

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



PLANNING &
DEVELOPMENT
DEPARTMENT

PROPERTY

Address 7631 Wilmerdean St

Historic District / Landmark _____

HCAD # _____

Subdivision _____

Lot _____

Block _____

DESIGNATION TYPE

- Landmark
 Protected Landmark
 Archaeological Site
 Contributing
 Noncontributing
 Vacant

PROPOSED ACTION

- Alteration or Addition
 Restoration
 New Construction
 Relocation
 Demolition
 Excavation

DOCUMENTS

Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name Hector C. Rodriguez

Company _____

Mailing Address 7631 Wilmerdean St.
Houston, TX 77061

Phone 832.890.2059

Email _____

Signature Hector C. Rodriguez

Date 1-6-15

APPLICANT (if other than owner)

Name Kandy Reddoch

Company Sears Home Improvement

Mailing Address 10055 Regal Row #160
Houston, TX 77040

Phone 281.799.1390

Email _____

Signature Kandy Reddoch

Date 1/6/15

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____

Application received: ___/___/___ Application complete: ___/___/___

CERTIFICATE OF APPROPRIATENESS ALTERATION & ADDITON CHECKLIST



PLANNING &
DEVELOPMENT
DEPARTMENT

Well in advance of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable items and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-241 for approval criteria for alteration, rehabilitation, restoration and additions.

PROPERTY ADDRESS: 7631 Wilmerdean St

BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- carport
- accessory structure
- other

ALTERATION TYPE

- addition
- foundation
- wall siding or cladding
- windows or doors
- porch or balcony
- roof
- awning or canopy
- commercial sign
- ramp or lift
- other

WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work; plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new materials description; attach specification sheets if necessary

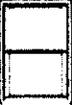
PHOTOGRAPHS label photos with description and location

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

DRAWINGS scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

- current site plan
- proposed site plan
- current floor plans
- proposed floor plans
- current window and door schedule
- proposed window and door schedule
- demolition plan
- current roof plan
- proposed roof plan
- current elevations (all sides)
- proposed elevations (all sides)
- perspective and/or line of sight

WINDOW ORDER ADDENDUM

NO	DESCRIPTION	QTY	SIZE	
1	WP - END VENT WHITE 1/4-1/2-1/4 END VENT LOWE/ARGON/CLEAR HALF SCREEN	1	112 W X 52 H	
2	WM - DOUBLE HUNG WHITE OBSCURE OBSCURE ALL SASHES FULL SCREEN TWO CAM LOCK MAX CLEARANCE DIMENSIONS=[18.75 X 10.5625]	1	24 W X 36 H	
3	WM - SLIDER WHITE LOWE/ARGON/LAMI FULL SCREEN MAX CLEARANCE DIMENSIONS=[30.5 X 46.75]	2	72 W X 52 H	
TOTALS:		4		

COMMENT:

Exterior Wall Solutions Addendum

Consultation Info

Lead Number:	17929052	Date:	11/29/2014	Sales Rep:	Vu Ly
Customer Name:	HECTOR C. RODRIGUEZ			Phone:	(832) 890-2059
Address:	7631 WILMERDEAN ST				
City:	HOUSTON	State:	TX	Zipcode:	77061

Worksheet Summary

Description	Comments
WB MAX - LIFETIME - Walnut w London Brow Wrap	

Proposal Items

Code	Description	Units
S001D	Siding. Best (3/4" Insulation)	
	Adders: Color: Walnut (Premium) Siding Panel Profile: Dutch Lap	
	Warranty: Weatherbeater Max	
S012A	Siding Extras. Sheathing (add substrate)	
S020A	Wraps. Window/Door/Vent	
	Adders: Color: London Brown	
S022A	Wraps. Double Garage Door	
	Adders: Color: London Brown	
S932	Cedar Shake Removal. Remove and Dispose Cedar Shake	

