



www.edghouston.com

Designer: Ethos Design Group, LLC
Address: P.O. Box 70875
Houston, TX 77270
Phone: 281.914.1741
Fax: 713.456.2882
e-mail: [REDACTED]

Engineer: Unassigned
Address:

Phone:
e-mail:

Client: Anthony & Meg Adamson
Address: 302 W 13th St
Houston, TX 77008

Phone:
Fax:
e-mail:

Builder: Ethos Design Group, LLC
Address: P.O. Box 70875
Houston, TX 77270
Phone: 281.914.1741
Fax: 713.456.2882
e-mail: [REDACTED]

No. Description Date

- Plans drawn to IRC-2006 standards (at minimum).
- Contractor must verify all dimensions and field conditions.
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- Designed for 110 MPH winds (3 second gusts) as required by IRC-2006.
- Designed for City of Houston.

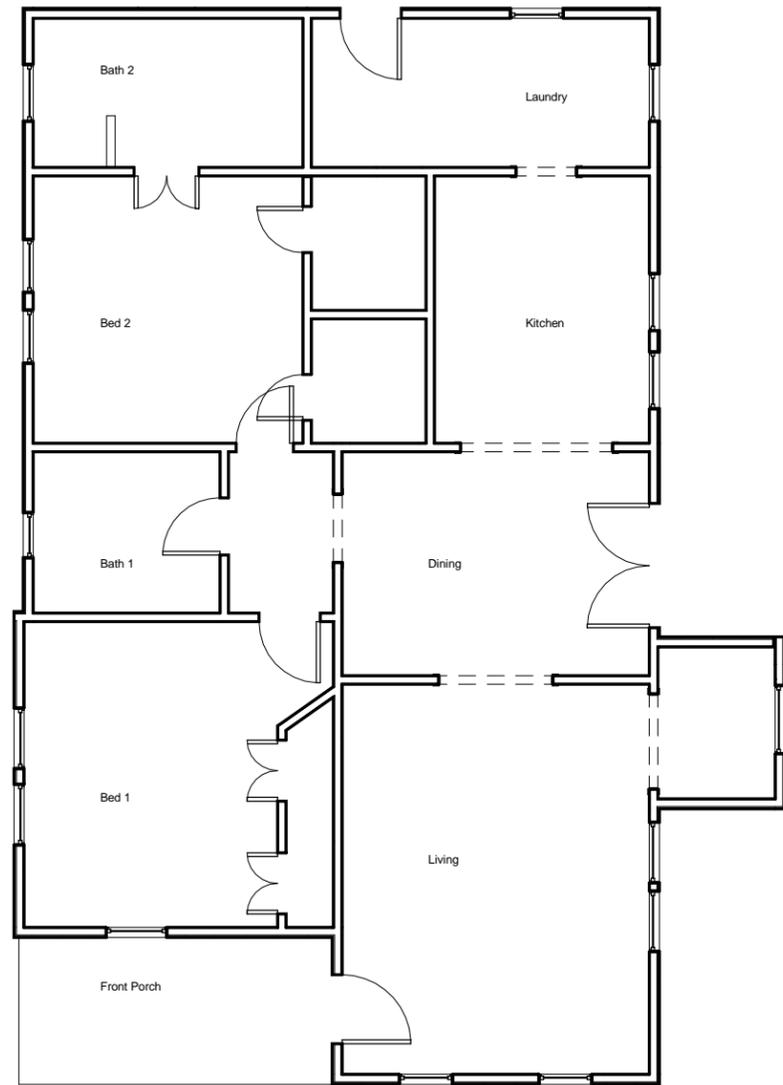
This plan set is an instrument of service and shall remain the property of the designer. Using these drawings on any other project or extension to this project is prohibited without the written consent of both the engineer of record and the designer. Ethos Design Group, LLC, acting as the designer, will neither be responsible nor liable for construction methods or materials, including safety programs regarding this project unless specifically hired as the general contractor.

