

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



PLANNING &
DEVELOPMENT
DEPARTMENT

PROPERTY

Address 3003 Chevy Chase Dr, Hou, TX 77019
Historic District / Landmark William B. Ferguson House, River Oaks HCAD # 0601500290005
Subdivision River Oaks Lot 5 Block 29

DESIGNATION TYPE

- Landmark Contributing
 Protected Landmark Noncontributing
 Archaeological Site Vacant

PROPOSED ACTION

- Alteration or Addition Relocation
 Restoration Demolition
 New Construction Excavation

DOCUMENTS

- Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name Richard & Amanda Johnson
Company _____
Mailing Address 3003 Chevy Chase Dr
Houston, TX 77019
Phone 713 - 829 -6187
Email [REDACTED]
Signature 
Date 3/9/2015

APPLICANT (if other than owner)

Name _____
Company _____
Mailing Address _____
Phone _____
Email _____
Signature _____
Date _____

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____ Application received: ___ / ___ / ___ Application complete: ___ / ___ / ___

CERTIFICATE OF APPROPRIATENESS APPLICATION INSTRUCTIONS



PLANNING &
DEVELOPMENT
DEPARTMENT

Well in advance of the COA application deadline contact staff to discuss your project, application requirements, and, if necessary, to make an appointment to meet with staff for a project consultation. Visit the Historic Preservation Web Manual for historic district profiles, project guidance and forms. www.houstontx.gov/HistoricPreservationManual

Historic Preservation Office	713.837.7963	historicpreservation@houstontx.gov
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SUBMISSION INSTRUCTIONS

To submit application to Planning Department:

- email documents to historicpreservation@houstontx.gov (attachments must be less than 10MB)
- send a Dropbox shared folder invitation to historicpreservation@houstontx.gov, or
- contact staff to set up an appointment to drop off a disc or flash drive.

MEETING SCHEDULE

- Applications are due **22 calendar days** in advance of the HAHC meeting by **12 PM (noon)** on the deadline date. Exception: revisions to items deferred or denied at the previous HAHC meeting are due 15 days in advance of the scheduled meeting.
- Application deadlines are firm. All materials must be submitted by the deadline to be considered at the following HAHC meeting. Designs must be final at time of application; revisions will not be accepted after the deadline.
- HAHC will not accept new material or redesigns presented at the HAHC meeting. Deferral until the following month's meeting may be necessary in such cases to allow for adequate review by staff and commissioners.
- HAHC monthly meetings are held at 3:00 PM at City Hall Annex, 900 Bagby Street, City Council Chambers, Public Level.

2014 Meeting Dates (Thursdays unless noted otherwise)	COA Application Deadlines	Demolition / Relocation Posted Sign Deadlines
October 23	October 1	October 13
November 20	October 29	November 10
December 17 (Wednesday)	November 25	December 7

DEFINITIONS

Addition: any expansion to an existing building, structure or object.

Alteration: any change to the exterior of a building or structure, including adding, moving, removing or replacing an exterior feature.

Demolition: an act or process that destroys in whole, or a majority of, any building, structure, object or site.

Excavation: to expose, uncover, or remove by digging, cutting or hollowing out.

Exterior Feature: an element of the architectural character and the general arrangement of the external portion of a building, structure or object, including building materials.

Mandatory Repair: a repair of a building or structure that is necessary to comply with Article IX, Ch. 10, Houston Code of Ordinances, as evidenced by an order of the hearing official or the building and standards commission or by a citation.

New Construction: the erection of a new building, structure, or object, on a lot, site, or other property.

Relocation: any change in the location of a building, structure, or object.

Restoration: accurately recovering the form and detail of a building, structure, object, or site and its setting as it appeared at a particular period of time by means of the removal of later work, or by the replacement of missing earlier work, or both.



PRINTS NOT BEARING ARCHITECT'S
FIRM NAME AND DATE AND BUILDING
AND DATE AND BUILDING SHALL
BE FOR INTERIM REVIEW ONLY AND
NOT FOR CONSTRUCTION

JOHN D BLACKMON
ARCHITECT
5253 FANNING ST., #2612
HOUSTON, TX 77004
713 702 4483

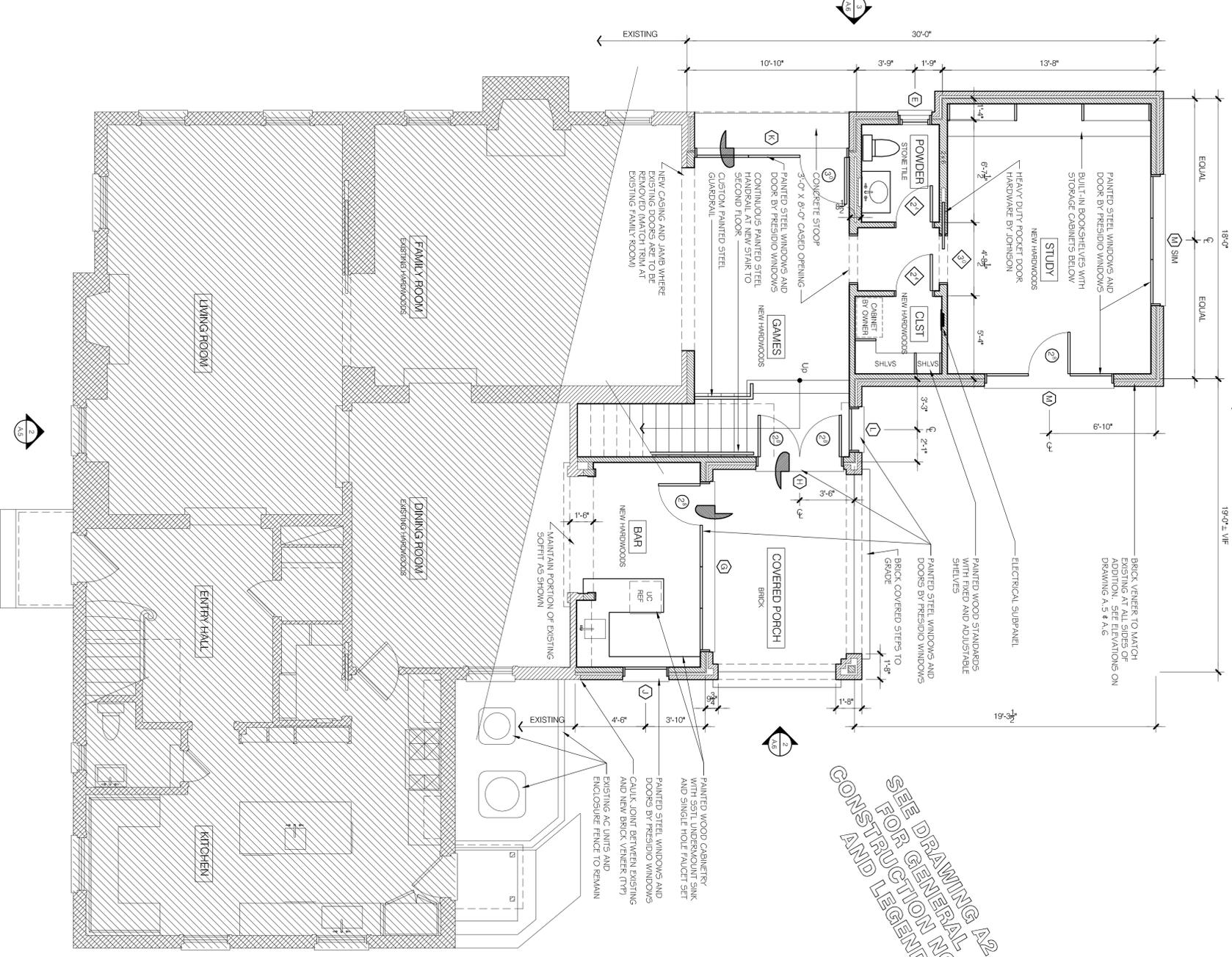
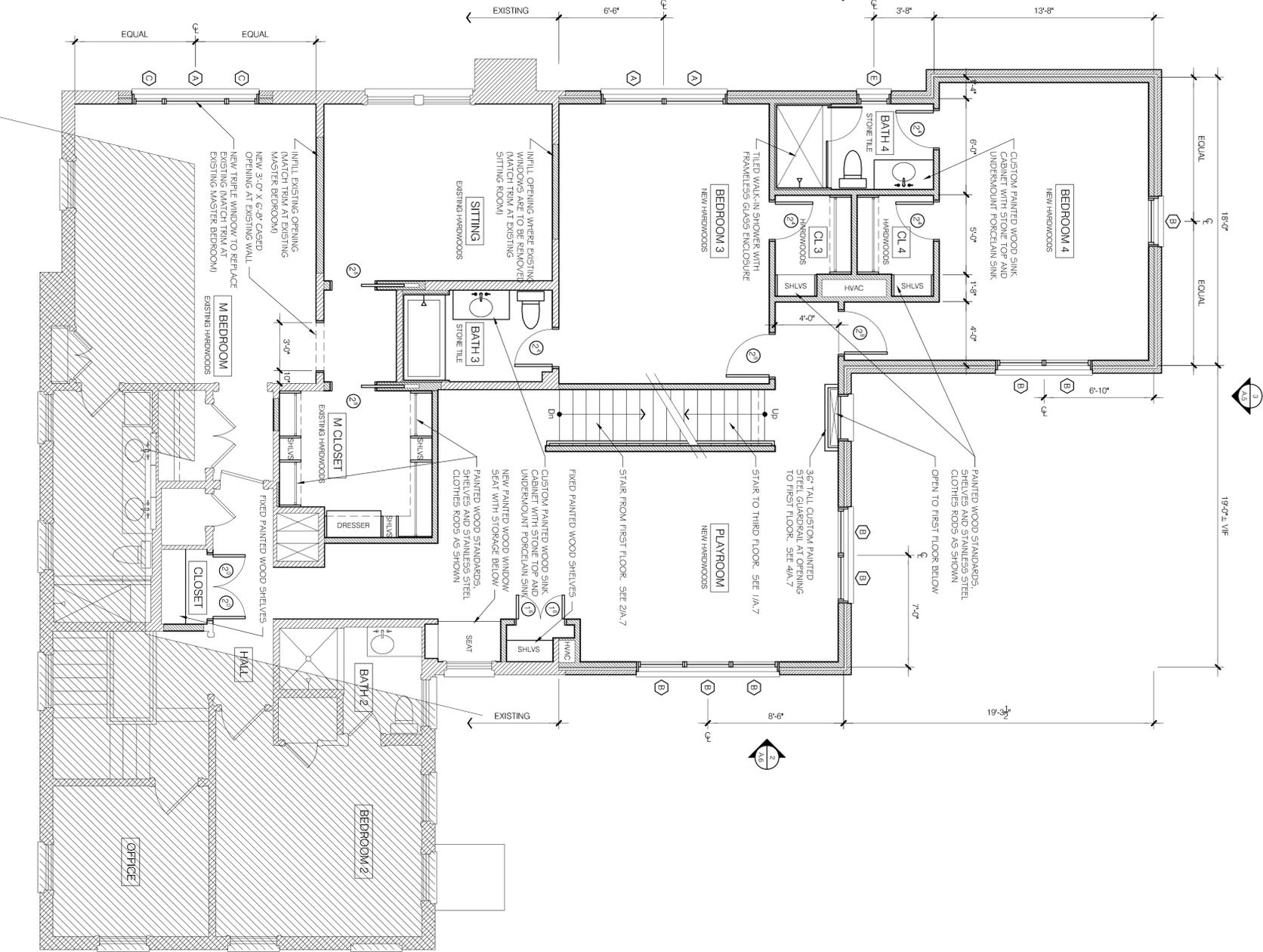
Project title
**RESIDENTIAL
ADDITION AND
RENOVATIONS**
3003 CHEVY CHASE DRIVE
HOUSTON, TX 77019

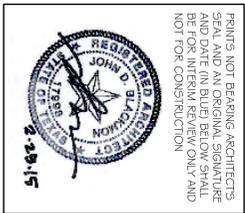
Issue date
01-20-15
FOR REVIEW
01-25-15
FOR PERMIT

Sheet title
**FIRST & SECOND
FLOOR
CONSTRUCTION
PLANS**

Project no.
14.12 CHEVY CHASE

Sheet no.





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JOHN D BLACKMON
ARCHITECT

5293 FANNIN ST., #2612
HOUSTON, TX 77004
713.702.4483

Project title

**RESIDENTIAL
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3003 CHEVY CHASE DRIVE
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Issue date
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FOR PERMIT

Sheet title

**THIRD FLOOR
CONSTRUCTION
PLAN**

ROOF PLAN
**GENERAL
CONSTRUCTION
NOTES**

LEGEND

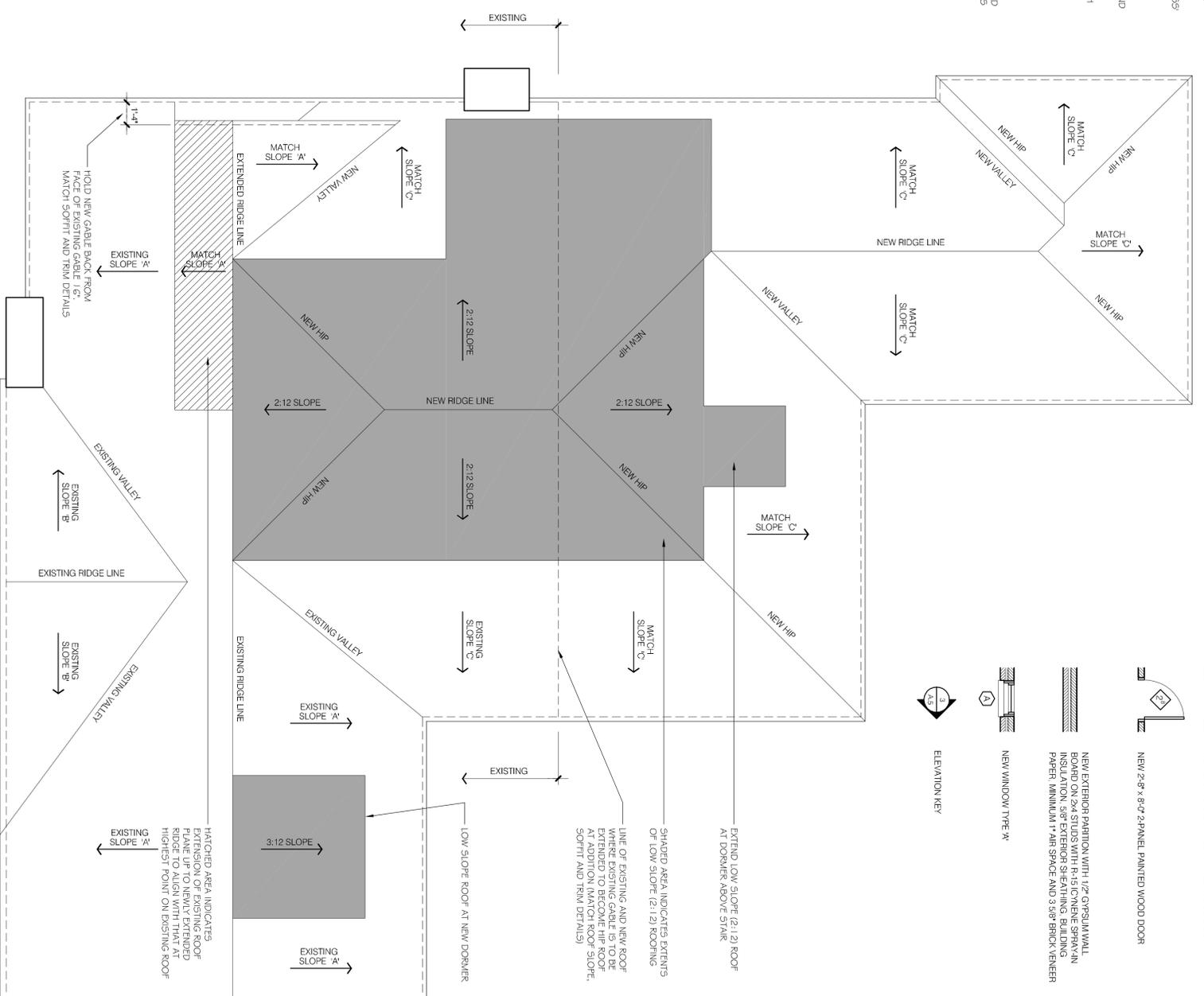
Project no.
14.12 CHEVY CHASE

Sheet no.

