

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



**PLANNING &
DEVELOPMENT
DEPARTMENT**

PROPERTY

Address 714 WOODLAND ST.
 Historic District / Landmark WOODLAND HEIGHTS HCAD # 0373010000003
 Subdivision WOODLAND HEIGHTS Lot 3 & TR 4A Block 36

DESIGNATION TYPE

- | | |
|--|--|
| <input type="checkbox"/> Landmark | <input checked="" type="checkbox"/> Contributing |
| <input type="checkbox"/> Protected Landmark | <input type="checkbox"/> Noncontributing |
| <input type="checkbox"/> Archaeological Site | <input type="checkbox"/> Vacant |

PROPOSED ACTION

- | | |
|---|-------------------------------------|
| <input type="checkbox"/> Alteration or Addition | <input type="checkbox"/> Relocation |
| <input type="checkbox"/> Restoration | <input type="checkbox"/> Demolition |
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Excavation |

DOCUMENTS

Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name JESSICA TAYLOR
 Company _____
 Mailing Address 1126A W. 17th St.
Houston, TX 77008
 Phone 281-382-5146
 Email [REDACTED]
 Signature [Signature]
 Date 10/30/14

APPLICANT (if other than owner)

Name _____
 Company _____
 Mailing Address _____
 Phone _____
 Email _____
 Signature _____
 Date _____