Adamson Addition Existing & Demo

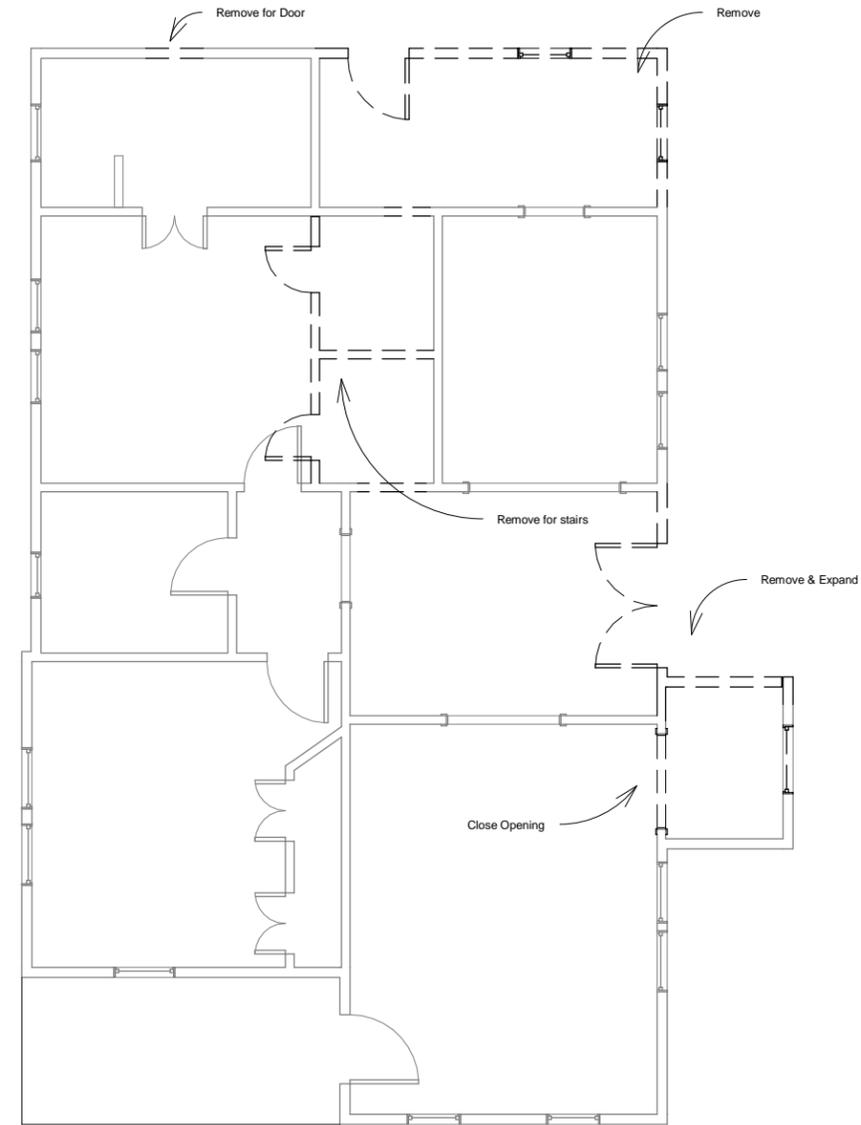
Project number 15-06
Date 03.23.215
Drawn by awells
Checked by awells

A-0.0

Scale 1/8" = 1'-0"
Print 11x17 "Borderless" to scale drawings



1 1st Floor Existing
1/8" = 1'-0"



2 1st Floor Demo
1/8" = 1'-0"



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No.	Description	Date
1	Initial Draft	03.23.2015
2	Revision	03.24.2015
3	Revision 2	03.30.2015