A.2

LEGEND

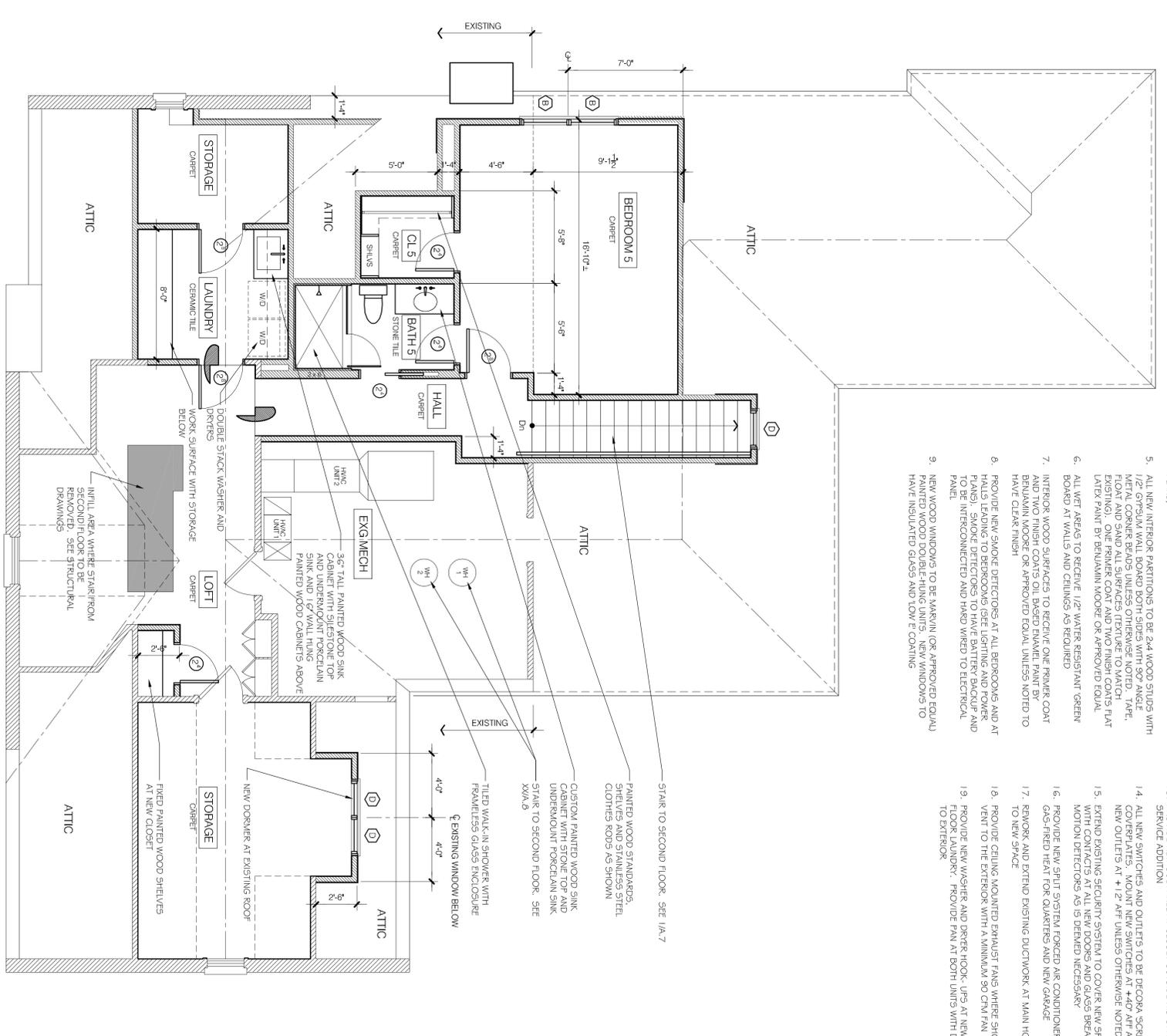
SYMBOL	DESCRIPTION
	EXISTING DOOR AND WALL TO REMAIN
	NEW 2'-8" x 6'-8" 2-PANEL PAINTED WOOD DOOR
	NEW 2'-8" x 8'-0" 2-PANEL PAINTED WOOD DOOR
	NEW EXTERIOR PARTITION WITH 1/2" GYPSUM WALL BOARD ON 2x4 STUDS WITH R-15 OWENS CORNING FIBERGLAS EXTERIOR SHEATHING, BUILDING PAPER, MINIMUM 1" AIR SPACE AND 3/8" BRICK VENEER
	NEW WINDOW TYPE 'A'
	ELEVATION KEY



2 SECOND FLOOR CONSTRUCTION PLAN
1/4" = 1'-0"

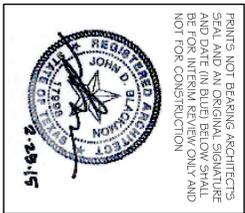
GENERAL PRICING NOTES

1. ALL DIMENSIONS ARE FROM FACE OF STUD OR FACE OF MASONRY UNLESS OTHERWISE NOTED
2. DO NOT SCALE DRAWINGS. SEE DETAIL DRAWINGS OR NOTIFY ARCHITECT IF ADDITIONAL DIMENSIONS ARE REQUIRED
3. SEE STRUCTURAL DRAWINGS FOR FOUNDATION AND FRAMING DETAILS
4. CONTRACTOR TO COORDINATE FRAMING LAYOUT WITH RECESSED LIGHTING LOCATIONS (SEE LIGHTING AND POWER PLANS)
5. ALL NEW INTERIOR PARTITIONS TO BE 2x4 WOOD STUDS WITH 1/2" GYPSUM WALL BOARD BOTH SIDES WITH 90° ANGLE METAL CORNER BRADS UNLESS OTHERWISE NOTED. TAPE, FLOAT AND SANDAL SURFACES TEXTURE TO MATCH EXISTING WALLS. FINISH WITH BENJAMIN MOORE OR APPROVED EQUAL LATEX PAINT BY BENJAMIN MOORE OR APPROVED EQUAL BOARD AT WALLS AND CEILINGS AS REQUIRED
6. ALL WET AREAS TO RECEIVE 1/2" WATER RESISTANT GREEN INTERIOR WOOD SURFACES TO RECEIVE ONE PRIMER COAT AND TWO FINISH COATS OIL BASED ENAMEL PAINT BY BENJAMIN MOORE OR APPROVED EQUAL UNLESS NOTED TO HAVE CLEAR FINISH
7. PROVIDE NEW SMOKE DETECTORS AT ALL BEDROOMS AND AT FLOOR LEVEL OF DETROCK ROOMS. DETROCK ROOMS TO BE INTERCONNECTED AND HARD WIRED TO ELECTRICAL PANEL
8. NEW WOOD WINDOWS TO BE MARVIN (OR APPROVED EQUAL) PAINTED WOOD DOUBLE-HUNG UNITS. NEW WINDOWS TO HAVE INSULATED GLASS AND LOW E COATING
9. ALL GLAZING LOCATED WITHIN 1'-6" OF THE FLOOR OR WITHIN 1'-2" OF A DOOR TO BE TEMPERED AND LABELED AS SUCH
10. NEW HARDWOOD FLOORS TO MATCH EXISTING IN SPECIES, GRADE, WIDTH AND AVERAGE BOARD LENGTH. PATCH FLOORS ARE REMOVED AS REQUIRED WHERE EXISTING PARTITIONS ARE REMOVED
11. PAINT ANY DISTURBED SURFACE MINIMUM FLOOR TO CEILING AND CORNER TO CORNER
12. PROVIDE NEW SUBPANEL AT CLOSET OUTSIDE HIS OFFICE TO SERVICE ADDITION
13. ALL NEW SWITCHES AND OUTLETS TO BE DETROCK SCREWELESS COVERPLATES. MOUNT NEW SWITCHES AT +40" AFF AND NEW OUTLETS AT +12" AFF UNLESS OTHERWISE NOTED
14. EXTEND EXISTING SECURITY SYSTEM TO COVER NEW SPACE WITH CONTACTS AT ALL NEW DOORS AND GLASS BREAKS AND MOTION DETECTORS AS IS DEMAND NECESSARY
15. PROVIDE NEW SPLIT SYSTEM FORCED AIR CONDENSER WITH GAS-CHARGED HEAT EXCHANGERS AND NEW GARAGE REMOVAL AND EXTEND EXISTING DUCTWORK AT MAIN HOUSE TO NEW SPACE
16. PROVIDE CEILING MOUNTED EXHAUST FANS WHERE SHOWN. VENT TO THE EXTERIOR WITH A MINIMUM 90 CM FAN
17. PROVIDE NEW WASHER AND DRYER HOOK-UPS AT NEW THIRD FLOOR LAUNDRY. PROVIDE PAN AT BOTH UNITS WITH DRAIN TO EXTERIOR



1 FIRST FLOOR CONSTRUCTION PLAN
1/4" = 1'-0"





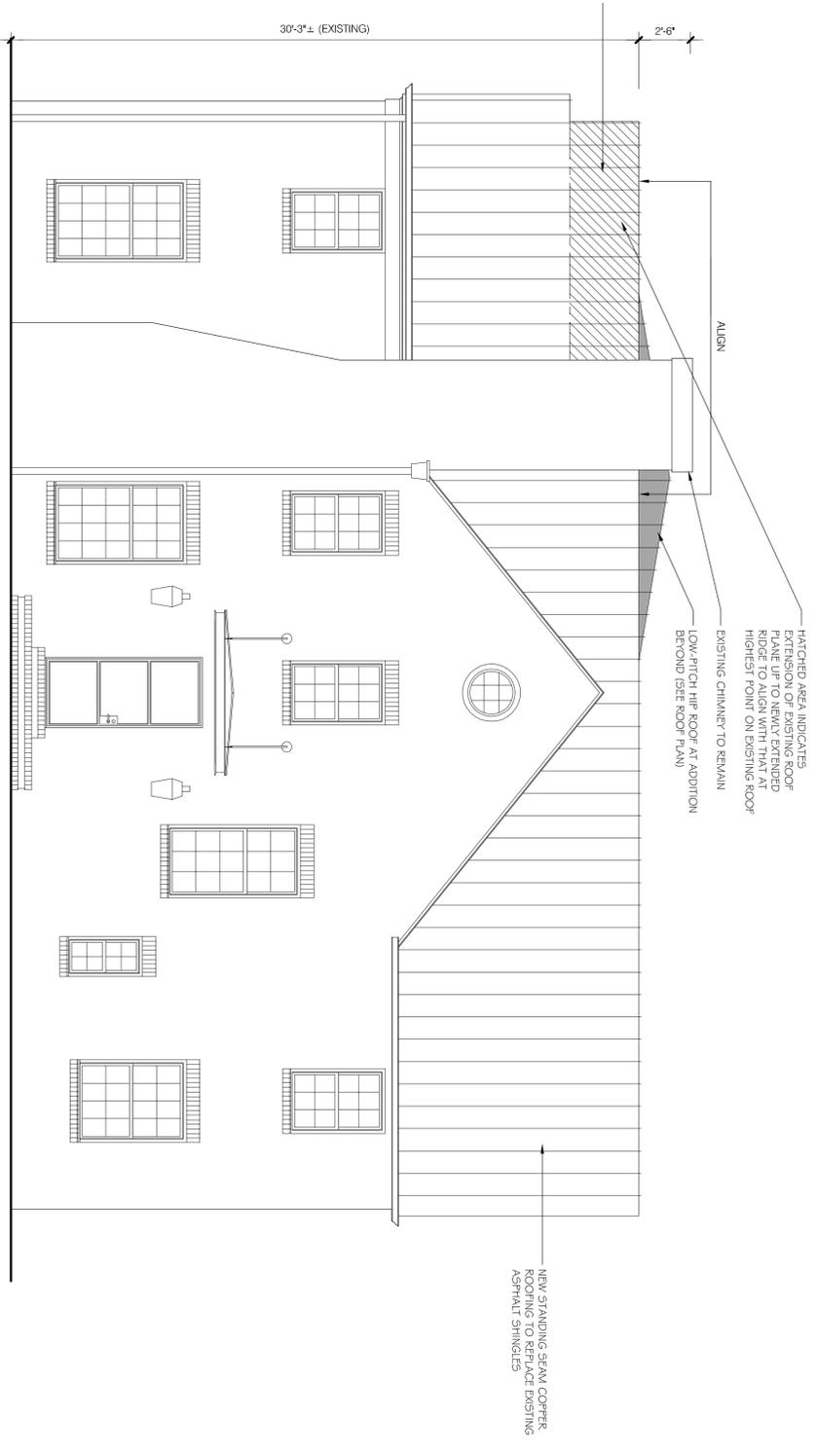
JOHN D BLACKMON
ARCHITECT
 5283 FANNIN ST, #2812
 HOUSTON, TX 77004
 713.702.4483

Project title
RESIDENTIAL
ADDITION AND
RENOVATIONS
 3003 CHEVY CHASE DRIVE
 HOUSTON, TX 77019

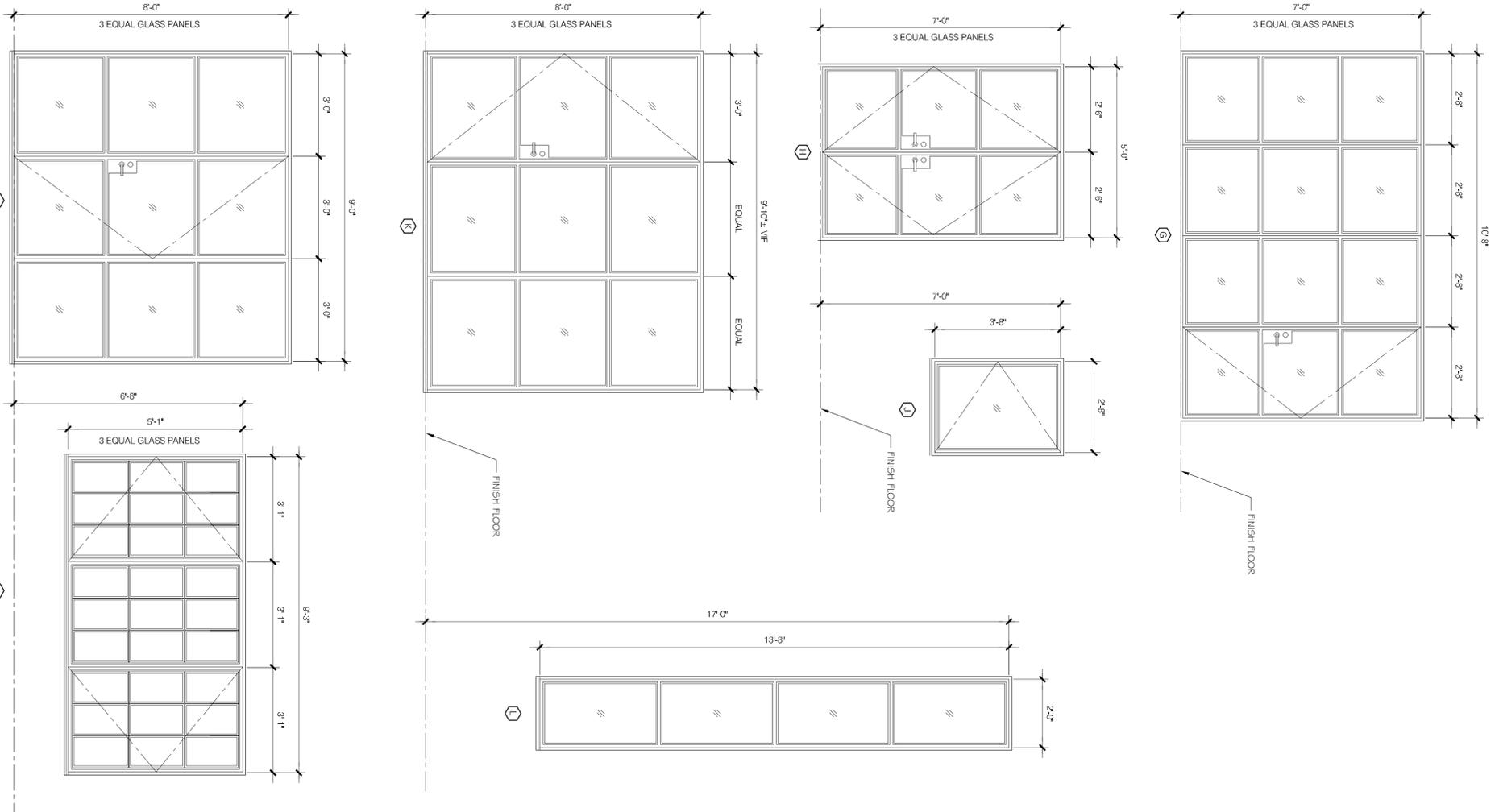
Issue date
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FOR REVIEW
 01-25-15
FOR PERMIT