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

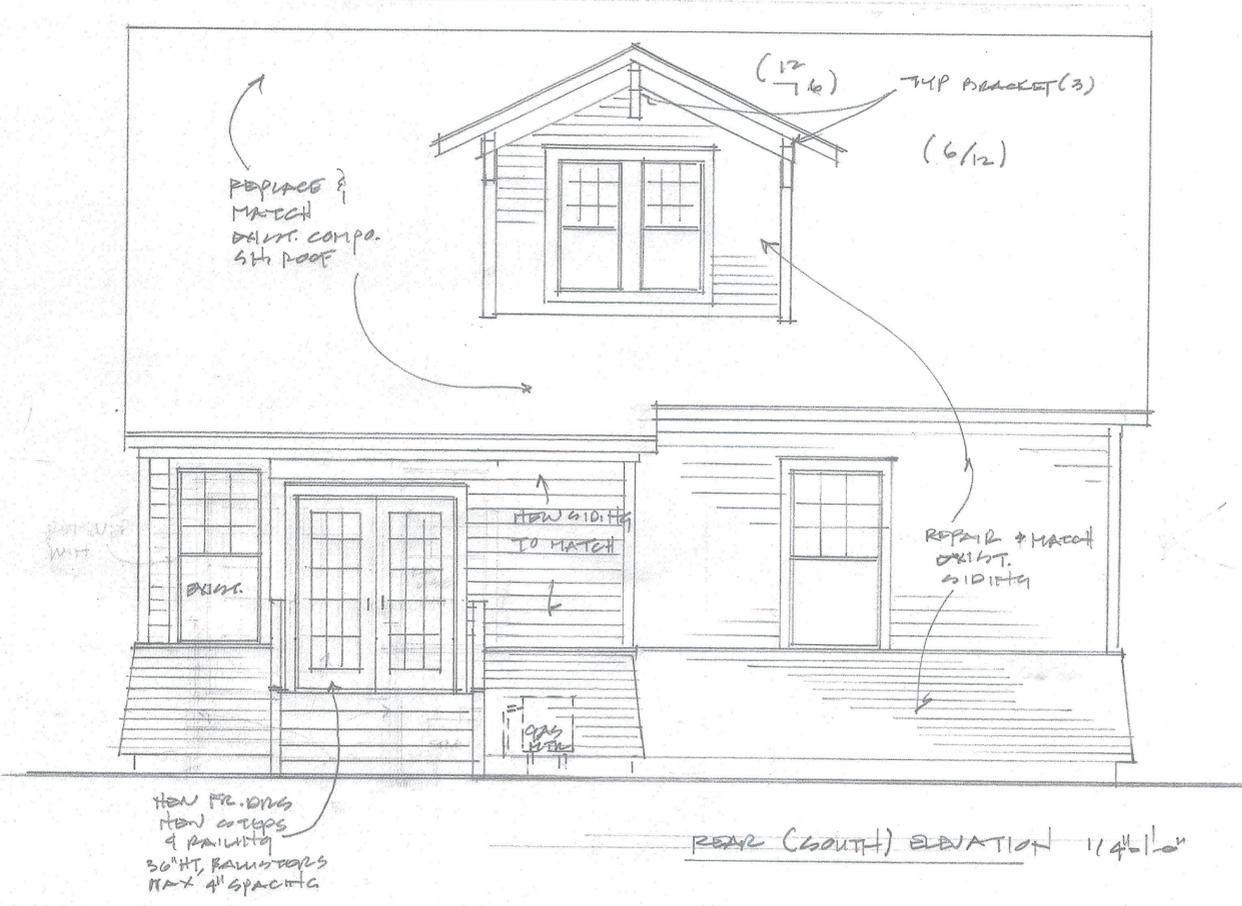
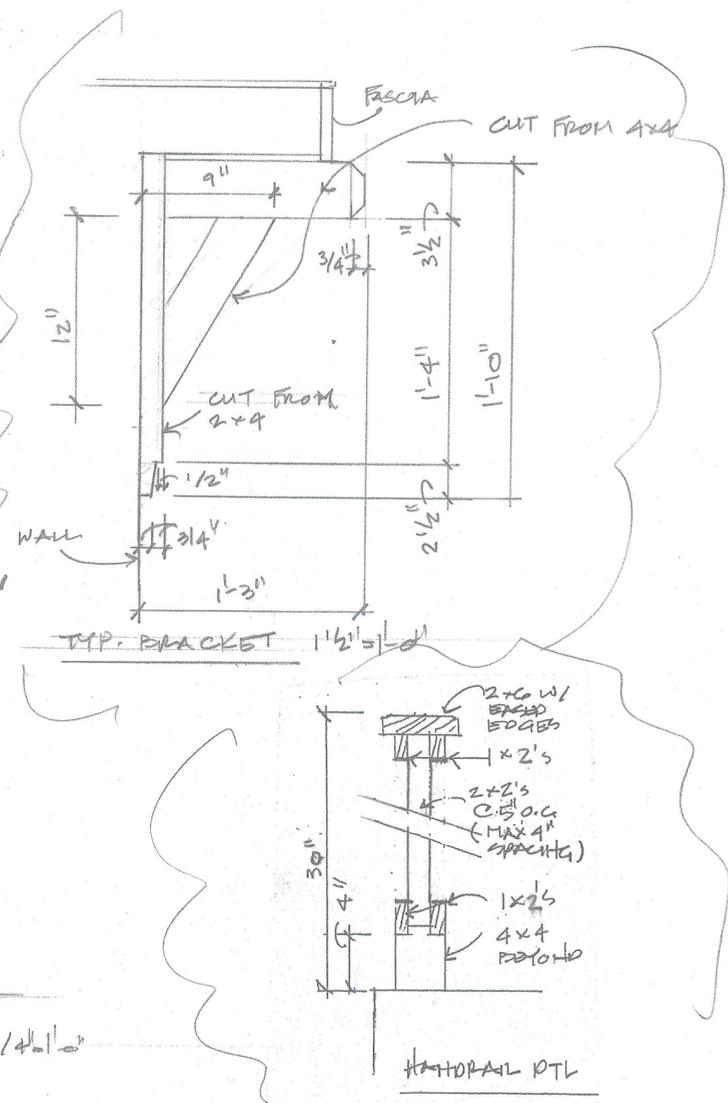