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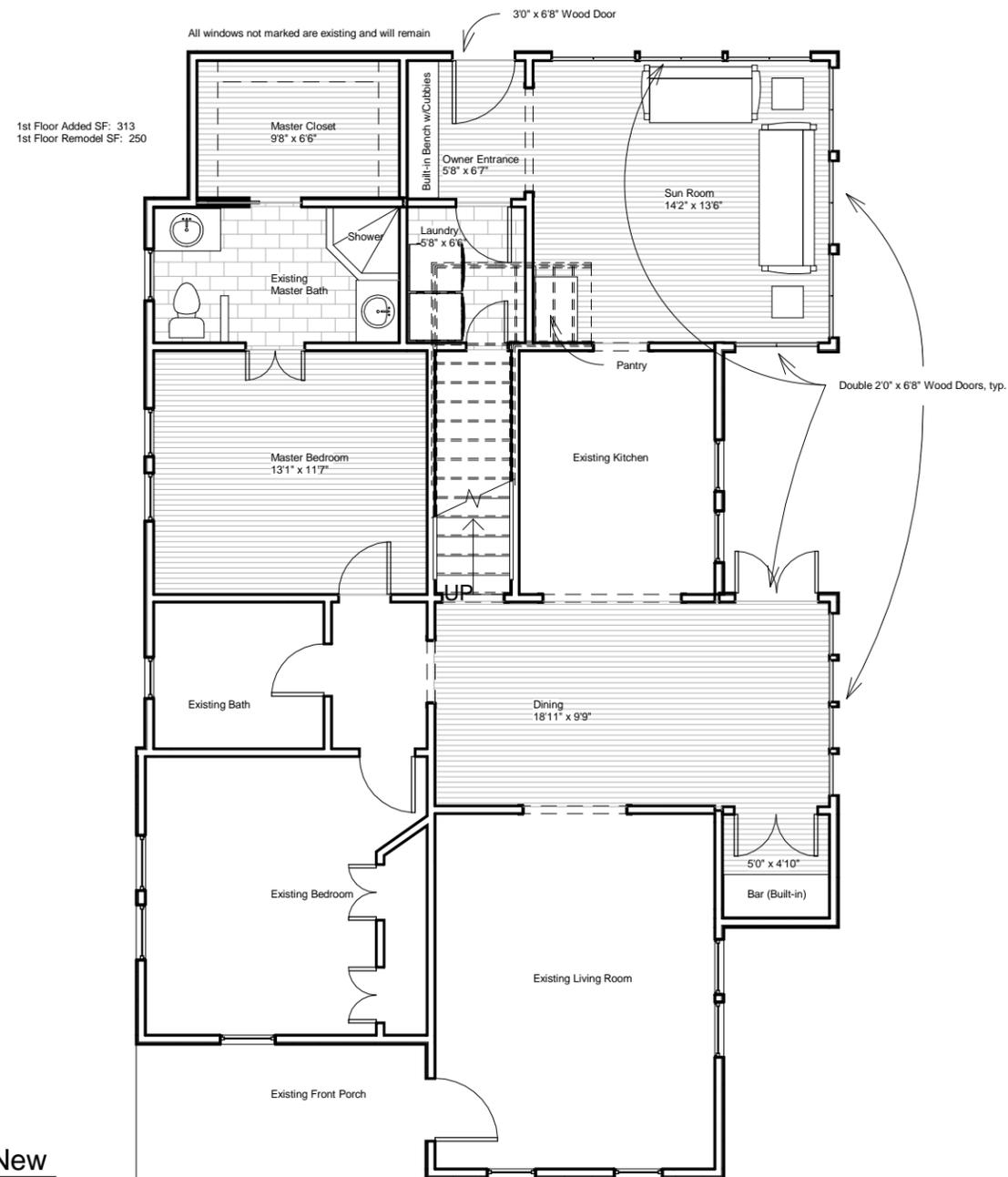
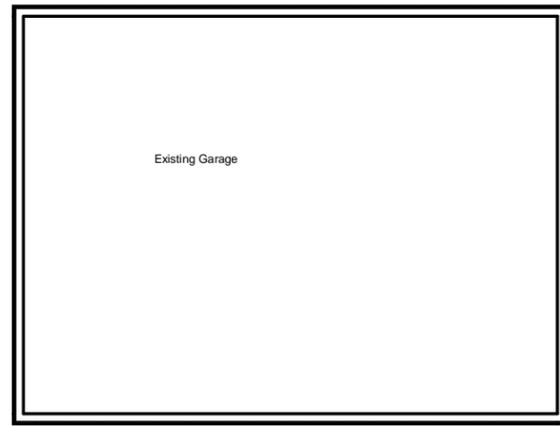
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Adamson Addition New Plans