Sheet title
METAL WINDOW AND
DOOR TYPES
NORTH AND SOUTH
ELEVATIONS

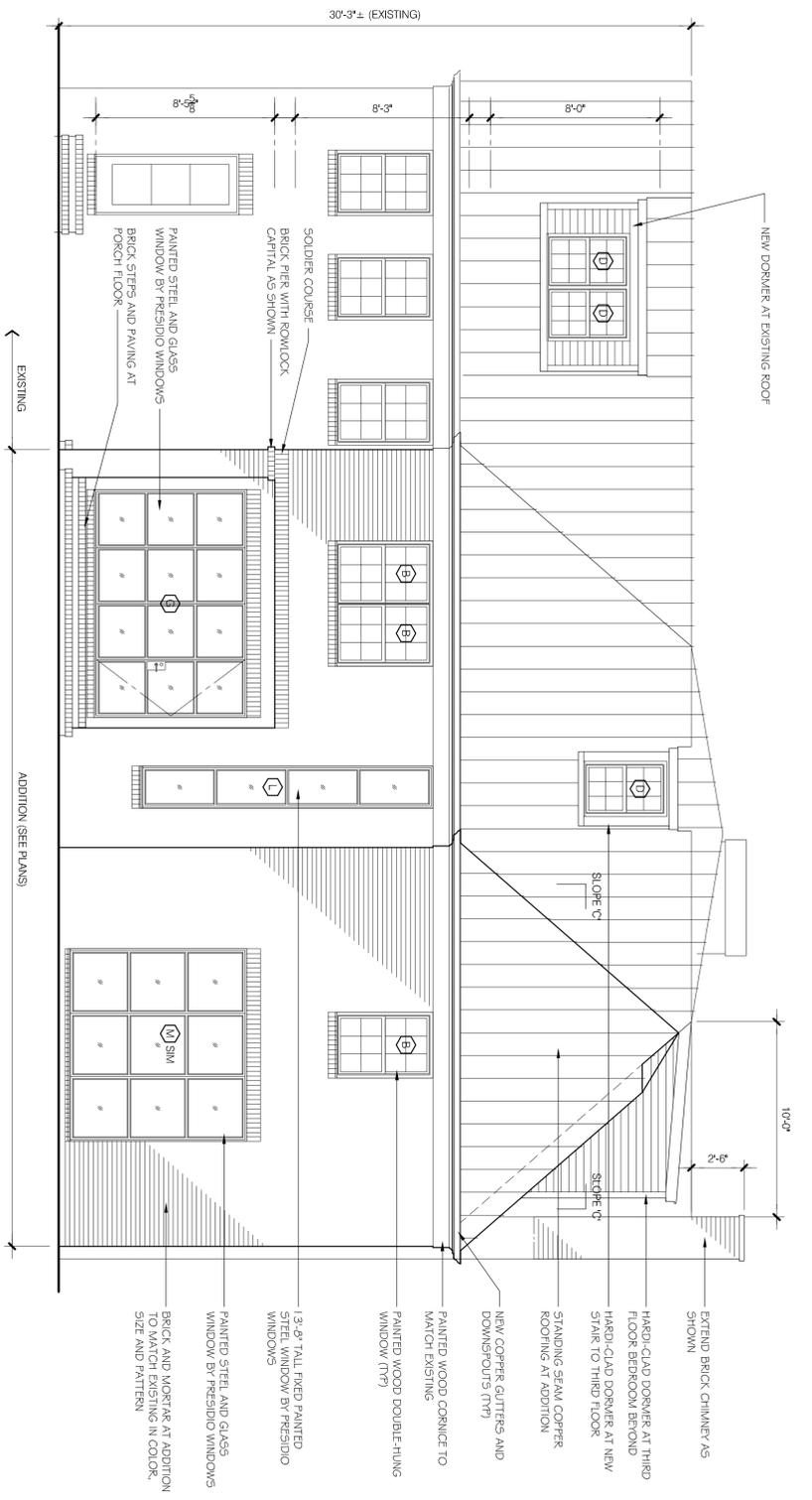
Project no.
14.12 CHEVY CHASE
Sheet no.



2
 NORTH ELEVATION
 1/4" = 1'-0"



1
 METAL WINDOW AND DOOR TYPES
 1/2" = 1'-0"



3
 SOUTH ELEVATION
 1/4" = 1'-0"

NOTE: M UNIT AT SOUTH WALL HAS ALL FIXED PANELS



A.5



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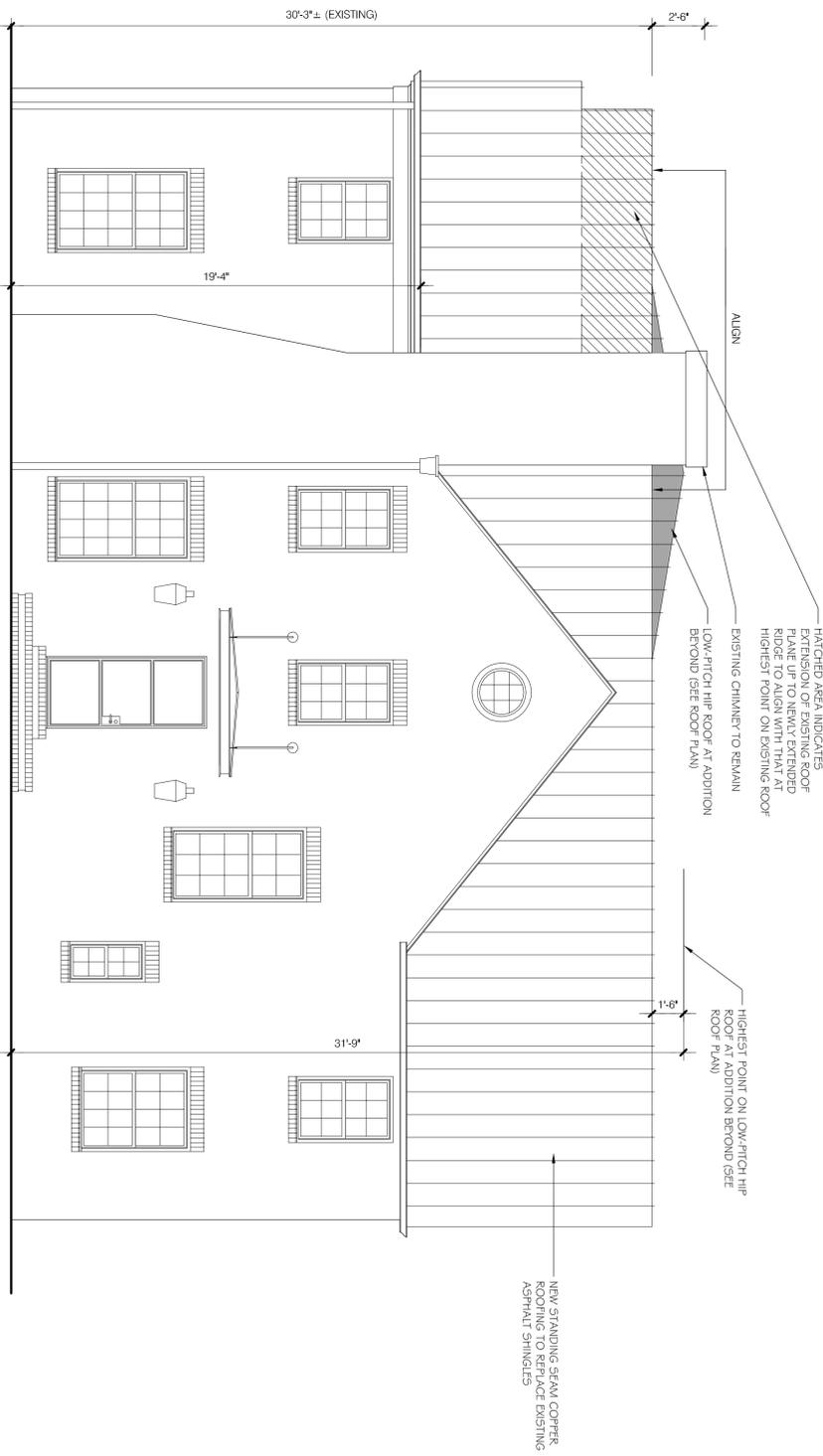
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01-25-15 FOR PERMIT
03-25-15 REVISED PER HISTORIC REVIEW

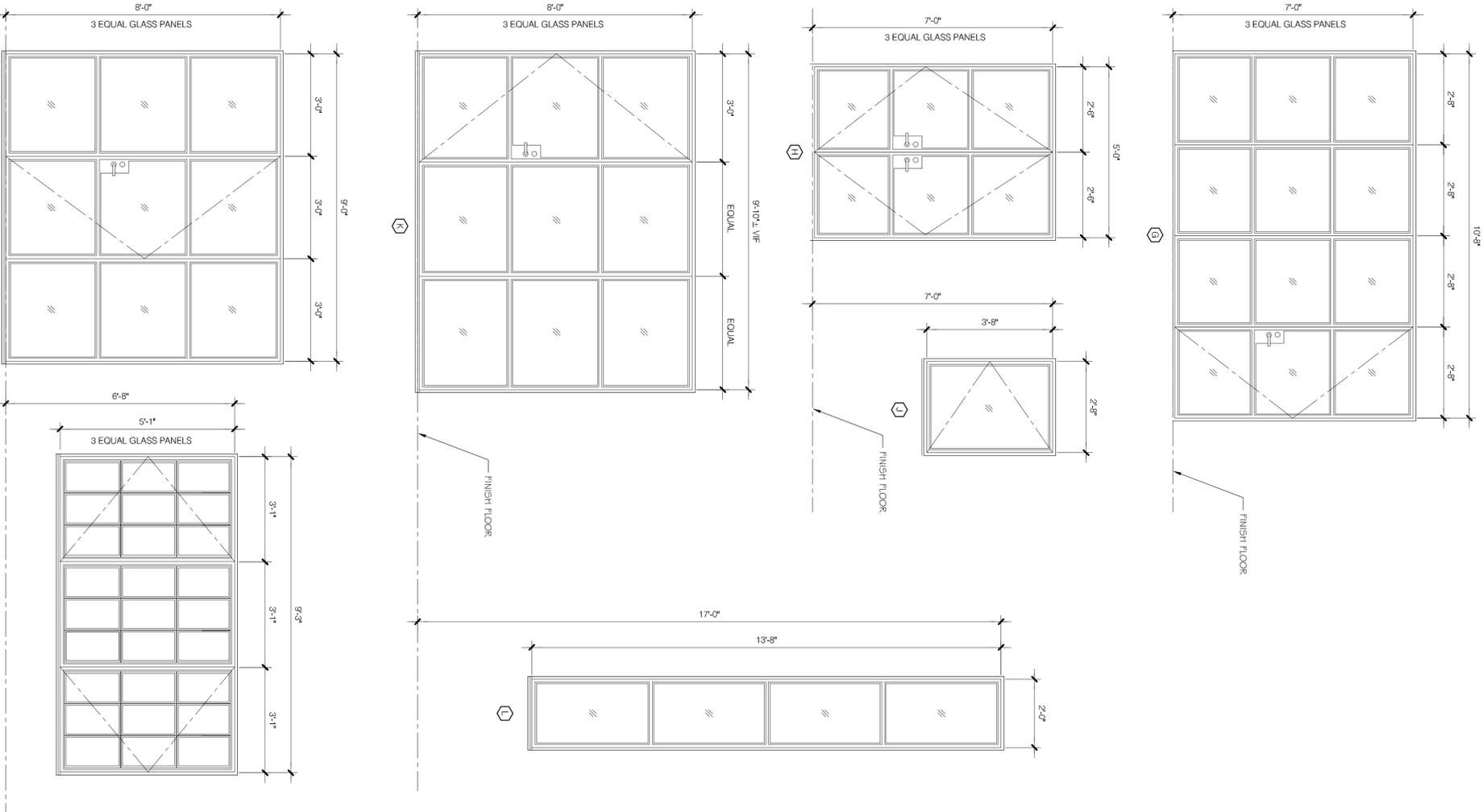
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**METAL WINDOW AND
DOOR TYPES**
**NORTH AND SOUTH
ELEVATIONS**

Project no.
14.12 CHEVY CHASE

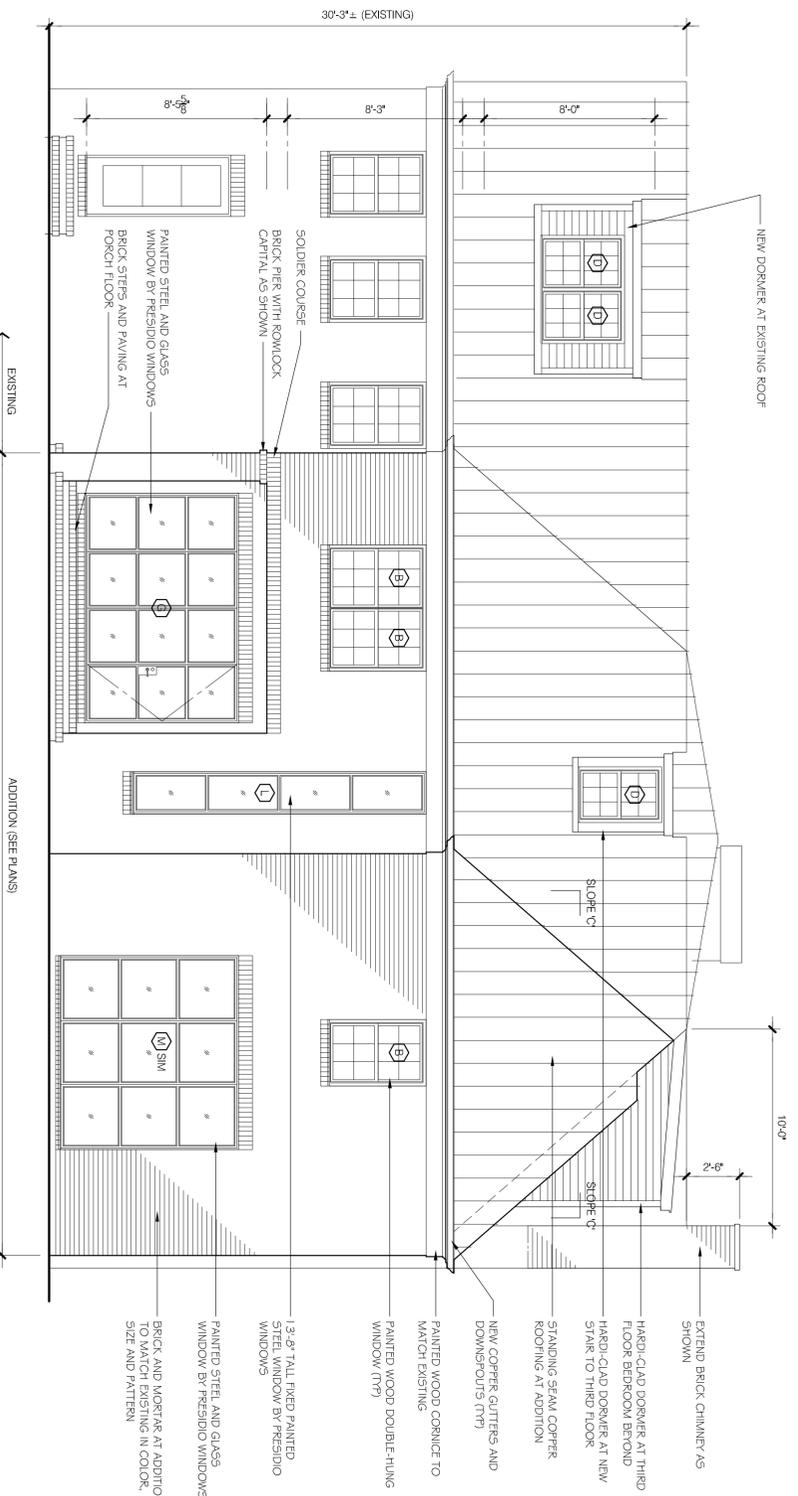
Sheet no.