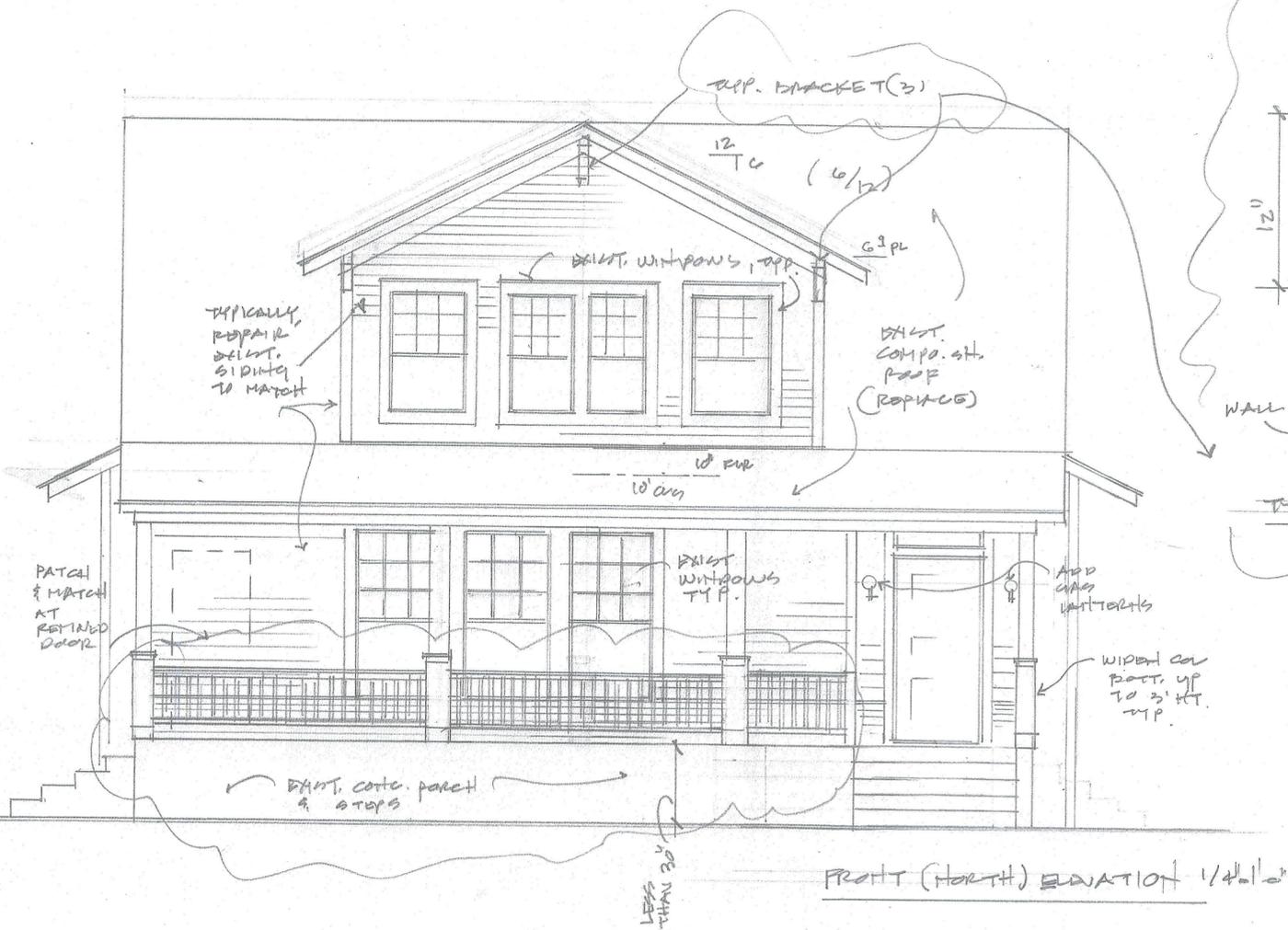
Planner: _____ Application received: ___ / ___ / ___ Application complete: ___ / ___ / ___