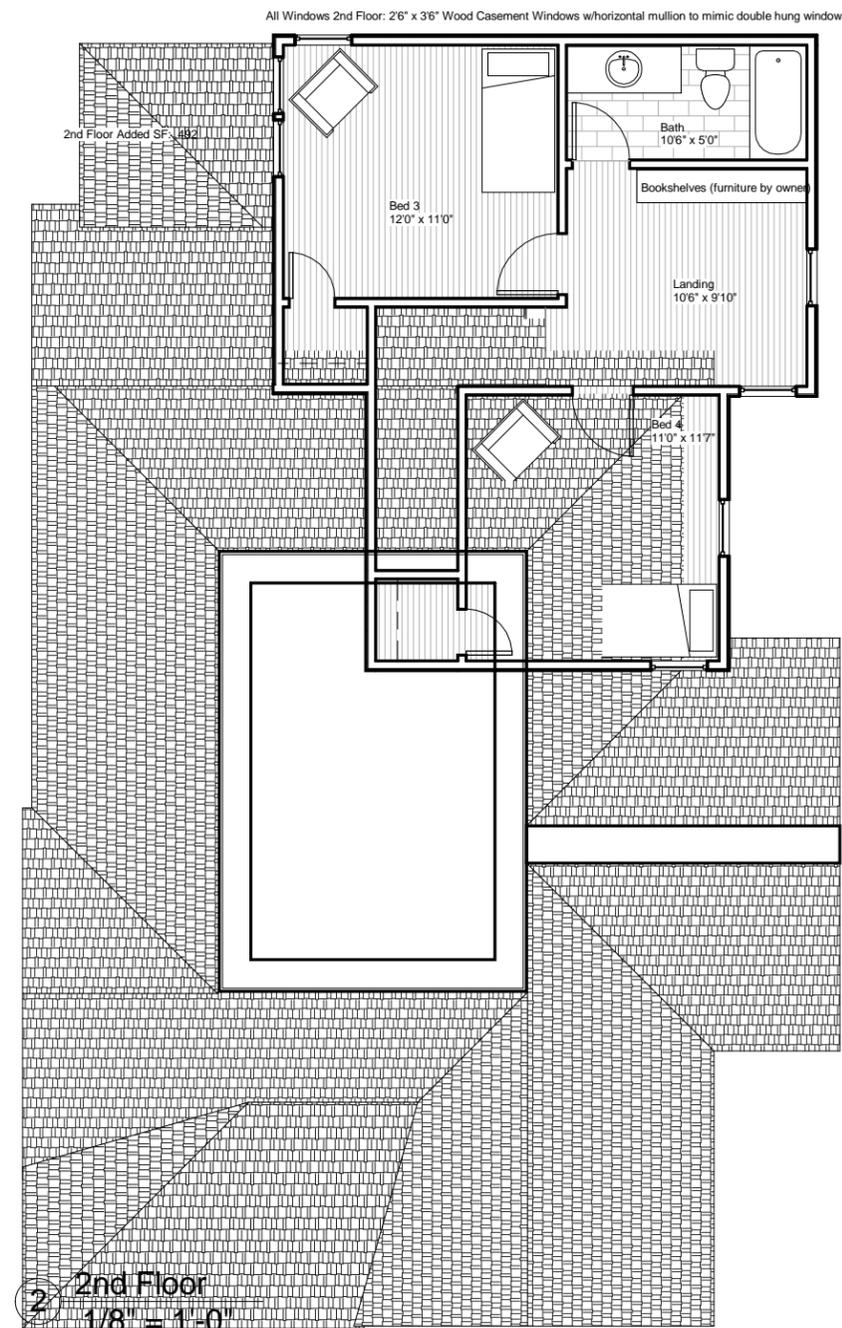
Project number: 15-06
 Date: 03.23.2015
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 Checked by: awells

A-1.0

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1 1st Floor New
 1/8" = 1'-0"



2 2nd Floor
 1/8" = 1'-0"