2 NORTH ELEVATION
1/4" = 1'-0"



1 METAL WINDOW AND DOOR TYPES
1/2" = 1'-0"



3 SOUTH ELEVATION
1/4" = 1'-0"



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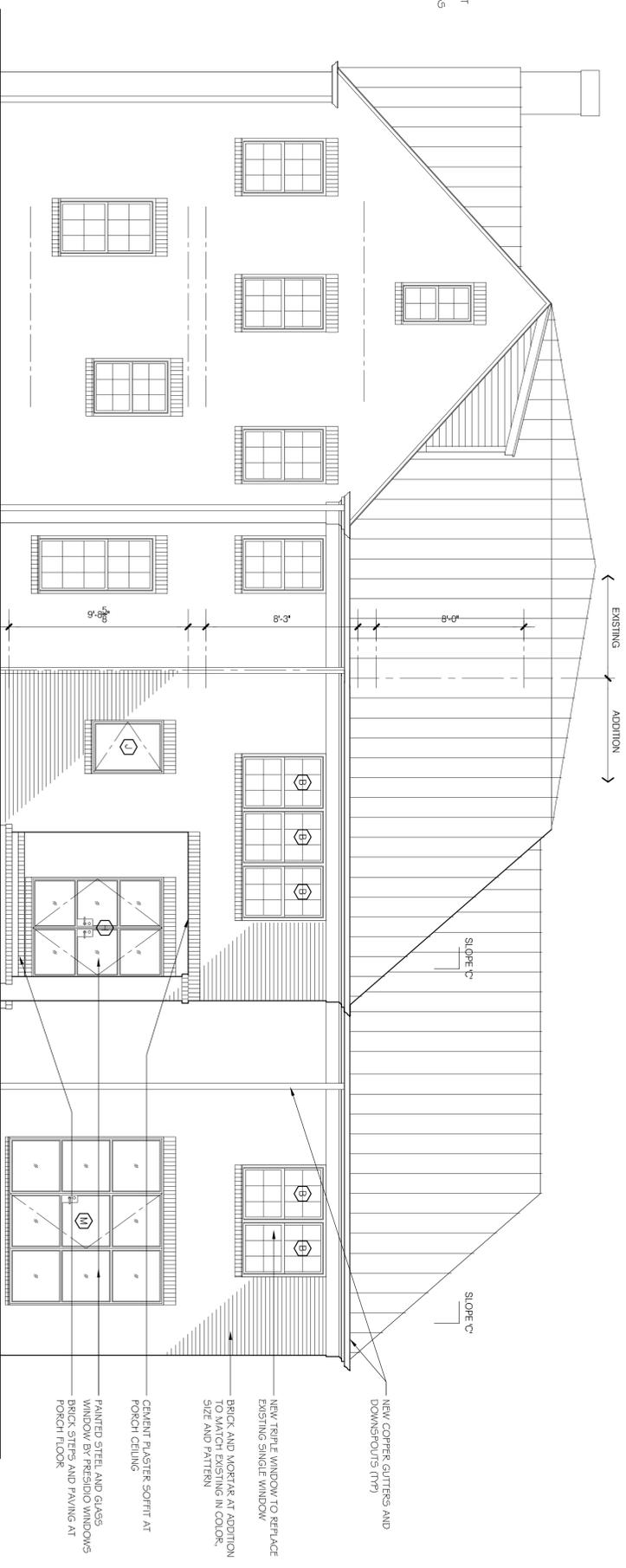
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Issue date
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01-25-15

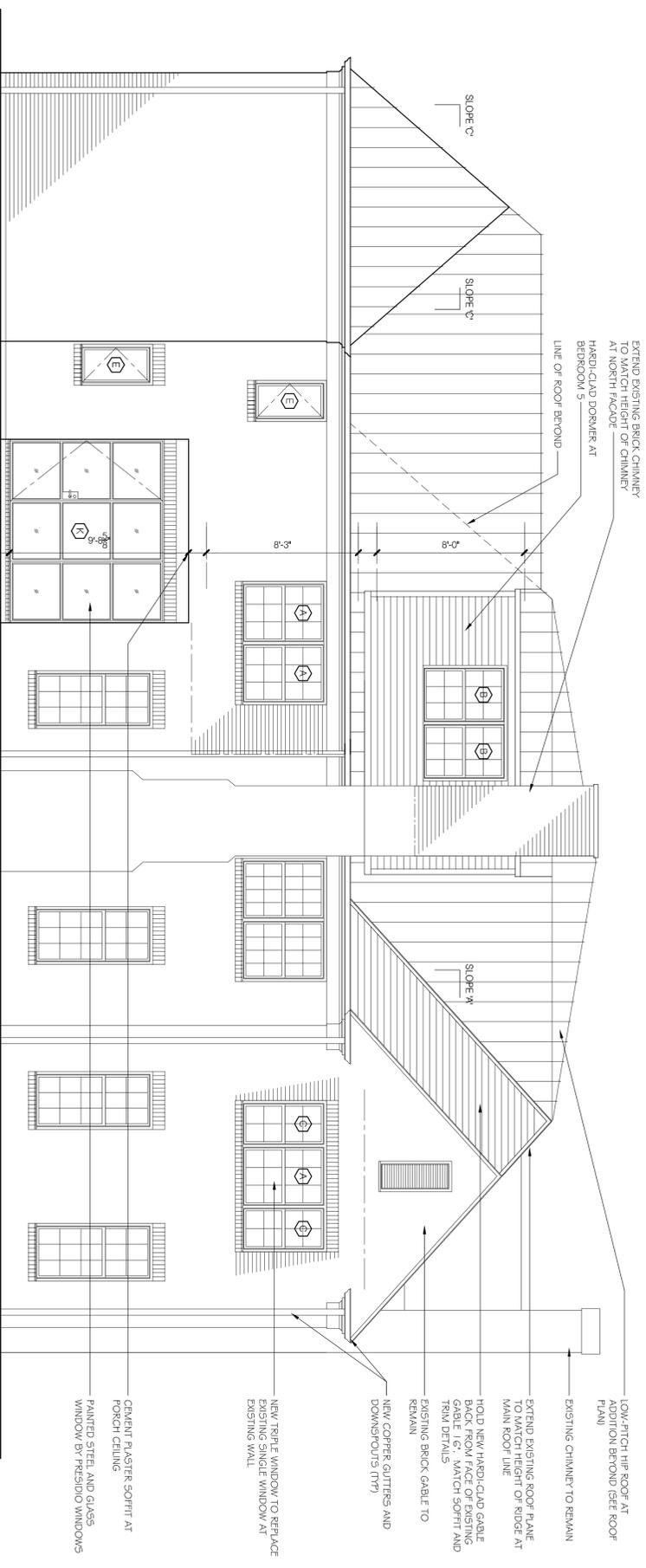
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**WOOD WINDOW
 TYPES**
**NORTH AND SOUTH
 ELEVATIONS**

Project no.
14.12 CHEVY CHASE

Sheet no.

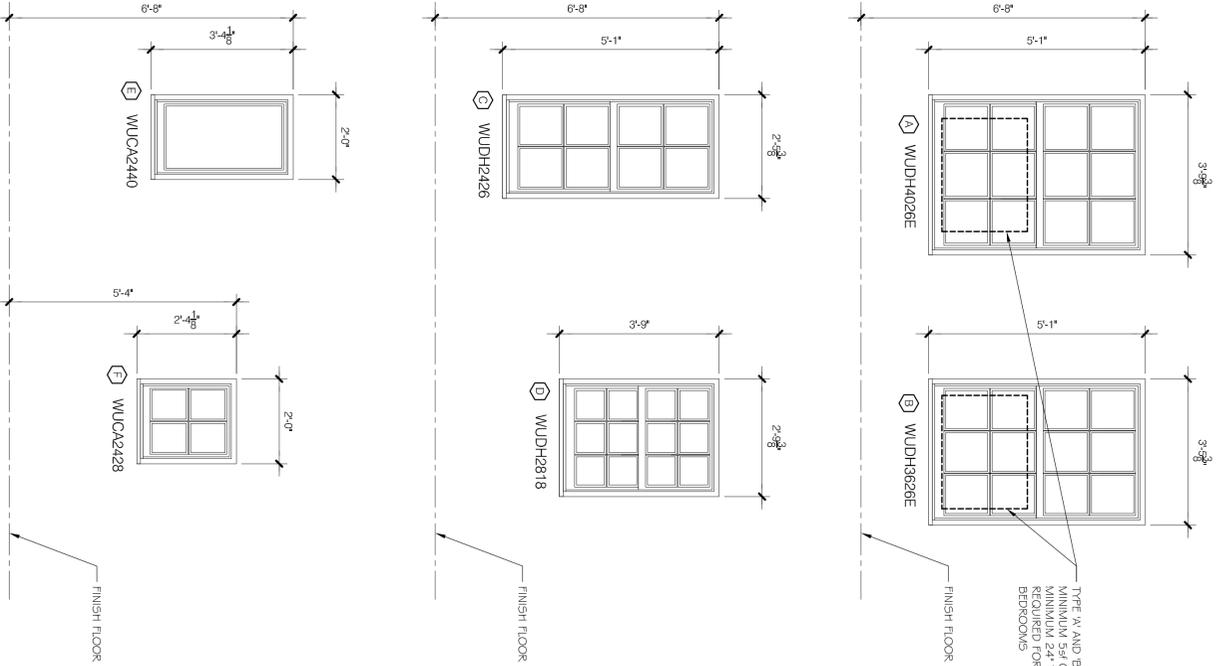


2 WEST ELEVATION
 1/4" = 1'-0"



3 EAST ELEVATION
 1/4" = 1'-0"

1 WOOD WINDOW TYPES
 1/2" = 1'-0"





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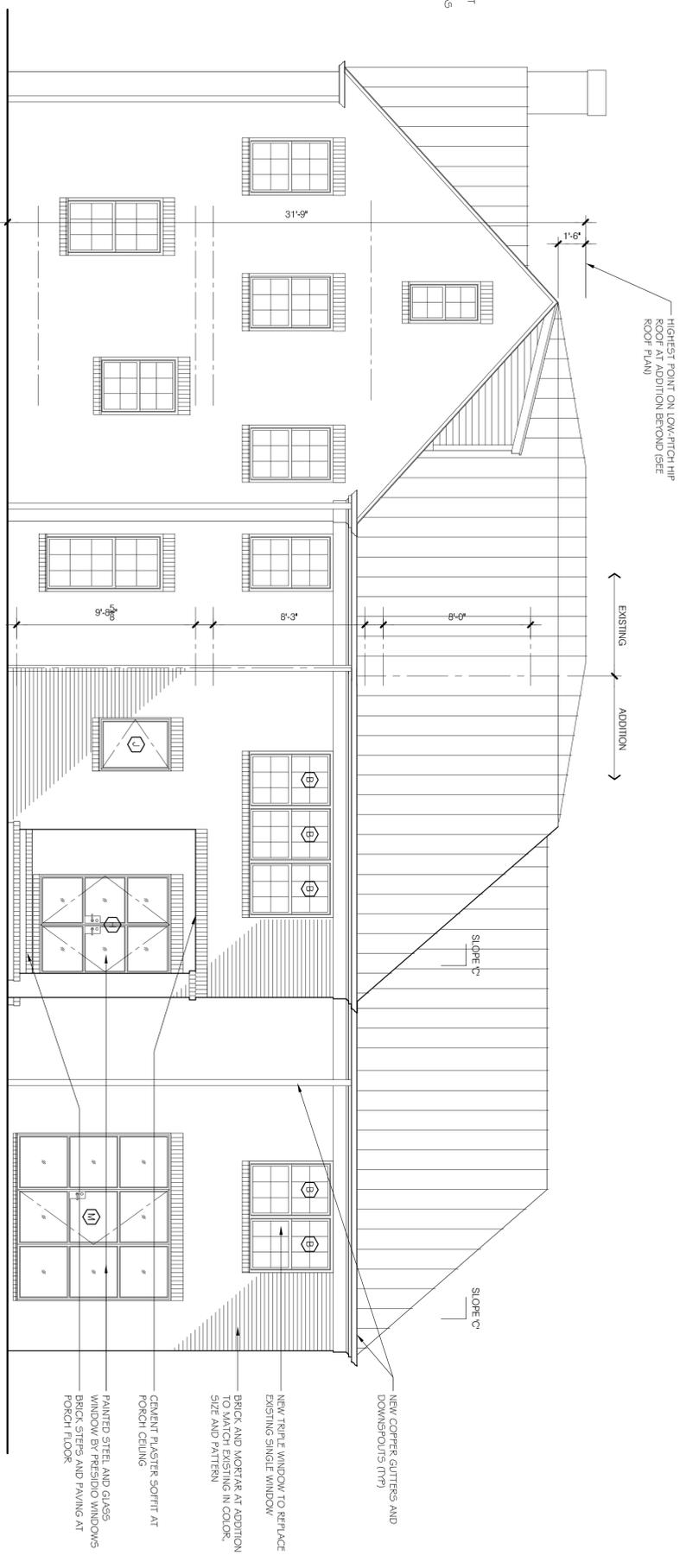
**WOOD WINDOW
TYPES**
NORTH AND SOUTH
ELEVATIONS

Project no.