NOTE: SIDE ELEVATIONS TO REPAIR & MATCH ONLY

REVISION: 10/17/14

DATE: 10/14/13

BJORN O. SEFELDT ARCHITECT AIA
7676 WOODWAY SUITE 104 HOUSTON TEXAS 77063 (713) 260-4141

BOS

TAYLOR ESTIMATOR



SHEET No.

A5
of 16

14114553



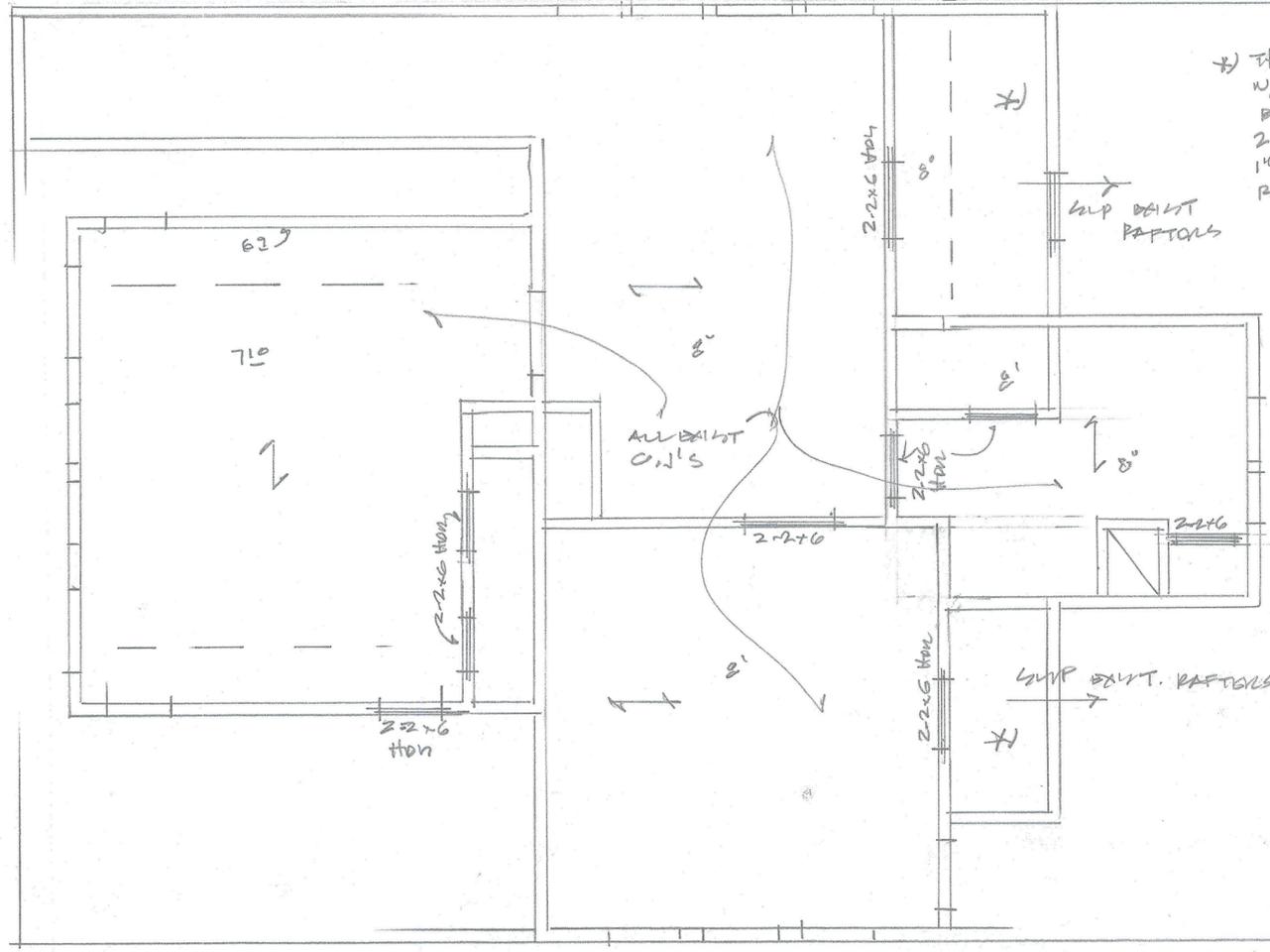
David Grissom, P.E., P.L.D.
20 October 2014

David Grissom
Consulting Engineer
F-1086
10802 Vickjohn Court
Houston, TX 77071
713-974-7569