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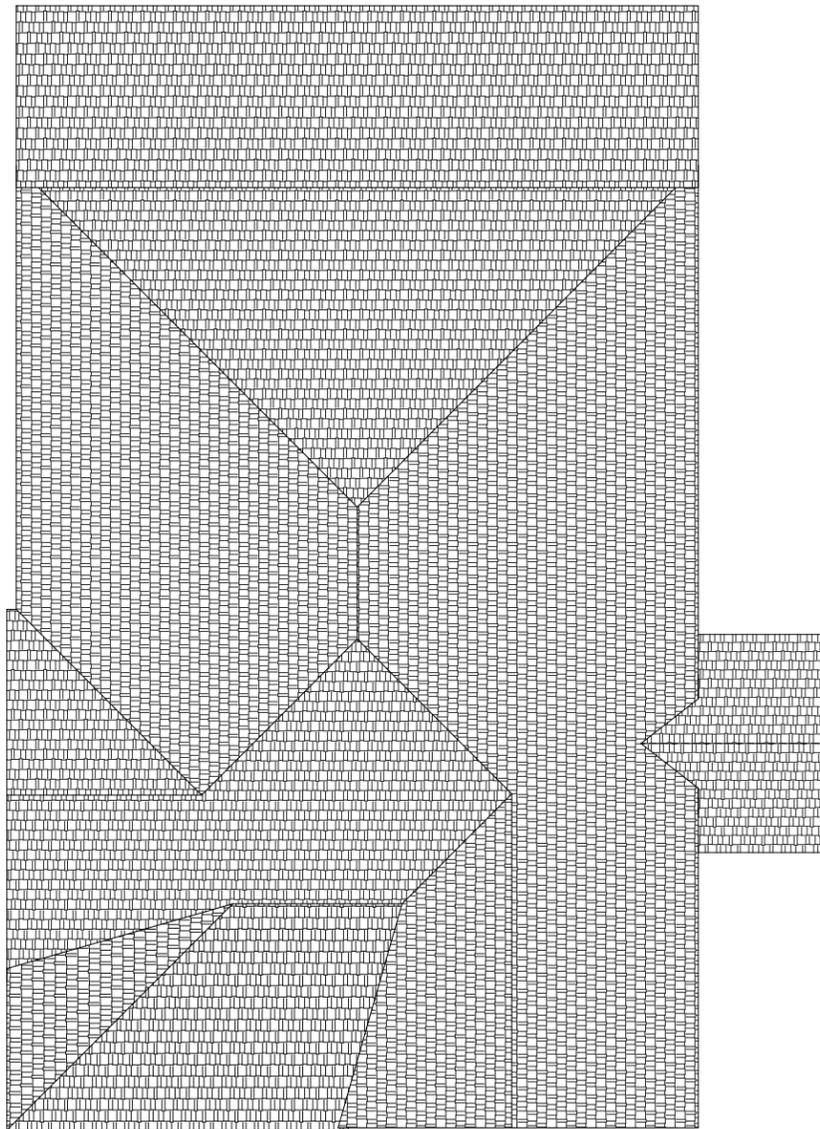
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Adamson Addition Roof Plans

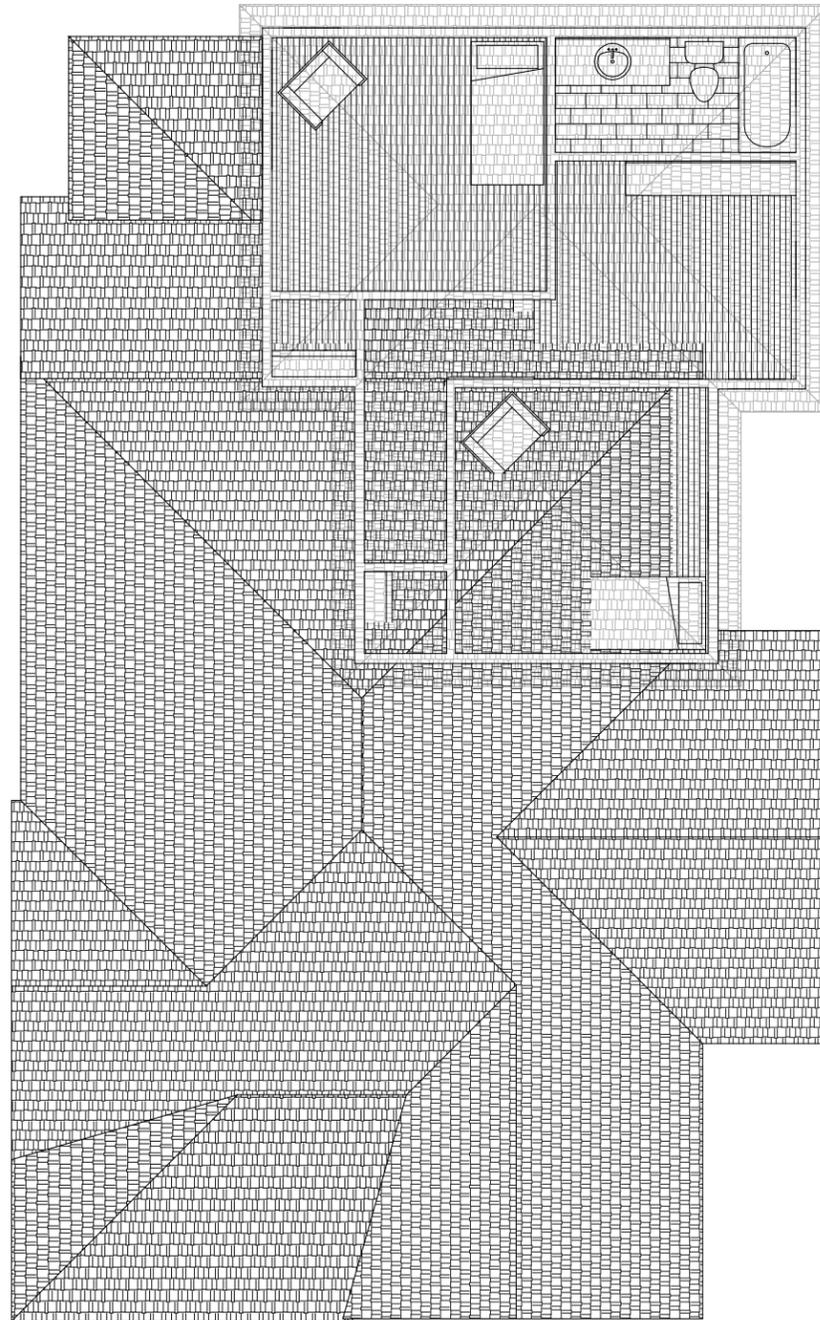
Project number 15-06
Date 03.23.215
Drawn by awells
Checked by awells