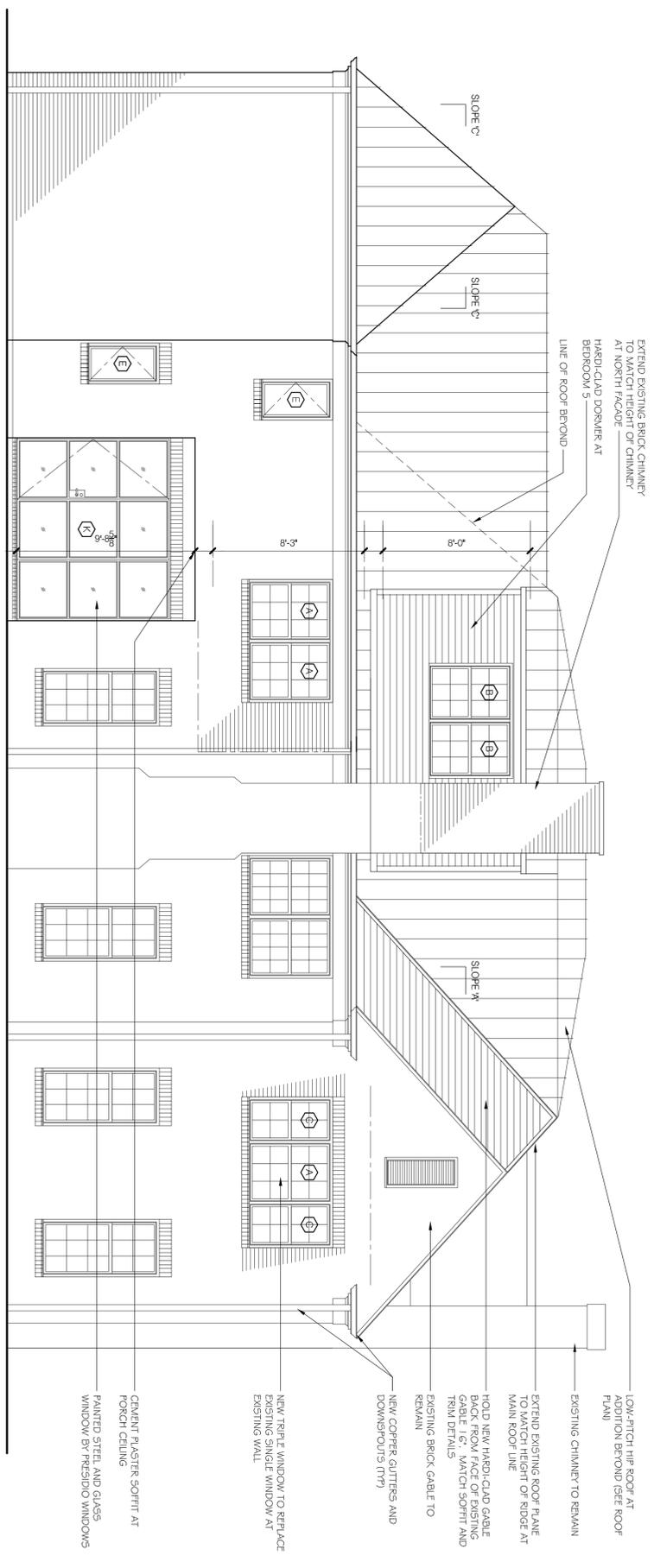
14.12 CHEVY CHASE

Sheet no.

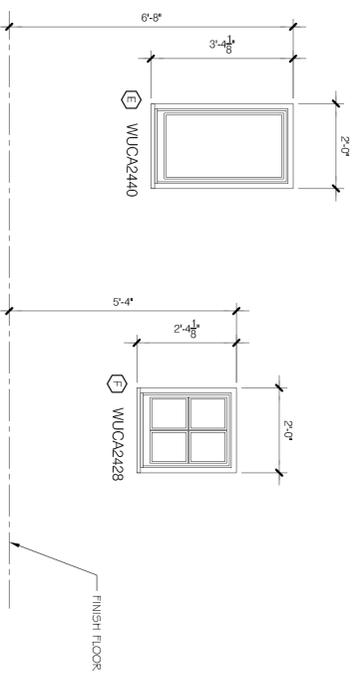
A.6



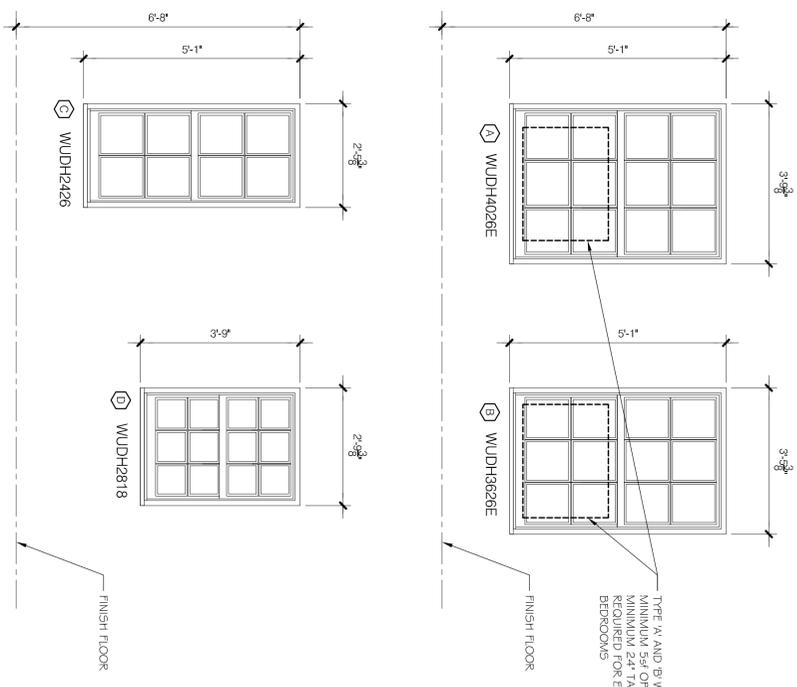
2 WEST ELEVATION
1/4" = 1'-0"



3 EAST ELEVATION
1/4" = 1'-0"



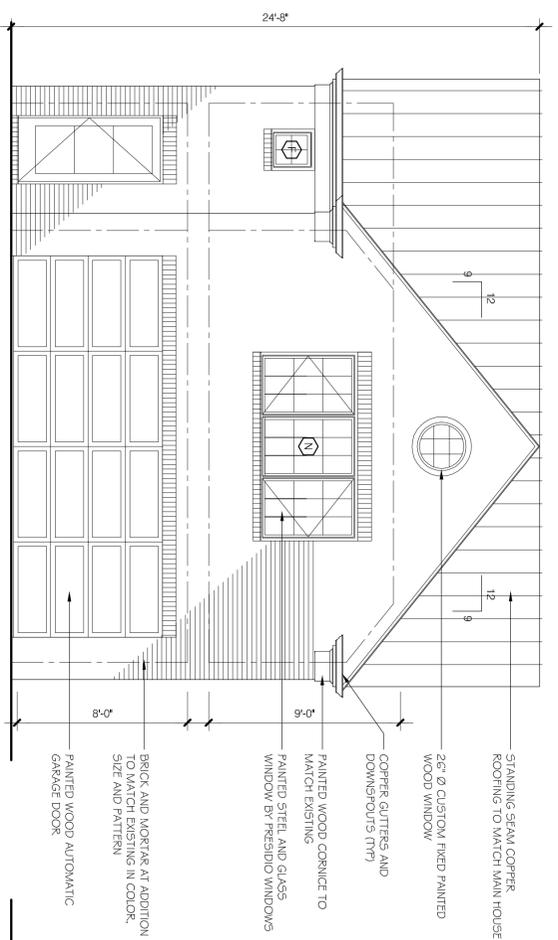
1 WOOD WINDOW TYPES
1/2" = 1'-0"



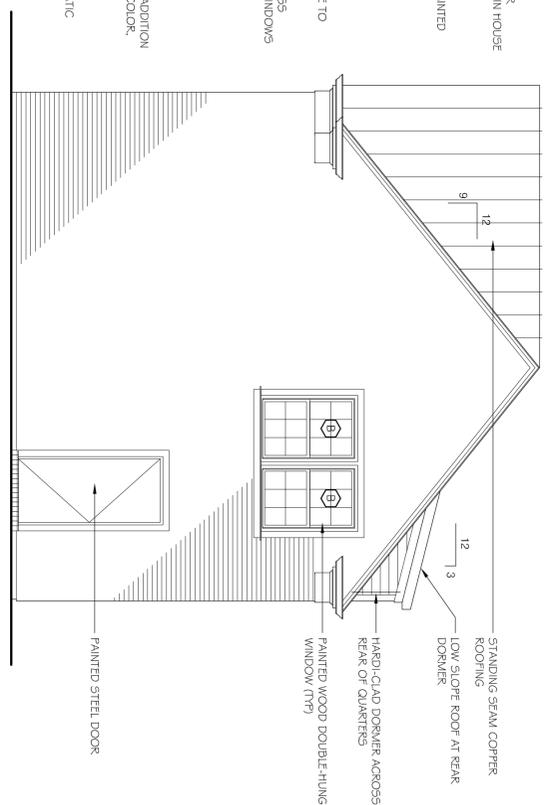
TYPE 'A' AND 'B' WINDOWS MEET MINIMUM 24" TALL, 20" WIDE AS REQUIRED FOR EGRES FROM BEDROOMS

SEE DRAWING A2
FOR GENERAL NOTES
CONSTRUCTION AND LEGEND

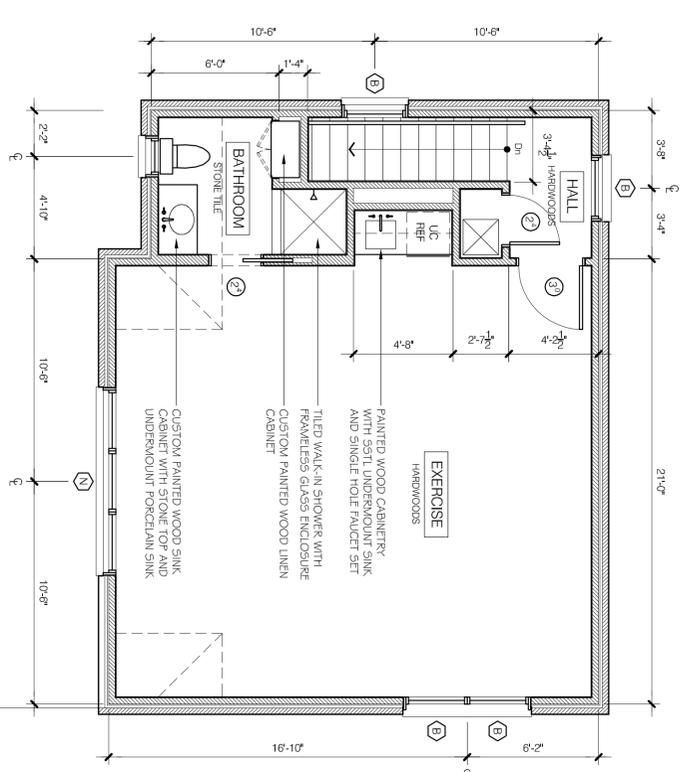
SEE DRAWING A4
FOR GENERAL NOTES
LIGHTING AND POWER



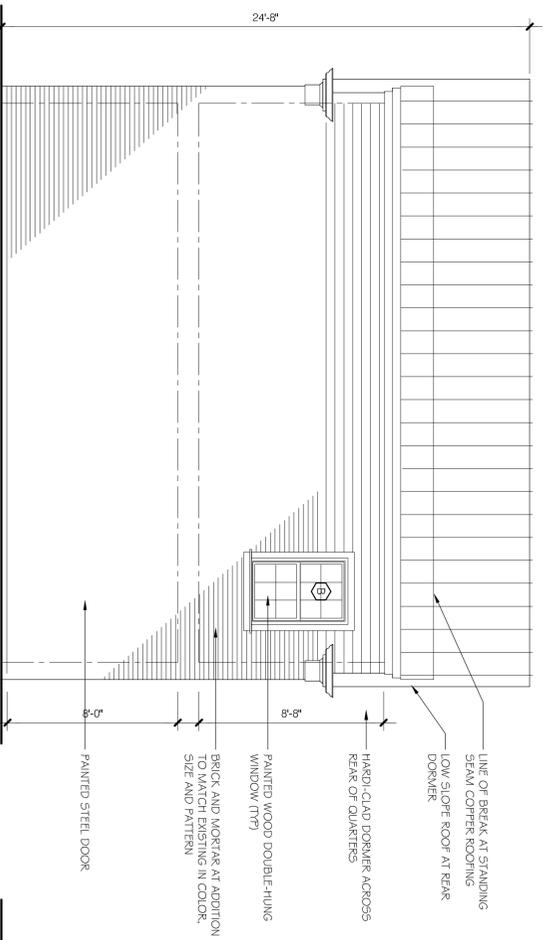
1 NORTH ELEVATION
1/4" = 1'-0"



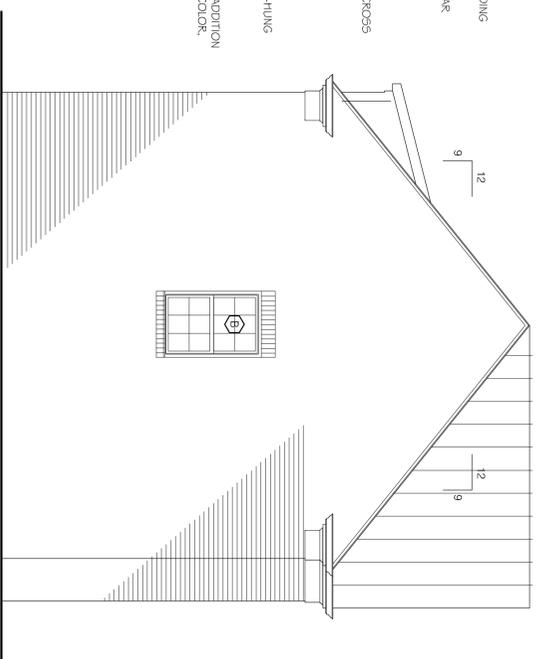
2 WEST ELEVATION
1/4" = 1'-0"



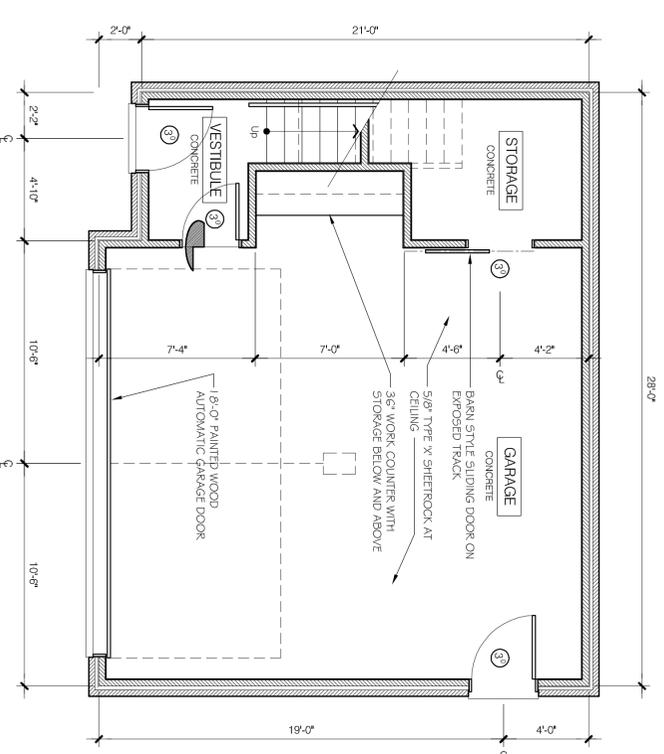
3 SECOND FLOOR PLAN
1/4" = 1'-0"



4 SOUTH ELEVATION
1/4" = 1'-0"



5 EAST ELEVATION
1/4" = 1'-0"



6 FIRST FLOOR PLAN
1/4" = 1'-0"



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Sheet title
**GARAGE WITH
QUARTERS**

Project no.
14.12 CHEVY CHASE

Sheet no.