Hector C. Rodriguez

11/29/2014

11/29/2014

Customer Signature

Date

Customer Signature

Date

Proposal Date 11/29/2014	Job Number 17929052		Sears Home Improvement Products, Inc.		
Customer Name HECTOR C. RODRIGUEZ			P.O. Box 522290 1024 Florida Central Parkway Longwood, FL 32750-7579 Phone (800) 469-4663		
Customer's Home Phone (832) 890-2059	Customer's Work Phone		Contractor License/Registration Number		
Street Address 7631 WILMERDEAN ST		ESTIMATE AND PROPOSAL Exterior Solutions			
City HOUSTON	State TX				Zip Code 77061
Installation Address County HARRIS					
Billing Address (if different from above)		City	State	Zip Code	Project Consultant Name & License No. (if applicable) VU LY 30246

Description of the Project and Description of the Significant Materials to be Used and Equipment to be installed

<p>The work to be done for Weatherbeater Vinyl Siding if purchased with this contract includes the following:</p> <ol style="list-style-type: none"> 1. Inspect outside walls for deterioration, replace rotten wood, and re-nail loose surface boards as required. 2. Caulk and seal around windows and doors as needed. 3. Installation of insulation board when purchased with this order. 4. Installation of moisture guard and galvanized starter strip. 5. Installation of corner post, trim, and window wraps when purchased with this order. 6. Hand nail siding panels. 7. Installation of soffit and fascia when purchased with this order. <input checked="" type="checkbox"/> Please see addendum for details if checked. 8. Installation of insulation, guttering, and downspouts when purchased with this order. 9. Clean up and removal of all job related debris. 	<p>Walls SIDING _____</p> <p>Soffit N/A _____</p> <p>Fascia N/A _____</p> <p>Guttering N/A _____</p> <p>Decorative Shutters N/A _____</p>
<p>The work to be done for Coating if purchased with this contract includes the following:</p> <ol style="list-style-type: none"> 1. Inspect outside walls for deterioration. 2. Trench around home where possible. 3. Water blast/pressure wash exterior walls and surface where coating is to be applied. 4. Deteriorated areas are patched and repaired and windows are caulked as required where coating is to be applied. *Coating does not change architectural lines or eliminate major defects in the surface it is applied on. 5. All doors, windows, and surfaces not to be coated are masked and covered. 6. Coating primer is applied to all surfaces to receive Coating finish coat. 7. Coating finish coat is applied over all primed surfaces. <input type="checkbox"/> Please see addendum for details if checked. 8. Trim coat is applied as specified in this contract when purchased with this order. 9. Installation of insulation, guttering, and downspouts when purchased with this order. 10. Clean up and removal of all job related debris. 	
<p>The work to be done for Painting if purchased with this contract includes the following:</p> <ol style="list-style-type: none"> 1. Inspect outside walls for deterioration. 2. Trench around home where possible. 3. Pressure wash exterior walls and surface where Painting is to be applied. 4. Deteriorated areas are patched and repaired and windows are caulked as required where Painting is to be applied. 5. All doors, windows, and surfaces not to be Painted are protected. 6. Surface conditioner/primer is applied to all surfaces to receive finish coat. 7. Finish coat is applied over all primed wall surfaces. <input type="checkbox"/> Please see addendum for details if checked. 8. Trim coat is applied as specified in this contract when purchased with this order. 9. Installation of insulation, guttering, and downspouts when purchased with this order. 10. Clean up and removal of all job related debris. 	

The Exterior Solutions Addendum is made a part of and incorporated into this contract by reference.	Customer(s) initials	HCR
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Additional work to be done: LEAD SAFE, CUST PREFER INSTALLATION IN JAN 2015

Work NOT to be done:

SPECIAL INSTRUCTIONS: SIDING ONLY IN THE FRONT OF HOUSE, ON 2ND FLOOR (SIDING FRONT, LEFT AND RIGHT SIDE OF HOUSE)

All of the above check boxes, "Work NOT to be done," "Additional work to be done," and "Special Instructions" sections have been reviewed and explained to me.	Customer(s) initials	HCR
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Customer's Home Phone (832) 890-2059	Customer's Work Phone		Contractor License/Registration Number	
Street Address 7631 WILMERDEAN ST		ESTIMATE AND PROPOSAL Exterior Solutions	Is installation within city limits? (Yes/No): YES	
City HOUSTON	State TX		Zip Code 77061	Project Consultant Name & License No. (if applicable) VU LY 30246
Installation Address County HARRIS		Billing Address (if different from above)		
City		State	Zip Code	Project Consultant Name & License No. (if applicable) VU LY 30246