A-1.1

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1 Roof Plan Current
1/8" = 1'-0"



2 Roof Plan Proposed
1/8" = 1'-0"



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Adamson Addition Exterior Elevations

Project number 15-06
Date 03.23.215
Drawn by awells
Checked by awells

A-2.0

Scale 1/8" = 1'-0"
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Roof Peak
25' - 11"

2nd Floor Ceiling
19' - 0"

2nd Floor
11' - 0"

1st Floor Ceiling
10' - 0"

1st Floor
0' - 0"

Grade
-2' - 0"



1 East Current
1/8" = 1'-0"



2 East Proposed
1/8" = 1'-0"



3 West Current
1/8" = 1'-0"



4 West Proposed
1/8" = 1'-0"



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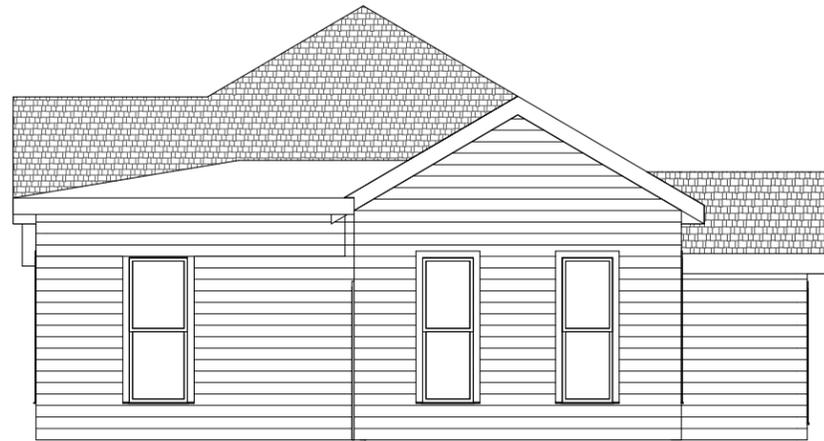
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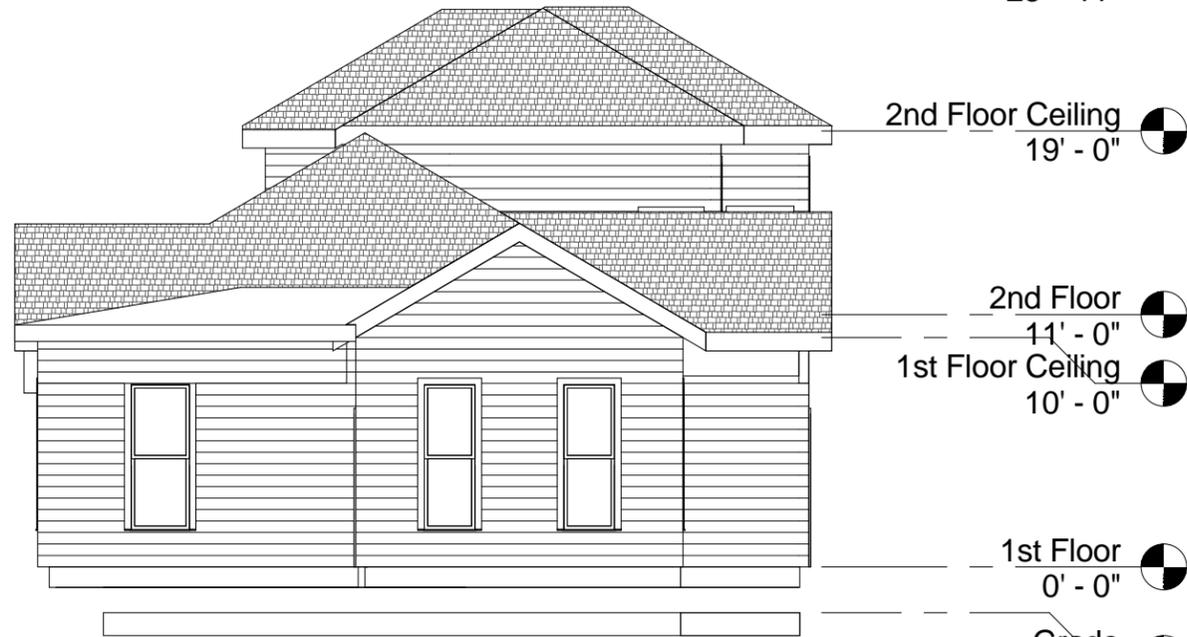
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A-2.1