A.8



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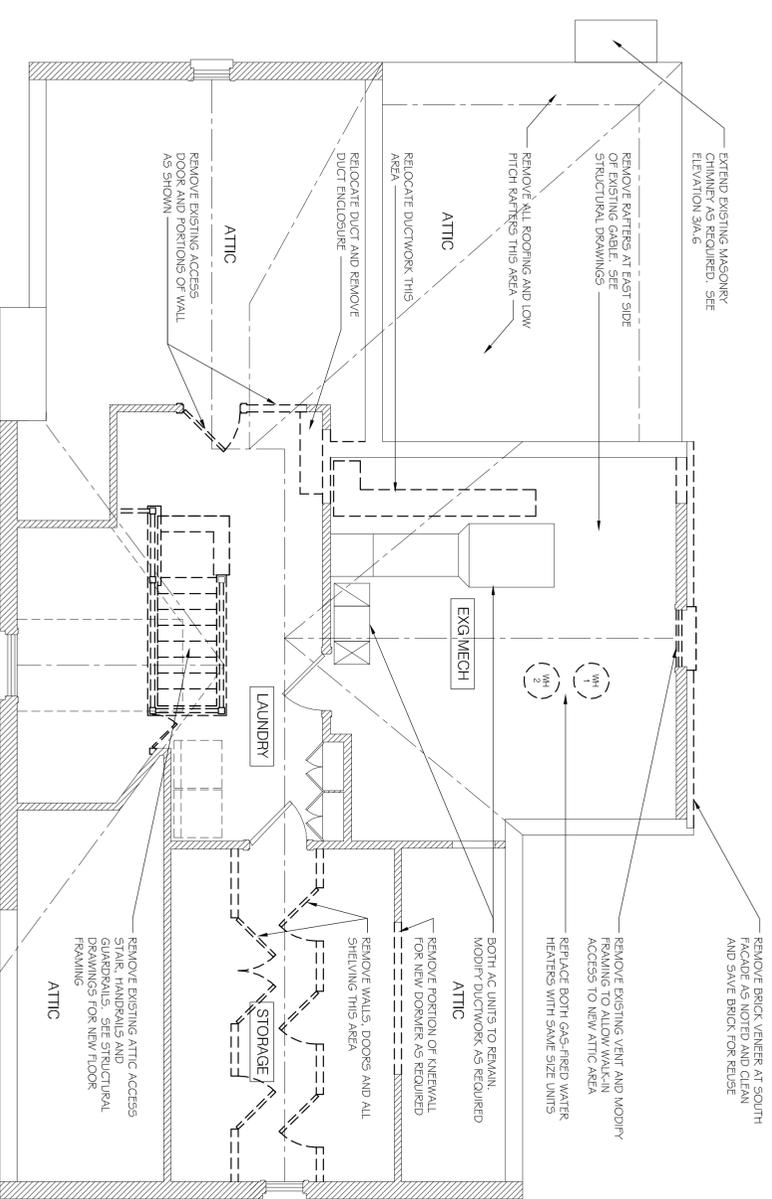
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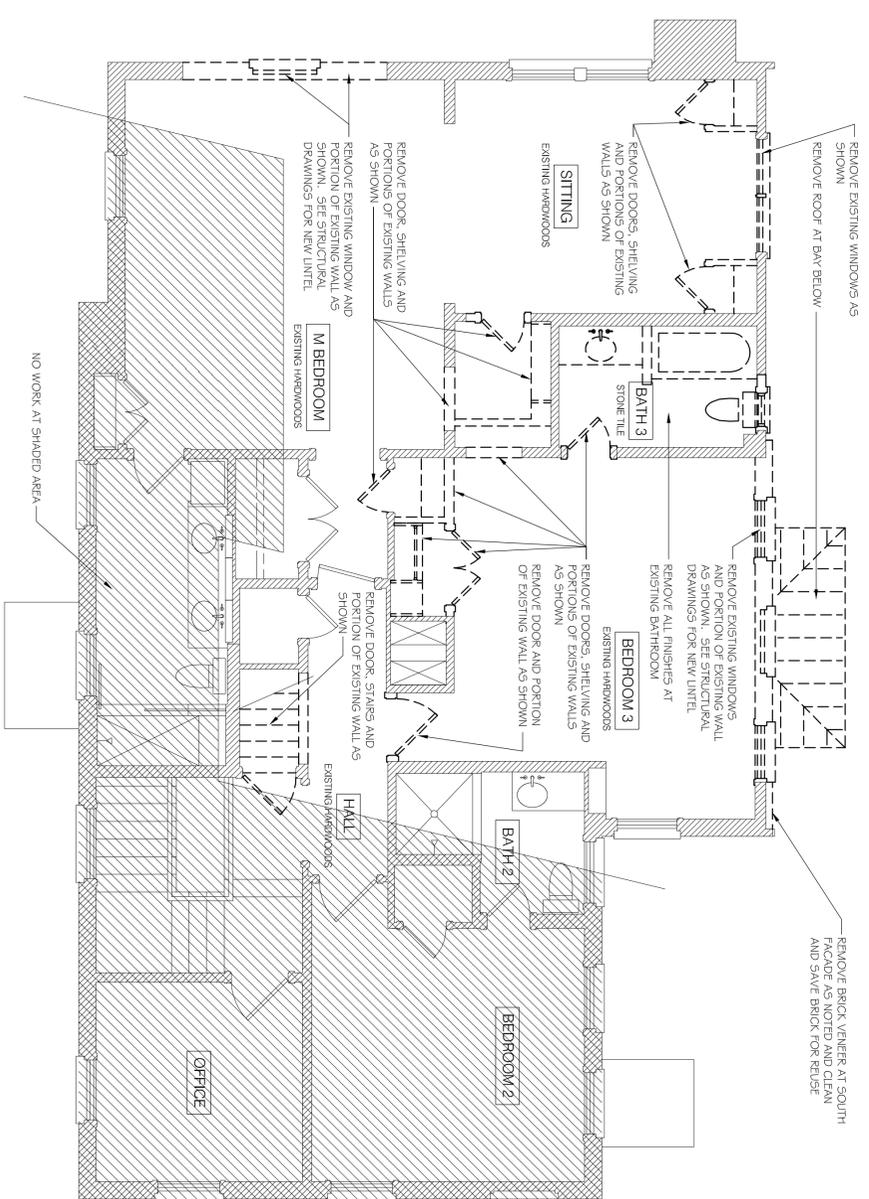
Sheet title
**GENERAL
 DEMOLITION NOTES**
**FIRST, SECOND &
 THIRD FLOOR
 DEMOLITION PLANS**

Project no.
14.12 CHEVY CHASE
 Sheet no.

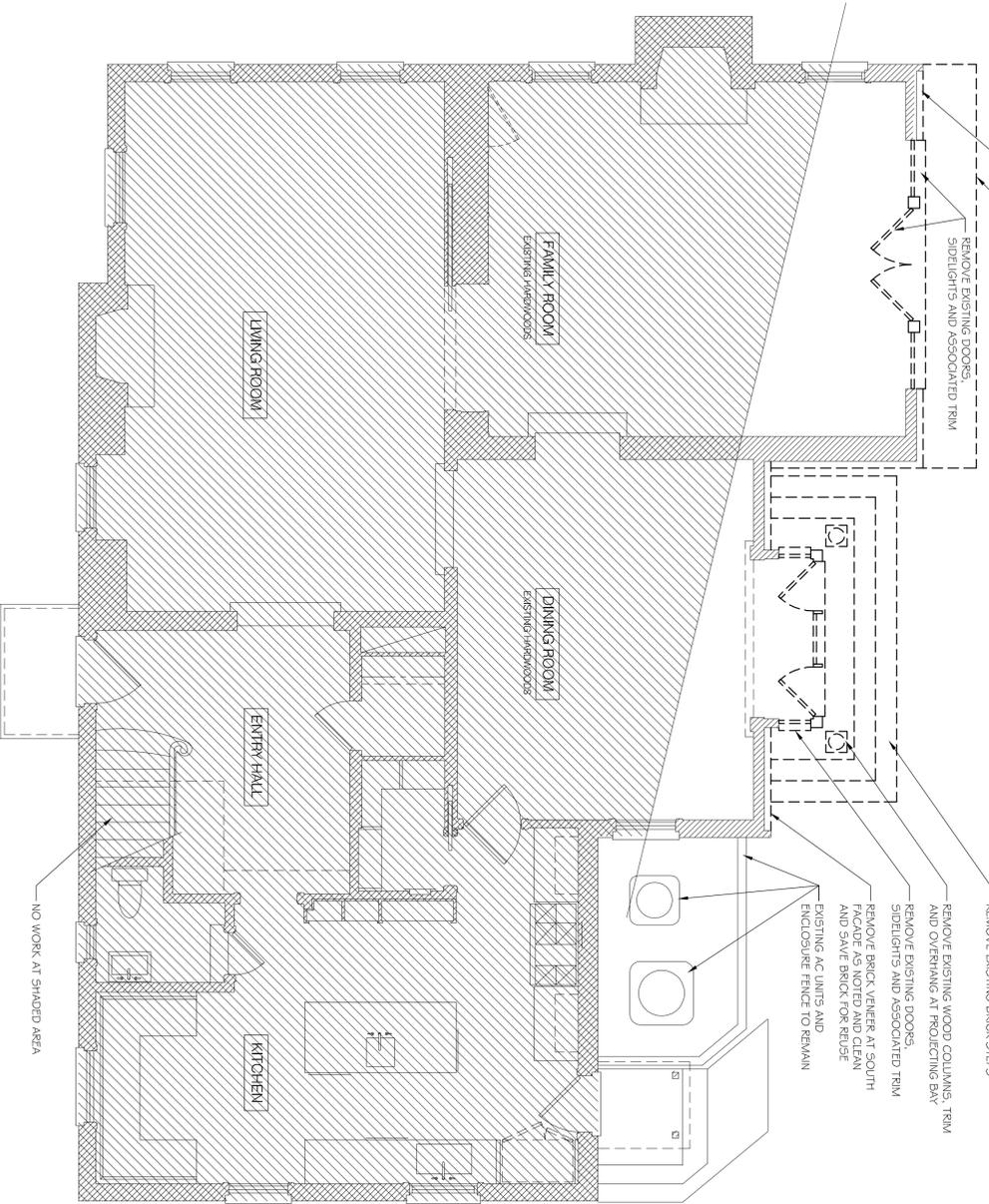
D.1



3 THIRD FLOOR DEMOLITION PLAN
 1/4" = 1'-0"

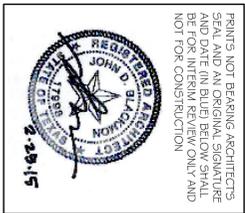


4 SECOND FLOOR DEMOLITION PLAN
 1/4" = 1'-0"



1 FIRST FLOOR DEMOLITION PLAN
 1/4" = 1'-0"





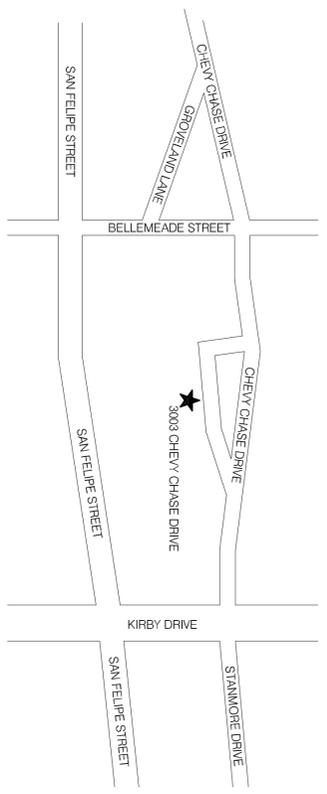
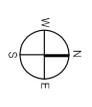
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**RESIDENTIAL
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 3003 CHEVY CHASE DRIVE
 HOUSTON, TX 77019

Project no.
14.12 CHEVY CHASE

Sheet no.
G.1

1 LOCATION PLAN
 NTS



PROJECT DATA/OVERVIEW

PROPERTY: 3003 CHEVY CHASE DRIVE
 LOT 5, BLOCK 29, RIVER OAKS SECTION 5

LAND AREA: 12,180 SF (PER HEAD)

EXISTING: 3,230 SF (PER HEAD) SINGLE FAMILY RESIDENCE

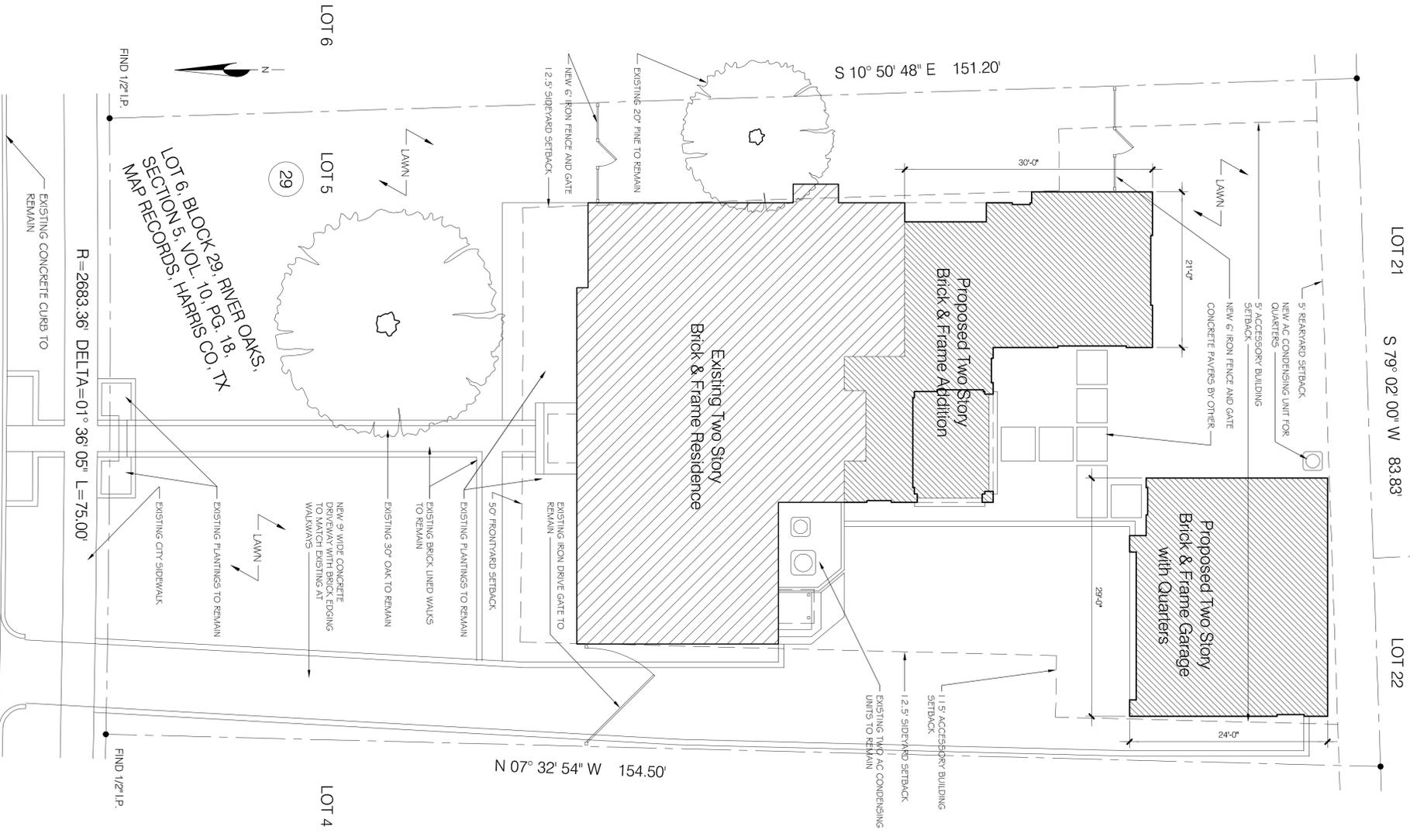
PROPOSED: 1570 SF ADDITION AND NEW GARAGE WITH 685 SF QUARTERS ABOVE
 NEW DRINKING, GARAGE APPROACH, FANES AND FRONT PORCH