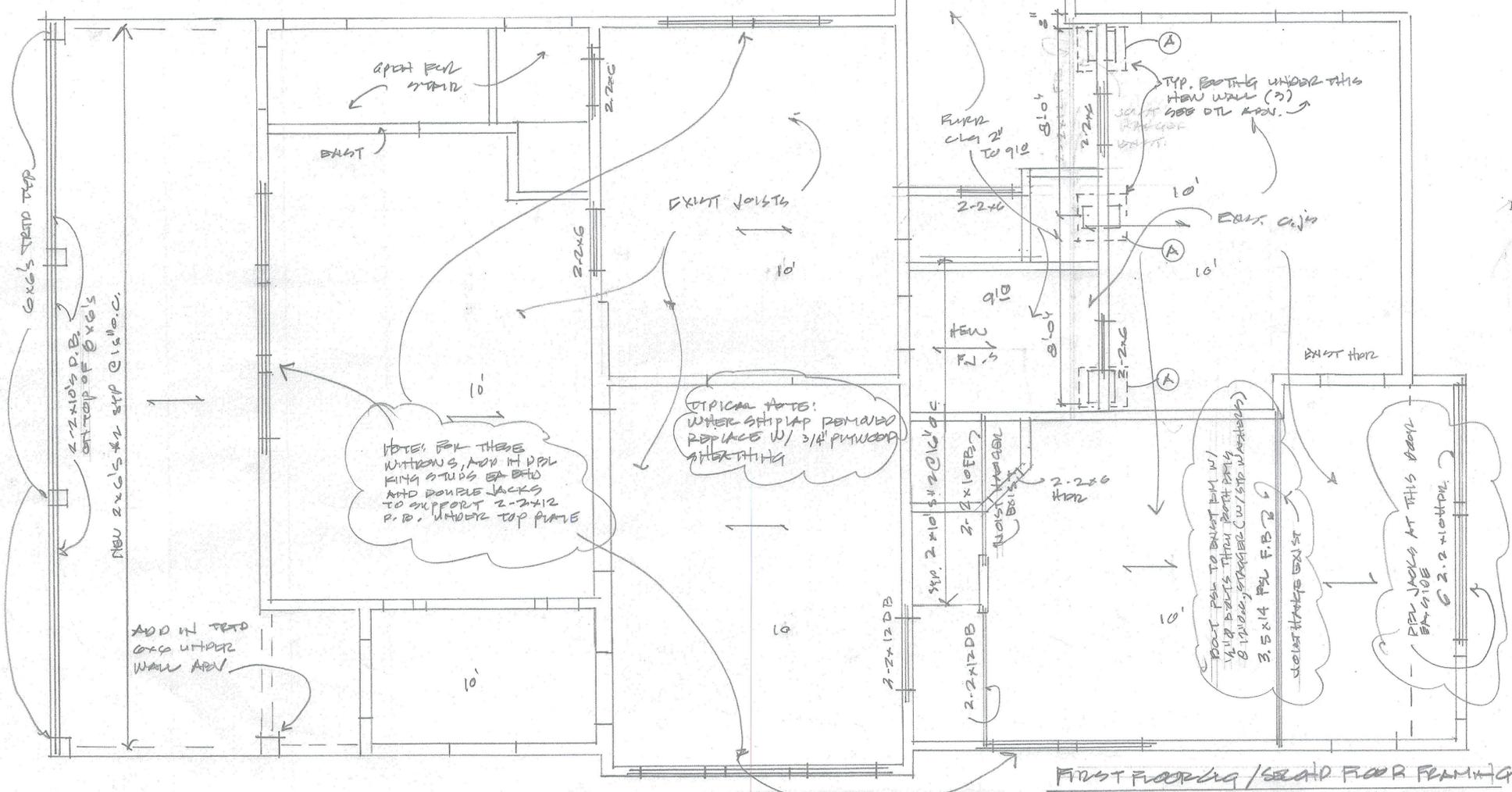
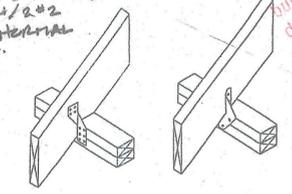
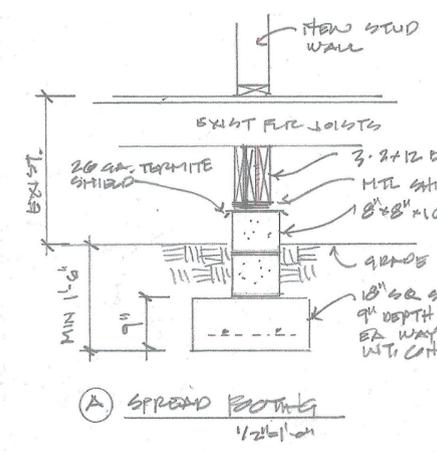
APPROVED
FOR BUILDING PERMIT ONLY
CITY OF HOUSTON
COS ENFORCEMENT DIVISION

The owner is responsible for compliance with the Building Code. Such approved plans and specifications shall not be changed, modified or altered without authorization of a building official, and all work shall be done in accordance with the approved plans.

