05/2014	ISSUED FOR REVIEW
2	12/09/2014	ISSUED FOR REVIEW
3	12/17/2014	ISSUED FOR REVIEW
4	1/9/2015	ISSUED FOR HAAC REVIEW

CAD DWG FILE: TEXT
COPYRIGHT 2006
ALL RIGHTS RESERVED
DRAWN BY: JC

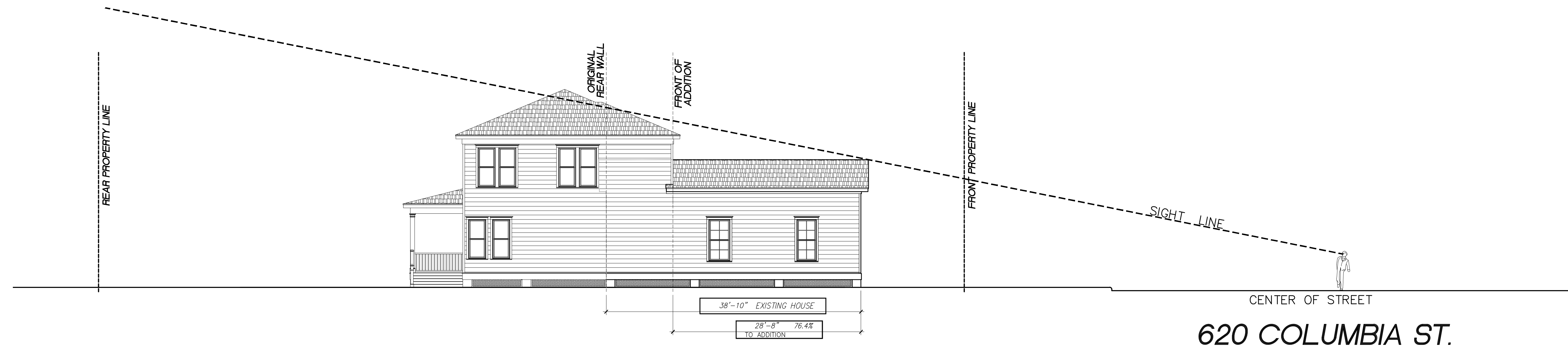
GUERRA-PAZ RESIDENCE
620 COLUMBIA
HOUSTON, TEXAS

SHEET TITLE
EXISTING ROOF PLAN

SHEET NO.
A3.1

MARK	DATE	DESCRIPTION	MARK	DATE	DESCRIPTION
1	12/05/2014	ISSUED FOR REVIEW			
2	12/09/2014	ISSUED FOR REVIEW			
3	12/17/2014	ISSUED FOR REVIEW			
4	1/6/2015	ISSUED FOR H4HC REVIEW			

CAD DWG FILE: TEXT
COPYRIGHT 2006
ALL RIGHTS RESERVED
DRAWN BY: JC



SITE LINE STUDY
Scale: 1/8" = 1'-0"

GUERRA-PAZ RESIDENCE
620 COLUMBIA
HOUSTON, TEXAS

SHEET TITLE
SITE LINE STUDY

SHEET NO.
SLO.1

620 Columbia Street - House Addition and Rehabilitation.

Description letter:

We are submitting the attached application for the renovation of 620 Columbia Street. The house is a one-story structure with a covered front porch. Below is a description of the scope of work:

1. The front porch and entry door will remain and function as the main entry to the house. The material is wood and the style is craftsman. Please see attached pictures.
2. New railing to be added on the front porch by code: wood baluster and rail, color and style to match the original house.
3. We are proposing to preserve and keep 100% of the original siding except for parts rotted and/or damaged beyond repair. Any damaged siding will be replaced with matching wood siding. On the new construction, the siding and trim will match the original siding. All siding which will be removed from areas which will be demolished, will be reused on the addition.
4. Existing front windows to remain.
5. Windows in the addition will be a combination of wood single hung and wood fixed windows. See plans for size and location.
6. The current ceiling height is 8'-0" to 10'-4". Additions to the first floor level will be at 10'-0" ceiling height. The second floor addition will have ceiling height of 9'-0".
7. The new addition will match the existing roof overhangs. The pitch on the new roof to be 8 on twelve, and 5 on twelve. The proposed new eave height to be 22'-7" approximately. The top ridge height on the addition will be 30'-2" approx.
8. The current living square footage is 1,279 square feet. We are adding 1,787 square feet.
9. Foundation type on the existing house is pier and beam foundation, the same to be used in the addition. The existing Finish Floor height is 1'-8". We are proposing to raise the floor of the house an additional 8"
10. The original garage is detached and on the property. We have proposed to leave the existing garage as is.

Please let us know if we need to provide any additional information.

Creole Design

Tel. 713.880.3158



620