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 Print 11x17 "Borderless" to scale drawings



1 North Current
 1/8" = 1'-0"



2 North Proposed
 1/8" = 1'-0"



3 South Current
 1/8" = 1'-0"



4 South Proposed
 1/8" = 1'-0"

O W N E R R e s i d e n c e

Meg & Anthony Adamson
302 W 13th Street
Houston, TX 77008-6818

PROJECT INFO (SF):

Existing: 1,294
1st Floor Addition: 313
2nd Floor Addition: 492
Total: 2,099



1 Street View



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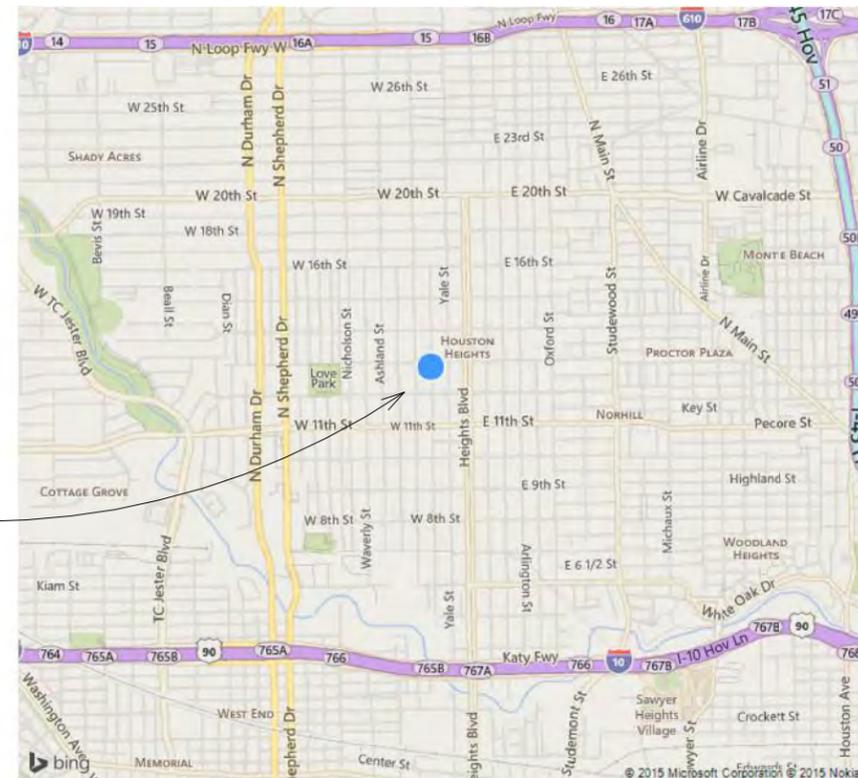
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Adamson
Addition
Cover & Index

Project number 15-06
Date 03.23.215
Drawn by awells
Checked by awells

Cover

Scale
Print 11x17 "Borderless" to scale drawings



302 W 13th

Sheet Index

- A-0.0 Existing & Demo
- A-1.0 New Plans
- A-1.1 Roof Plans
- A-2.0 Exterior Elevations
- A-2.1 Exterior Elevations
- C-0.0 Site Plans