FLOOD PLAN: THIS PROPERTY IS NOT IN THE 100-YEAR FLOOD PLAIN

DRAWING LIST

SHEET NO.	DESCRIPTION	FOR PERMIT DATE	REVISION DATE	REVISION DATE
G.1	PROJECT DATA, LOCATION PLAN, DRAWING LIST, SITE PLAN	02/25/15		
D.1	GENERAL DEMOLITION NOTES, FIRST, SECOND & THIRD FLOOR DEMOLITION PLANS	02/25/15		
A.1	FIRST & SECOND FLOOR CONSTRUCTION PLANS	02/25/15		
A.2	THIRD FLOOR CONSTRUCTION PLAN, ROOF PLAN, GENERAL CONSTRUCTION NOTES, LEGEND	02/25/15		
A.3	METAL WINDOW AND DOOR TYPES, NORTH AND SOUTH ELEVATIONS	02/25/15		
A.4	FIRST & SECOND FLOOR LIGHTING & POWER PLANS	02/25/15		
A.5	GARAGE AND THIRD FLOOR LIGHTING & POWER PLAN, LEGEND, FIXTURE SCHEDULE, GENERAL LIGHTING NOTES	02/25/15		
A.6	WOOD WINDOW TYPES, EAST AND WEST ELEVATIONS	02/25/15		
A.7	STAR DETAILS	02/25/15		
A.8	GARAGE WITH QUARTERS PLANS AND ELEVATIONS	02/25/15		
S.1	FOUNDATION PLANS, NOTES AND DETAILS	02/25/15		
S.2	FIRST FLOOR CEILING FRAMING PLANS, NOTES	02/25/15		
S.3	SECOND FLOOR CEILING FRAMING PLANS, NOTES	02/25/15		
S.4	THIRD FLOOR CEILING FRAMING PLANS, NOTES	02/25/15		
S.5	ROOF FRAMING PLANS, NOTES	02/25/15		
S.6	FOUNDATION DETAILS, NOTES	02/25/15		
S.7	FRAMING DETAILS, NOTES	02/25/15		
S.8	FRAMING DETAILS, NOTES	02/25/15		

2 SITE PLAN
 1/8" = 1'-0"



CHEVY CHASE DRIVE
 (ROW VARIES)

LOT 6, BLOCK 29, RIVER OAKS,
 SECTION 5, VOL. 10, PG. 18,
 MAP RECORDS, HARRIS CO., TX

Issue date
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 01-25-15
 FOR PERMIT

Project title
**RESIDENTIAL
 ADDITION AND
 RENOVATIONS**

Location plan
PROJECT DATA

Drawing list
DRAWING LIST

Site plan
SITE PLAN

Project no.
14.12 CHEVY CHASE

Sheet no.
G.1

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 SEAL AND DATE AND BUILDING SHALL
 BE FOR INTERIM REVIEW ONLY AND
 NOT FOR CONSTRUCTION



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 ARCHITECT
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Project title
**RESIDENTIAL
 ADDITION AND
 RENOVATIONS**
 3003 CHEVY CHASE DRIVE
 HOUSTON, TX 77019

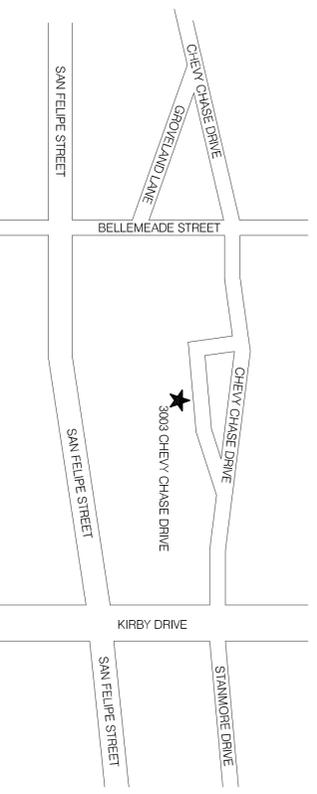
Issue date	FOR REVIEW
01-20-15	FOR REVIEW
01-25-15	FOR PERMIT
03-25-15	REVISED PER HISTORIC REVIEW

Sheet title
LOCATION PLAN
PROJECT DATA
DRAWING LIST
SITE PLAN

Project no.
14.12 CHEVY CHASE

Sheet no.
G.1

1 LOCATION PLAN
 NTS



PROJECT DATA/OVERVIEW

PROPERTY: 3003 CHEVY CHASE DRIVE
 LOT 5, BLOCK 29, WINTER OAKS SECTION 5

LAND AREA: 12,180 SF (PER HEAD)

EXISTING: 3,230 SF (PER HEAD) SINGLE FAMILY RESIDENCE

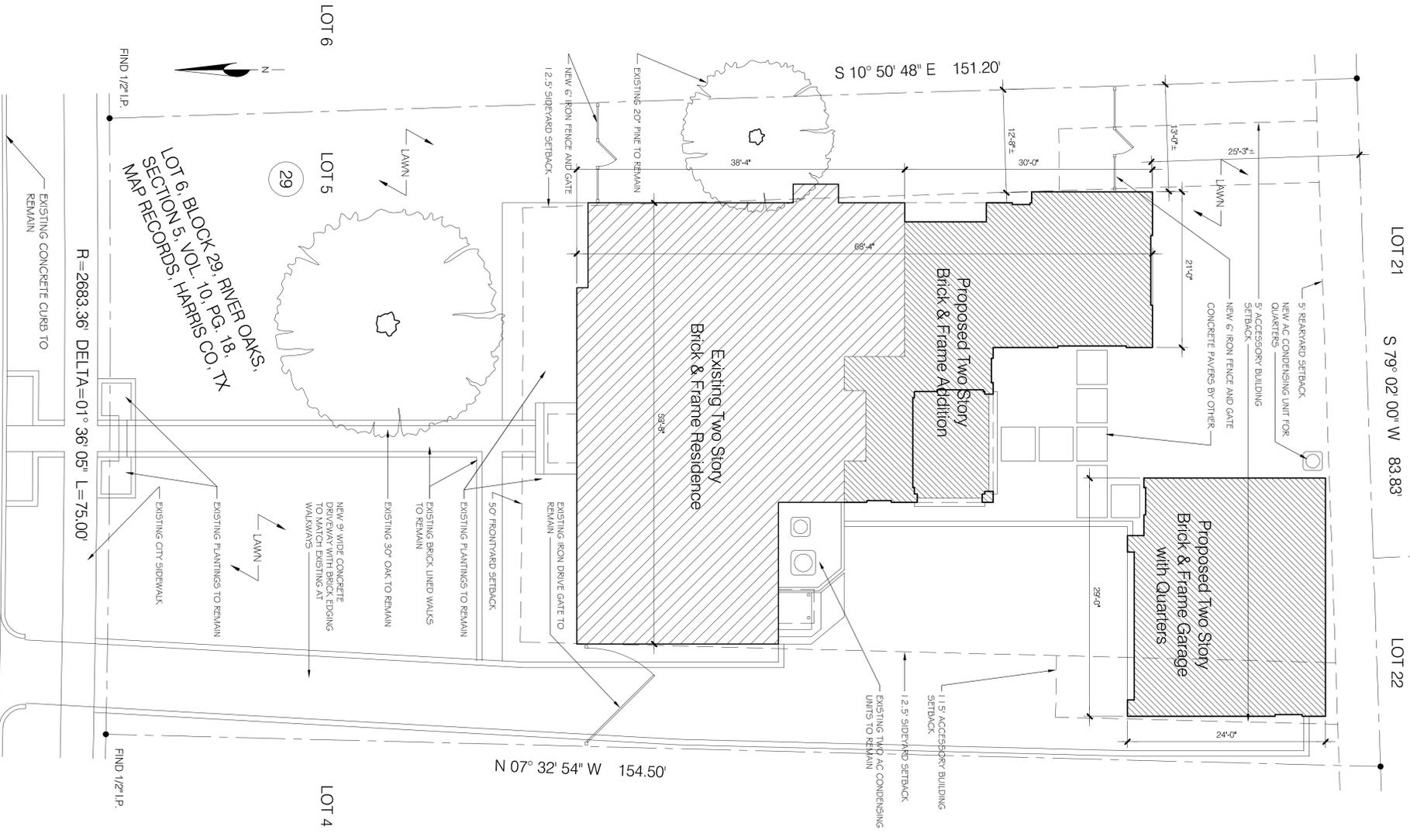
PROPOSED: 1570 SF ADDITION AND NEW GARAGE WITH 685 SF QUARTERS ABOVE
 NEW DRIVEWAY, GARAGE APPROACH, FENCES AND IRON FENCE

FLOOD PLAN: THIS PROPERTY IS NOT IN THE 100-YEAR FLOOD PLAIN

DRAWING LIST

SHEET NO.	DESCRIPTION	FOR PERMIT DATE	REVISION DATE	REVISION DATE
G.1	PROJECT DATA, LOCATION PLAN, DRAWING LIST, SITE PLAN	02/25/15		
D.1	GENERAL DEMOLITION NOTES, FIRST, SECOND & THIRD FLOOR DEMOLITION PLANS	02/25/15		
A.1	FIRST & SECOND FLOOR CONSTRUCTION PLANS	02/25/15		
A.2	THIRD FLOOR CONSTRUCTION PLAN, ROOF PLAN, GENERAL CONSTRUCTION NOTES, LEGEND	02/25/15		
A.3	METAL WINDOW AND DOOR TYPES, NORTH AND SOUTH ELEVATIONS	02/25/15		
A.4	FIRST & SECOND FLOOR LIGHTING & POWER PLANS	02/25/15		
A.5	GARAGE AND THIRD FLOOR LIGHTING & POWER PLAN, LEGEND, FIXTURE SCHEDULE, GENERAL LIGHTING NOTES	02/25/15		
A.6	WOOD WINDOW TYPES, EAST AND WEST ELEVATIONS	02/25/15		
A.7	STAR DETAILS	02/25/15		
A.8	GARAGE WITH QUARTERS PLANS AND ELEVATIONS	02/25/15		
S.1	FOUNDATION PLANS, NOTES AND DETAILS	02/25/15		
S.2	FIRST FLOOR CEILING FRAMING PLANS, NOTES	02/25/15		
S.3	SECOND FLOOR CEILING FRAMING PLANS, NOTES	02/25/15		
S.4	THIRD FLOOR CEILING FRAMING PLANS, NOTES	02/25/15		
S.5	ROOF FRAMING PLANS, NOTES	02/25/15		
S.6	FOUNDATION DETAILS, NOTES	02/25/15		
S.7	FRAMING DETAILS, NOTES	02/25/15		
S.8	FRAMING DETAILS, NOTES	02/25/15		

2 SITE PLAN
 1/8" = 1'-0"



CHEVY CHASE DRIVE
 (ROW VARIES)

LOT 6, BLOCK 29, RIVER OAKS,
 SECTION 5, VOL. 10, PG. 18,
 MAP RECORDS, HARRIS CO., TX



PROBSTFELD & ASSOCIATES

PROFESSIONAL LAND SURVEYORS

515 PARK GROVE DRIVE, SUITE 102 ▲ KATY, TEXAS 77450 ▲ (281) 829-0034 ▲ FAX (281) 829-0233



CHEVY CHASE DRIVE

R.O.W. VARIES

(Vol. 10, Pg. 18 HCRM)

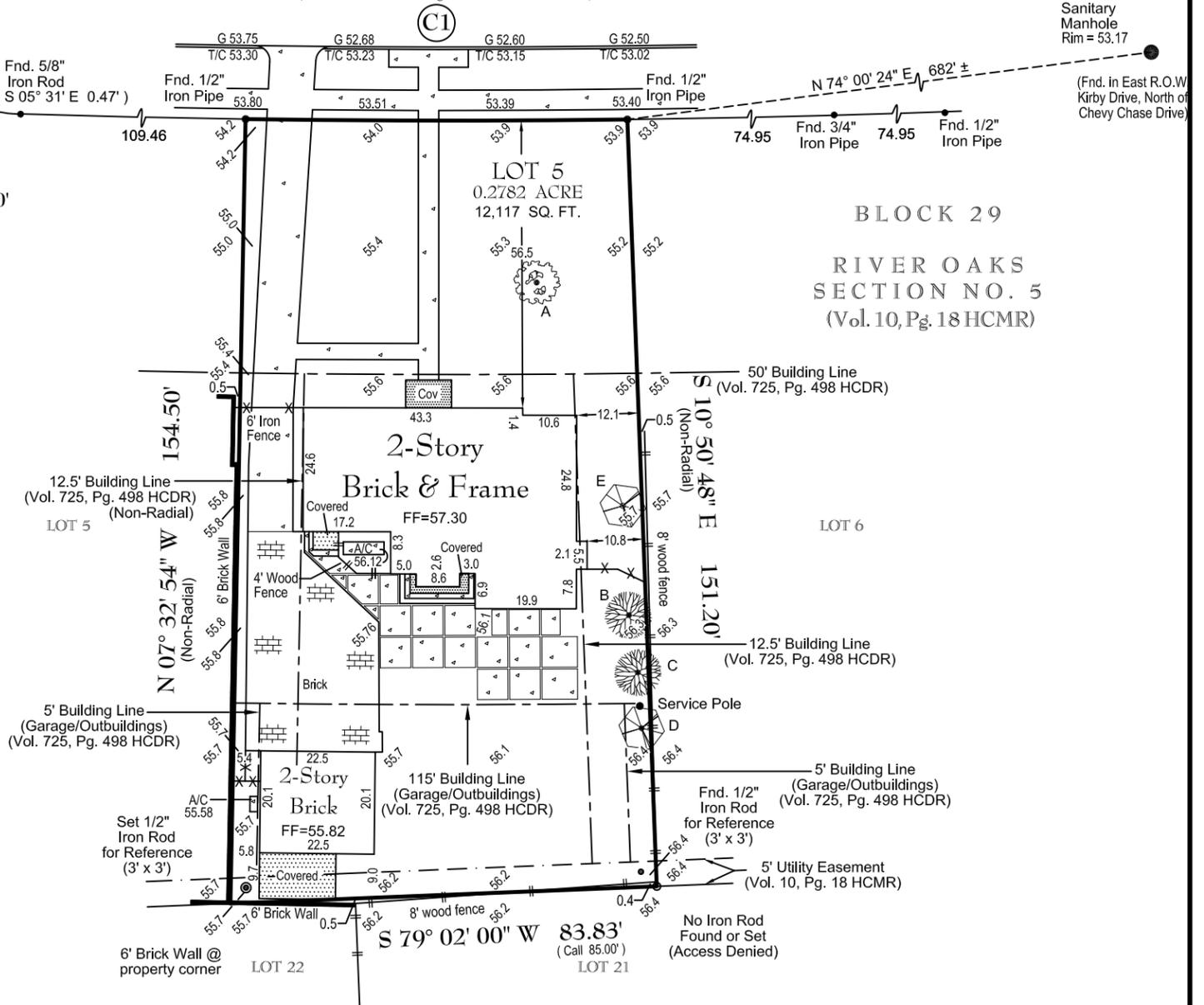
Project Benchmark
Mag. Nail in Road
C/L 53.11

Sanitary
Manhole
Rim = 53.17

(Fnd. in East R.O.W.
Kirby Drive, North of
Chevy Chase Drive)

(C1) $R = 2683.00'$
 $\Delta = 01^{\circ}36'06''$
 $L = 75.00'$
 $Ch = S 89^{\circ}56'33'' E 75.00'$

TREE LEGEND				
No.	Circumference	Drip Line Radius	Diameter	Description
A	10.9'	30'	42"	OAK
B	1.6'	10'	6"	TREE
C	2.1'	10'	8"	TREE
D	6.2'	20'	24"	HOLLY
E	6.2'	30'	24"	PINE



LENDER: CHASE MANHATTAN MORTGAGE CORPORATION

NOTES:

1. A portion of the 2-Story Brick & Frame is encroaching into the 12.5' Building line as shown.
2. Covered area behind garage is encroaching into the 5' Utility Easement as shown.
3. Elevations shown are based on Harris County Floodplain RM No. 210070, Elevation = 40.80' NAVD88 (2001 Adjustment).
4. Surveyor has not abstracted this property. This survey has been prepared based upon information provided by the title company. No independent investigation of the accuracy of the title company's work has been performed by the surveyor. Zoning ordinances and zoning building setback lines (if any) are not shown.
5. Surveyor has not reviewed restrictive covenants as set forth under Exceptions From Coverage in Schedule B of the Title Commitment.
6. Lot may be subject to certain requirements pertaining to front, side and rear setback lines and also architectural protrusions such as eaves, overhangs, ledges, etc., in relation to easements and/or building lines and should be verified prior to any planning or construction.
7. All bearings are based on the recorded plat unless otherwise noted.