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APPROXIMATE START DATE and APPROXIMATE COMPLETION DATE:

The work will start approximately 3-4 WEEKS (Approximate Start Date)

It will be substantially completed by approximately 3-4 WEEKS (Approximate Completion Date)

These dates are subject to change at the time the contract is accepted by Sears Home Improvement Products, Inc. ("Sears") or at any other time by mutual written agreement. Customer understands that the Approximate Start Date is only an estimated date and the Customer will be contacted prior to this date to schedule the actual start date.

ASBESTOS ABATEMENT: This Estimate and Proposal assumes that there are no asbestos containing materials ("ACMs") that would be disturbed in the performance of the installation work. If upon further inspection by the contractor or others it is learned that ACMs have to be disturbed to perform work, then Customer must arrange and pay for abatement of asbestos by a qualified person prior to the start or continuation of work. If Customer fails to arrange for necessary asbestos abatement within thirty (30) days, Sears may cancel this contract upon written notice to Customer.

Customer(s) initials H.C.R.

The TOTAL PRICE including all labor, material, taxes and any applicable discount is \$	7,074.69	Contract Price	\$ 7,074.69
Initial Payment (not to exceed 30% of Total Price unless Special Order) \$	2,122.41	State Sales Tax (0.00 %)	\$ 0.00
Final Payment (balance payable upon completion of job) \$	4,952.28	Local Sales Tax (0.00 %)	\$ 0.00
		Total Amount Due	\$ 7,074.69

The form and method by which the Customer(s) will pay is described in a separate Cash/Credit Card Payment Addendum made a part of and incorporated into this contract by reference.

Customer(s) initials H.C.R.

NOTICE TO BUYER: YOU, THE BUYER, MAY CANCEL THIS TRANSACTION AT ANY TIME PRIOR TO MIDNIGHT OF THE THIRD BUSINESS DAY (FIFTH BUSINESS DAY IN ALASKA, FIFTEENTH BUSINESS DAY IN NORTH DAKOTA IF YOU ARE AGE 65 OR OLDER) AFTER THE DATE OF THIS TRANSACTION. SEE THE ATTACHED NOTICE OF CANCELLATION FORM FOR AN EXPLANATION OF THIS RIGHT.

ADDITIONAL PROVISIONS

Proposal and Approval. Sears offers to furnish the materials and arrange for their delivery and installation as specified on the first page and/or the attached sketches and specification sheets for the TOTAL PRICE shown. This offer must be approved by the Installation Department. If this is a credit sale or a payment on completion sale, it must be approved by the Credit Sales Department. If this proposal is not approved or the installation cannot be made in accordance with the law, this offer will be withdrawn and any payments you have made will be refunded to you. Any materials left over after the installation has been completed are Sears property and will be removed by Sears.

Installation. I understand that Sears will not install the materials but will arrange for the installation. Sears is not responsible for materials or installation NOT furnished or arranged by Sears. Sears' installation contractor(s) will obtain all building permits required by local law. For homes located in historic or landmark zoning districts, Customer will be responsible for obtaining required approvals and related permits prior to the commencement of work on this contract.

Authorization. I authorize Sears to: (1) arrange for a contractor (licensed where required by law) to make the installation of materials; (2) issue a work order for this installation to a contractor; (3) inspect the installation; and (4) pay the contractor when the installation is complete if I have signed a certificate that the installation has been completed to my satisfaction.

Delays in Installation. I agree that Sears is not responsible for delays in delivery or installation due to weather, fire, strikes, war, government regulations or any causes beyond Sears' control.

Oral Agreements and Changes in Contract. I understand that there are no oral agreements between Sears and me. Everything I expect Sears to do has been included in writing in this contract. Nothing can be changed in this contract unless it is in writing on a separate form accepted by me and Sears.

Responsibility of Buyer. I agree that any information or measurements that I give to Sears are correct and complete. I am responsible for any special work described in this contract.