NO. 35C



*) THESE SLOPED ROOFS W/ 2x6 RAFTERS TO BE REMOVED AND W/ 2x2'S THAT ADD 60 IN 1" MIN RAFTERS AND R-19 INSULATION



1/2" MIN W/ NO RESIST.
HURRICANE CLIPS EV. AND JOISTURE, HAIL 1/2\"/>

FRAMING NOTES

- All framing material shall be #2 SYP, equal or better.
- All wood stud walls shall be full height without intermediate plate line unless detailed otherwise. Provide minimum of 2 studs at wall corners and on each side of framed openings.
- Nailing and attachment of framing members shall be as specified in the International Residential Code (or other code having jurisdiction) wood framing fastener schedule unless a more substantial connection is noted on the drawings. Common wire nails or box nails shall be used for all framing unless noted otherwise.
- Galvanized nails are required at all exterior exposures.
- All bottom and sill plates in contact with concrete shall be pressure treated lumber 0.25CCA minimum.
- All new sill plates shall be anchored to the foundation with anchor bolts 1/2" diameter and a minimum embedment of 7" and spaced not more than 48" apart. There shall be a minimum of 2 anchor bolts per plate section with a bolt located not more than 12" from each end of the plate. A nut and washer shall be tightened securely on each bolt.
- The exterior walls and roof shall be sheathed in 1/2" plywood or OSB, minimum.
- Wall sheathing shall be fastened using a minimum 8 penny common nail.
- Roof sheathing shall be fastened using a minimum 10 penny common nail.
- Sheathing nails shall be sized and located per the attached schedule and diagram. Minimum spacing requirements shall be 12" on center maximum at all locations and at 6" on center at all edges. NOTE: These spacings shall be reduced by half (3" and 6") at all nails within 4' of any corner.
- Strap tops and bottoms of all new corners and cripples to new and existing framing to ensure a Main Wind Force Resisting System (MWFRS) between the old and new framing structure.
- Fasten each rafter to top plate connection with a tie down equal to the Simpson StrongTie™ H2.5.
- Install a strap equal to the Simpson StrongTie™ LSTA12 at the top end of each new rafter to the existing framing connection.
- Install a ridge strap equal to the Simpson StrongTie™ LSTA12 over the top of the ridge member at each new rafter connection.
- Provide continuous blocking between all rafters in line with the exterior wall. Blocking material shall match rafter material.
- All connectors shall be installed and fastened per the manufacturer's requirements and specifications.
- All connectors and straps shall be installed and fastened in the same plane.