PLAT OF PROPERTY

FOR: **WILLIAM T. WILSON & CHRISTINE M. WILSON**
 AT: **3003 CHEVY CHEVY CHASE DRIVE**
 LGL: **LOT 5, BLOCK 29**
RIVER OAKS, SECTION FIVE

VOLUME 10, PAGE 18
OF THE MAP RECORDS OF HARRIS COUNTY, TEXAS

SCALE: **1" = 30'**
 DATE: **6/14/1999** REVISED DATE: **3/5/2015**

This Property DOES/DOES NOT Lie within the designated 100 year floodplain.
 PANEL NO: **48201C 0860 L**
 ZONE: **X** EFF. DATE: **6/18/2007**
 BASE FLOOD ELEVATION: **N/A**
 LOCATED BY GRAPHIC PLOTTING ONLY AND NOT RESPONSIBLE FOR ACTUAL DETERMINATION.

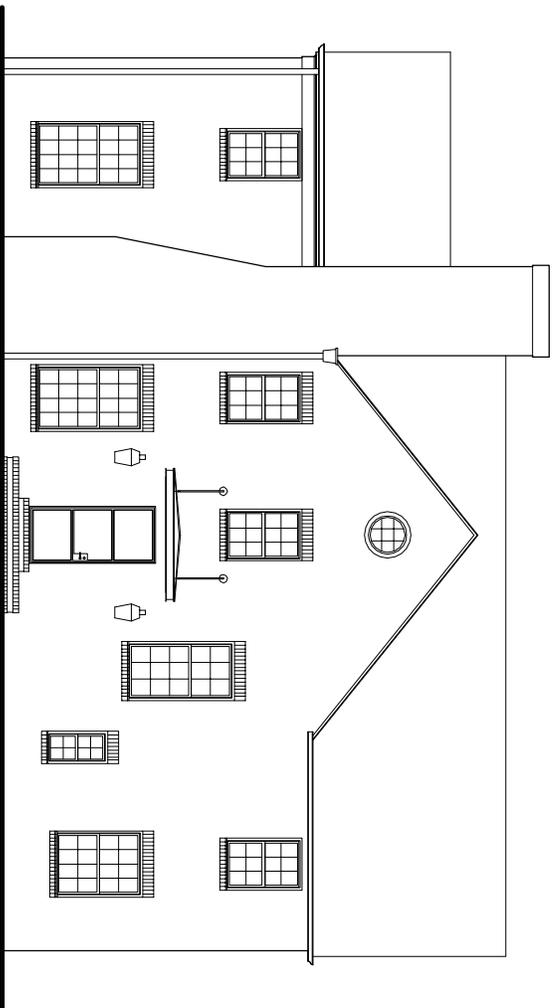
THIS SURVEY WAS PERFORMED IN ACCORDANCE WITH TITLE COMMITMENT
 PROVIDED BY: **PARTNERS TITLE COMPANY**
 GF#: **99223328 (5/27/1999)**

THIS SURVEY IS THE PROPERTY OF PROBSTFELD & ASSOCIATES, INC., IS CERTIFIED FOR THIS TRANSACTION ONLY, AND IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR OWNERS.

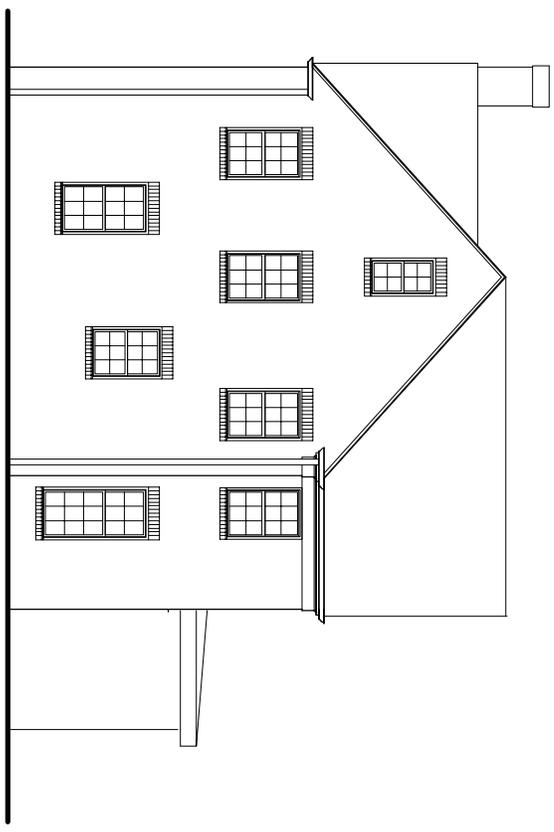
EMAIL COPY
NOT TO BE RECORDED FOR ANY PURPOSE

MATHEW J. PROBSTFELD
 Registered Professional Land Surveyor
 State of Texas No. 4985

JOB # **334-002** DRAWN BY: **LD**



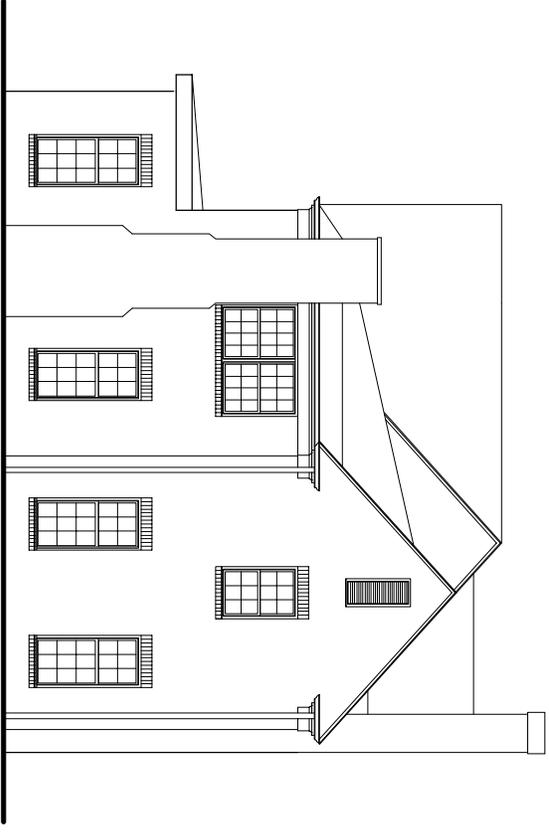
EXISTING NORTH ELEVATION



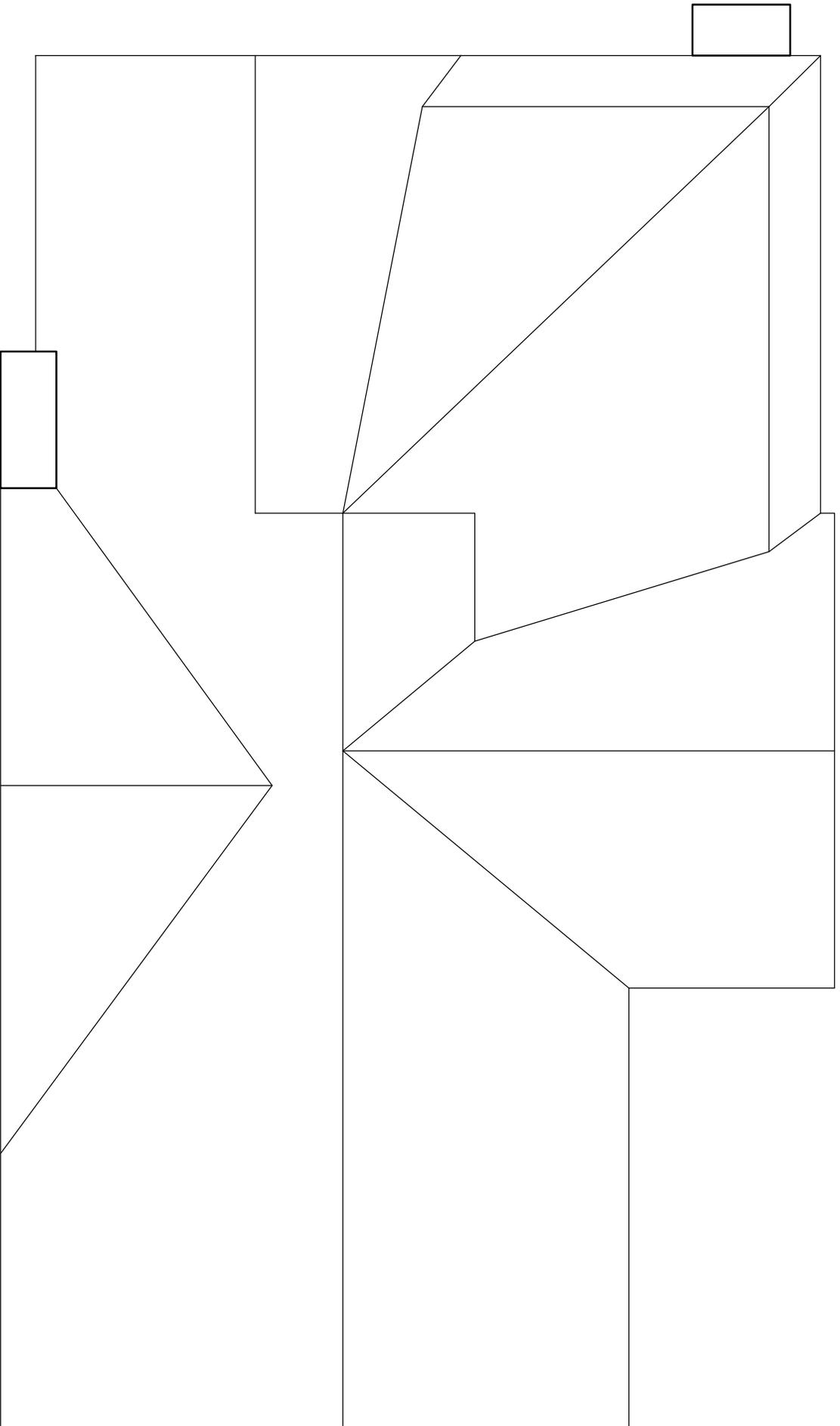
EXISTING WEST ELEVATION



EXISTING SOUTH ELEVATION



EXISTING EAST ELEVATION



EXISTING ROOF PLAN













Property Description, current conditions and any prior alterations and additions:

3003 Chevy Chase is 3,230 square feet in size and sited on a 12,130 square foot lot in the 3000 block of Chevy Chase. It is sited facing north and faces Elliott Park. 3003 Chevy Chase was designed by Salisbury & McHale in the relaxed English style that they regularly employed. The house features a central entry with asymmetrical architectural features flanking the entry under intersecting gabled roofs and the entire structure is faced with a pale earthy-colored clay brick.

The central bay of the house is organized under a gracious street facing gable. At center, the entry door is at a low brick stoop centered under a glass and steel canopy. Directly above the front door is a six-over-six wood sash window and centered above this window at the attic story is a round wooden ocular window with nine lites. The window is made more pronounced by a circle of soldier course bricks.

The central bay is bracketed by a broad and stocky chimney to the east and an oversized 6-over-9 wood sash window (signaling the stair landing inside) to the west. The chimney anchors the east end of the gable and tapers as it rises and ends above the ridgeline.

To the east of the central bay and chimney is an 8-over-12 wood sash window, and above it at the second story is a 6-over-6 wood sash window. A prominent painted wooden fascia board runs along the eave at this bay of the house and is interrupted by the chimney and gabled central bay and does not reappear at the western bay of the front façade.

To the west of the central bay are a small 4-over-4 wood window and an 8-over-12 wood sash window at the first story, and centered above the larger window, a 6-over-6 wood sash window at the second story.

The house has been added onto at the rear. A first floor family room extension is partially topped with a sitting room, bath and closet- all under an awkward and problematic roof configuration- were added at the southeast corner of the house.

The asphalt shingles at the roofs of both the original portion of the house and the addition are not original to the house.

Proposed work; plans to change any exterior feature, and/or addition description:

We proposed a two story 1650sf addition at the rear of the existing house and to replace the existing garage [with quarters]. We also propose to replace the asphalt shingle roofing with standing seam metal roofing at both the existing structure and at the addition.

The addition will extend south into the rear yard and will match the existing house in material and detail. The only portions of the proposed construction that will be visible from the street are slight modifications to the existing roofline and the extension of an existing chimney (added previously) at the east side of the house.

At the roof, we propose to extend a portion of the existing roof plane above the east bay of the front façade such that it will align with the ridge line at the central and western bays of the house. The new gable under this ridge will be held back from the east façade 16” to allow the existing east-facing gable to remain the dominant element on the east façade. The central area of the rear addition will be roofed with a low-pitch (2:12) hip roof that, while rising slightly higher than- and behind- the existing ridge line on the front façade, will be likely unseen due to the low angle of perspective from the street.

Due to the roofline at the east side of the addition- which will also feature a dormered third floor bedroom- we propose to extend the existing chimney at the family room addition to bring it to equal height with the chimney at the front façade.

Current building material conditions and originality of any materials proposed to be repaired or replaced:

The street facing north façade features its original brick façade with painted wood windows and trim and will remain unchanged. The east and west facades are largely intact from the original construction and those parts will also remain unchanged. The south façade has been altered by previous owners. The east bay was engulfed in the earlier family room addition. A small projecting bay flanked by Doric columns was added at the central bay. Windows and a small porch stoop at the west bay have been modified. Our addition will consume the central and east bays and the steep pitched roof of the existing central bay will wrap the addition and tie back in at the main ridgeline.

Proposed new materials description; attach specification sheets if necessary:

The existing structure is faced with a pale earthy-colored clay brick and has painted wood windows and trim. The addition will match the existing house in material and detail. The existing structure and proposed addition will be roofed with standing seam metal roofing.

JD
architect

john d. blackmon

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