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



PLANNING &
DEVELOPMENT
DEPARTMENT

PROPERTY

Address 302 W 13th St
Historic District / Landmark Houston Heights West HCAD# 020180000038
Subdivision TRS 1B & 2B Block 184 Houston Heights Lot _____ Block _____

DESIGNATION TYPE

- Landmark
 Protected Landmark
 Archaeological Site
 Contributing
 Noncontributing
 Vacant

PROPOSED ACTION

- Alteration or Addition
 Restoration
 New Construction
 Relocation
 Demolition
 Excavation

DOCUMENTS

- Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name Megan Huber
Company _____
Mailing Address 302 W. 13th St.
Houston, TX 77008
Phone 713-412-8122
Email _____
Signature [Signature]
Date 3-31-2015

APPLICANT (if other than owner)

Name Adam Wells
Company Ethos Design Group, LLC
Mailing Address Po Box 70875
Houston, TX 77270
Phone 281-914-1741
Email _____
Signature [Signature]
Date 3-31-2015

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____ Application received: ___/___/___ Application complete: ___/___/___

CERTIFICATE OF APPROPRIATENESS ALTERATION & ADDITON CHECKLIST



PLANNING &
DEVELOPMENT
DEPARTMENT

Well in advance of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable items and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-241 for approval criteria for alteration, rehabilitation, restoration and additions.

PROPERTY ADDRESS: 302 W 13th St Houston, TX 77008

BUILDING TYPE

- | | |
|---|--|
| <input checked="" type="checkbox"/> single-family residence | <input type="checkbox"/> garage |
| <input type="checkbox"/> multi-family residence | <input type="checkbox"/> carport |
| <input type="checkbox"/> commercial building | <input type="checkbox"/> accessory structure |
| <input type="checkbox"/> mixed use building | <input type="checkbox"/> other |
| <input type="checkbox"/> institutional building | |

ALTERATION TYPE

- | | |
|--|---|
| <input checked="" type="checkbox"/> addition | <input type="checkbox"/> roof |
| <input type="checkbox"/> foundation | <input type="checkbox"/> awning or canopy |
| <input type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign |
| <input type="checkbox"/> windows or doors | <input type="checkbox"/> ramp or lift |
| <input type="checkbox"/> porch or balcony | <input type="checkbox"/> other |

WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work; plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new materials description; attach specification sheets if necessary

PHOTOGRAPHS label photos with description and location

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

DRAWINGS scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

- | | |
|---|--|
| <input checked="" type="checkbox"/> current site plan | <input checked="" type="checkbox"/> demolition plan |
| <input checked="" type="checkbox"/> proposed site plan | <input checked="" type="checkbox"/> current roof plan |
| <input checked="" type="checkbox"/> current floor plans | <input checked="" type="checkbox"/> proposed roof plan |
| <input checked="" type="checkbox"/> proposed floor plans | <input type="checkbox"/> current elevations (all sides) |
| <input checked="" type="checkbox"/> current window and door schedule | <input checked="" type="checkbox"/> proposed elevations (all sides) |
| <input checked="" type="checkbox"/> proposed window and door schedule | <input checked="" type="checkbox"/> perspective and/or line of sight |











Please confirm receipt of application submittal for April meeting; deadline today.

Thanks,

>

> Please see attached application, photos, plans and below written description:

> 1. Single Family Residence faces North on the SW corner of 13th &

> Alston. Wood siding Victorian bungalow w/existing wood windows. Previous additions are shed room 8' ceiling plate height rear addition which contains master bathroom and rear entrance/laundry room; gable roof addition facing West off of living room w/8' ceiling (approx. 5' x 5')

2. Propose to add 313 sf on 1st floor composed of:

> a. continuation South of West side addition (10' x 5'), remodeling current addition to have 10' ceiling

> b. addition South inset to the West by 2'0" extending South by 7'0" and West 31'0"

> 3. Propose to add 492 sf on 2nd floor composed of:

> a. two bedrooms, landing & bathroom set as far to southwest as

> possible (away from street view)

4. Current residence has wood siding

> and wood windows

>

> We'd like this considered for the April meeting; please confirm receipt.

>

> Thanks,

> adam wells

> edg, llc