OCT 20 2014

TAYLOR REMODEL



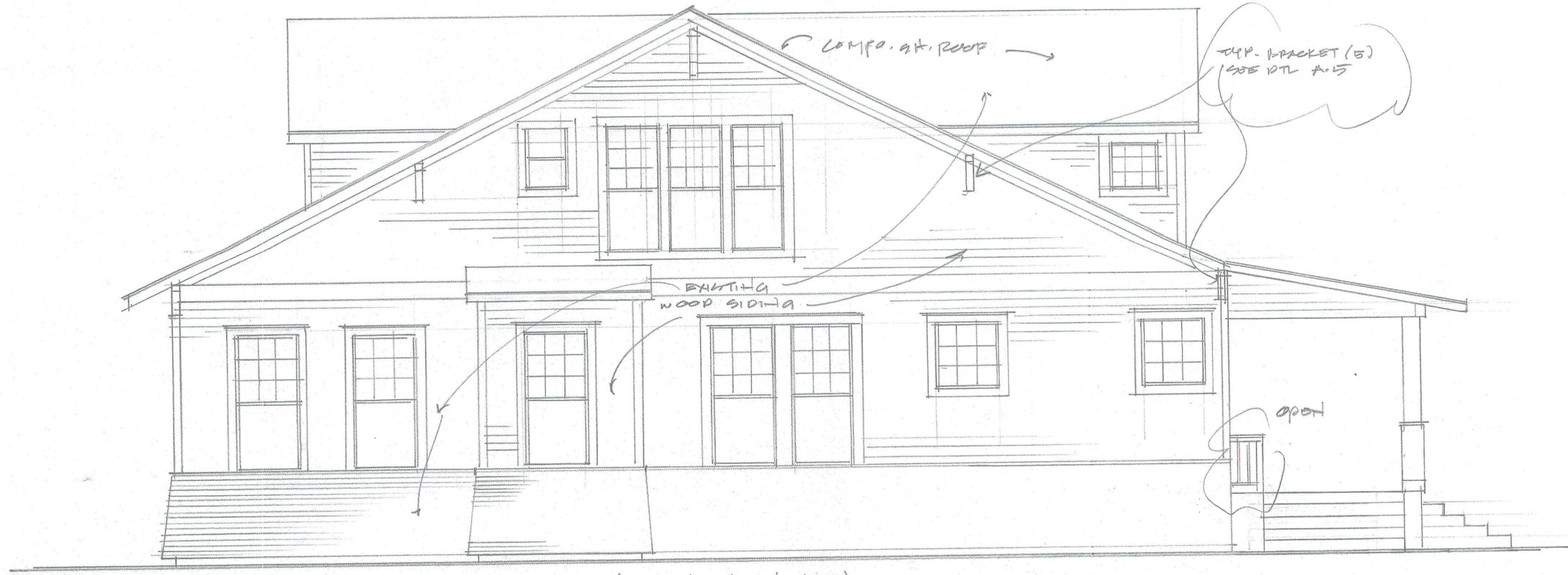
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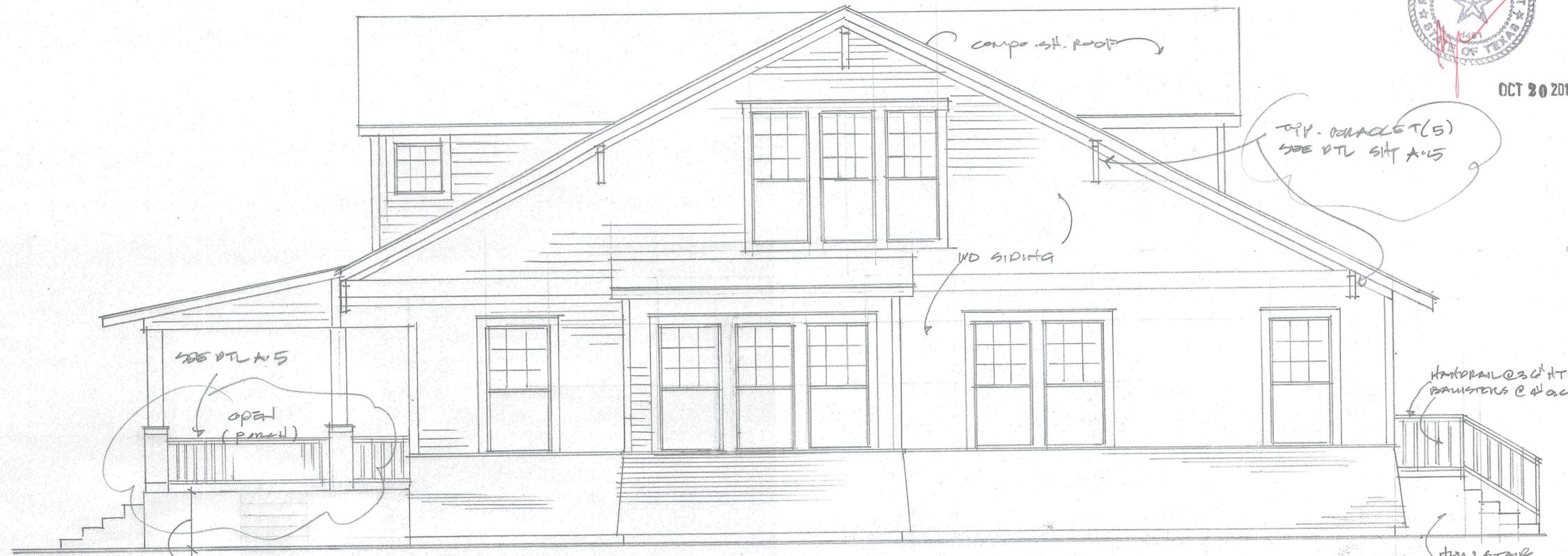
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BJORN O SEFELDT ARCHITECT AIA
7676 WOODWAY SUITE 104 HOUSTON TEXAS 77063 (713) 260-4141

DATE: 10/14/13

REVISION: 11/25/13
10/17/14



(EXISTING, NO CHANGE)
 (EXISTING) EAST ELEVATION 1/4"=1'-0"



(EXISTING, NO CHANGE)
 WEST ELEVATION 1/4"=1'-0"



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SHEET No.

AG
 OFC