Electrical & Plumbing Service. I will provide adequate electrical and/or plumbing service(s) to run any newly installed appliances or other furnishings. If the electrical and/or plumbing service(s) do not meet the standards of the utility company or electrical and/or plumbing codes, I will make the necessary changes at my expense unless Sears has agreed in this contract to make the changes.

Payment. I will pay Sears the cash price that covers the price of material and installation as shown on the first page.

Warranty Information. Appropriate product warranty documents will be given to me by Sears. Sears' Warranty on Installation is:

SEARS' LIMITED WARRANTY ON INSTALLATION

In addition to any manufacturer warranty extended to you on the product(s) used (which warranty becomes effective the date the merchandise is installed), if the workmanship (or application) of any Sears' arranged installation proves faulty within (i) one year for Weatherbeater or other brand, (ii) two years for Weatherbeater Plus, (iii) three years for Weatherbeater Max, (iv) two years for Plus Painting, or (v) three years for Max Coating, then upon notice from you Sears will cause such faults to be corrected by repair at no additional cost to you. If Sears determines that repair is not commercially practicable or cannot be timely made, then, at Sears' sole discretion, Sears may elect to provide replacement or refund. **Service under this Limited Warranty is available by calling Sears Home Improvement Products at 1-800-222-5030, Option 4.** This warranty gives you specific legal rights, and you may also have other rights that vary from State to State.

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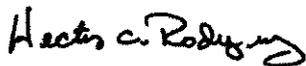
NOTICE TO BUYER

1. DO NOT SIGN THE AGREEMENT IF ANY OF THE SPACES INTENDED FOR THE AGREED TERMS TO THE EXTENT OF THE AVAILABLE INFORMATION ARE LEFT BLANK.
2. YOU ARE ENTITLED TO A COPY OF THIS AGREEMENT AT THE TIME YOU SIGN IT. KEEP IT TO PROTECT YOUR LEGAL RIGHTS.
3. YOU MAY PAY OFF THE FULL UNPAID BALANCE DUE UNDER THE AGREEMENT AT ANY TIME, AND IN SO DOING YOU SHALL BE ENTITLED TO A FULL REBATE OF THE UNEARNED FINANCE AND INSURANCE CHARGES.
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5. IT SHALL NOT BE LEGAL FOR THE SELLER TO ENTER YOUR PREMISES UNLAWFULLY OR COMMIT ANY BREACH OF THE PEACE TO REPOSSESS GOODS PURCHASED UNDER THIS AGREEMENT.

NOTICE TO TEXAS CUSTOMERS

This contract is subject to Chapter 27 of the Texas Property Code. The provisions of that chapter may affect your right to recover damages arising from a construction defect. If you have a complaint concerning a construction defect and that defect has not been corrected as may be required by law or by contract, you must provide the notice required by Chapter 27 of the Texas Property Code to the contractor by certified mail, return receipt requested, not later than the 60th day before the date you file suit to recover damages in a court of law or initiate arbitration. The notice must refer to Chapter 27 of the Texas Property Code and must describe the construction defect. If requested by the contractor, you must provide the contractor an opportunity to inspect and cure the defect as provided by Section 27.004 of the Texas Property Code.

IMPORTANT NOTICE: You and your contractor are responsible for meeting the terms and conditions of this contract. If you sign this contract and you fail to meet the terms and conditions of this contract, you may lose your legal ownership rights in your home. **KNOW YOUR RIGHTS AND DUTIES UNDER THE LAW.**


HECTOR C. RODRIGUEZ

Customer's signature

11/29/2014

Date

11/29/2014

Date

Customer's signature



Management Representative

 Accepted by Sears Home Improvement Products, Inc. ("Sears") on 11/29/2014
Date

by:

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Hector C. Rodriguez

HECTOR C. RODRIGUEZ

11/29/2014

11/29/2014

Customer's signature

Date

Customer's signature

Date

me

Accepted by Sears Home Improvement Products, Inc. ("Sears") on 11/29/2014

Date

by:

Management Representative



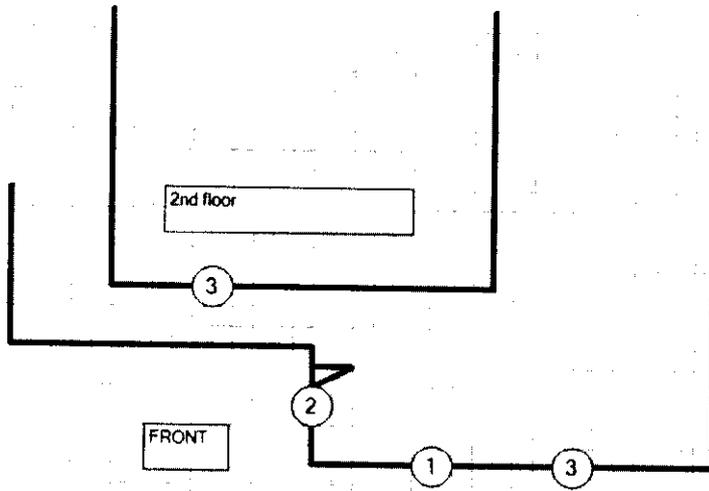








Floor Plan



Floor Plan

Hester & Redding
HESTER & REDDING

Customer Signature

11/29/2014

Date

[Empty Signature Box]

Customer Signature

11/29/2014

Date

CERTIFICATE OF APPROPRIATENESS APPLICATION INSTRUCTIONS



PLANNING &
DEVELOPMENT
DEPARTMENT

Well in advance of the COA application deadline contact staff to discuss your project, application requirements, and, if necessary, to make an appointment to meet with staff for a project consultation. Visit the **Historic Preservation Web Manual** for historic district profiles, project guidance and forms. www.houstontx.gov/HistoricPreservationManual

Historic Preservation Office

713.837.7963

historicpreservation@houstontx.gov

SUBMISSION INSTRUCTIONS

To submit application to Planning Department:

- email documents to historicpreservation@houstontx.gov (attachments must be less than 10MB)
- send a Dropbox shared folder invitation to historicpreservation@houstontx.gov, or
- contact staff to set up an appointment to drop off a disc or flash drive.

MEETING SCHEDULE

- Applications are due **22 calendar days** in advance of the HAHC meeting by **12 PM (noon)** on the deadline date. Exception: revisions to items deferred or denied at the previous HAHC meeting are due 15 days in advance of the scheduled meeting.
- Application deadlines are firm. All materials must be submitted by the deadline to be considered at the following HAHC meeting. Designs must be final at time of application; revisions will not be accepted after the deadline.
- HAHC will not accept new material or redesigns presented at the HAHC meeting. Deferral until the following month's meeting may be necessary in such cases to allow for adequate review by staff and commissioners.
- HAHC monthly meetings are held at 3:00 PM at City Hall Annex, 900 Bagby Street, City Council Chambers, Public Level.

2014 Meeting Dates (Thursdays unless noted otherwise)	COA Application Deadlines	Demolition / Relocation Posted Sign Deadlines
October 23	October 1	October 13
November 20	October 29	November 10
December 17 (Wednesday)	November 25	December 7

DEFINITIONS

Addition: any expansion to an existing building, structure or object.

Alteration: any change to the exterior of a building or structure, including adding, moving, removing or replacing an exterior feature.

Demolition: an act or process that destroys in whole, or a majority of, any building, structure, object or site.

Excavation: to expose, uncover, or remove by digging, cutting or hollowing out.

Exterior Feature: an element of the architectural character and the general arrangement of the external portion of a building, structure or object, including building materials.

Mandatory Repair: a repair of a building or structure that is necessary to comply with Article IX, Ch. 10, Houston Code of Ordinances, as evidenced by an order of the hearing official or the building and standards commission or by a citation.

New Construction: the erection of a new building, structure, or object, on a lot, site, or other property.

Relocation: any change in the location of a building, structure, or object.

Restoration: accurately recovering the form and detail of a building, structure, object, or site and its setting as it appeared at a particular period of time by means of the removal of later work, or by the replacement of missing earlier work, or both.