

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

PROPERTY

Address 420, 422, 424, 426, 428, 430, 432 Marshall Street, Houston, Tx 77006

Historic District / Landmark Historic District

HCAD# 5356B

Subdivision Carnegie Oaks At Westmoreland

Lot 1-7

Block 1

DESIGNATION TYPE

- Landmark
 Protected Landmark
 Archaeological Site
 Contributing
 Noncontributing
 Vacant

PROPOSED ACTION

- Alteration or Addition
 Restoration
 New Construction
 Relocation
 Demolition
 Excavation

DOCUMENTS

- Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name Arpan Gupta

Company Carnegie Homes

Mailing Address 3004 Falls @ Fairdale
Houston, TX 77057

Phone 281.772.8877

Email

Signature



Date

3/24/15

APPLICANT (if other than owner)

Name

Company

Mailing Address

Phone

Email

Signature

Date

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____

Application received: ___/___/___ Application complete: ___/___/___

CERTIFICATE OF APPROPRIATENESS

APPLICATION INSTRUCTIONS

Well in advance of the COA application deadline contact staff to discuss your project, application requirements, and, if necessary, to make an appointment to meet with staff for a project consultation. Visit the Historic Preservation Web Manual for historic district profiles, project guidance and forms.

www.houstontx.gov/HistoricPreservationManual

Historic Preservation Office	713.837.7963	historicpreservation@houstontx.gov
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SUBMISSION INSTRUCTIONS

To submit application to Planning Department:

- email documents to historicpreservation@houstontx.gov (attachments must be less than 10MB)
- send a Dropbox shared folder invitation to historicpreservation@houstontx.gov, or
- contact staff to set up an appointment to drop off a disc or flash drive.

MEETING SCHEDULE

- Applications are due **22 calendar days** in advance of the HAHC meeting by **12 PM (noon)** on the deadline date. Exception: revisions to items deferred or denied at the previous HAHC meeting are due 15 days in advance of the scheduled meeting.
- Application deadlines are firm. All materials must be submitted by the deadline to be considered at the following HAHC meeting. Designs must be final at time of application; revisions will not be accepted after the deadline.
- HAHC will not accept new material or redesigns presented at the HAHC meeting. Deferral until the following month's meeting may be necessary in such cases to allow for adequate review by staff and commissioners.
- HAHC monthly meetings are held at 3:00 PM at City Hall Annex, 900 Bagby Street, City Council Chambers, Public Level.

2014 Meeting Dates (Thursdays unless noted otherwise)	COA Application Deadlines	Demolition / Relocation Posted Sign Deadlines
October 23	October 1	October 13
November 20	October 29	November 10
December 17 (Wednesday)	November 25	December 7

DEFINITIONS

Addition: any expansion to an existing building, structure or object.

Alteration: any change to the exterior of a building or structure, including adding, moving, removing or replacing an exterior feature.

Demolition: an act or process that destroys in whole, or a majority of, any building, structure, object or site.

Excavation: to expose, uncover, or remove by digging, cutting or hollowing out.

Exterior Feature: an element of the architectural character and the general arrangement of the external portion of a building, structure or object, including building materials.

Mandatory Repair: a repair of a building or structure that is necessary to comply with Article IX, Ch. 10, Houston Code of Ordinances, as evidenced by an order of the hearing official or the building and standards commission or by a citation.

New Construction: the erection of a new building, structure, or object, on a lot, site, or other property.

Relocation: any change in the location of a building, structure, or object.

Restoration: accurately recovering the form and detail of a building, structure, object, or site and its setting as it appeared at a particular period of time by means of the removal of later work, or by the replacement of missing earlier work, or both.

Carnegie Homes – HAHC Application

- Proposed New Construction in Westmoreland Addition, Lot 1. Block 9.
- The purpose of this project is to create a community that in-bodies the Historical Architecture of the area.
- 7 detached homes
- Site includes a park to preserve the multi-generational 53" Oak tree on Marshal Street.

Exterior Material List:

- Pier and Beam Foundation
- Hardi Plank Siding & Trim
- Brick Veneer Accents
- Cedar/Hardi Shingle Siding
- Wood Shutters & Iron Hardware
- Period Appropriate Columns & Pedestals
- Period Appropriate Wood Clad Windows with Divided Lights
- Period & Style Appropriate Rails & Balisters & Detailing
- Period Appropriate Window Pediments
- Style Appropriate Wood Corbels, Brackets & Outlookers
- Composition Shingle Roof with some Metal Accent Roofs.

Interior Material List:

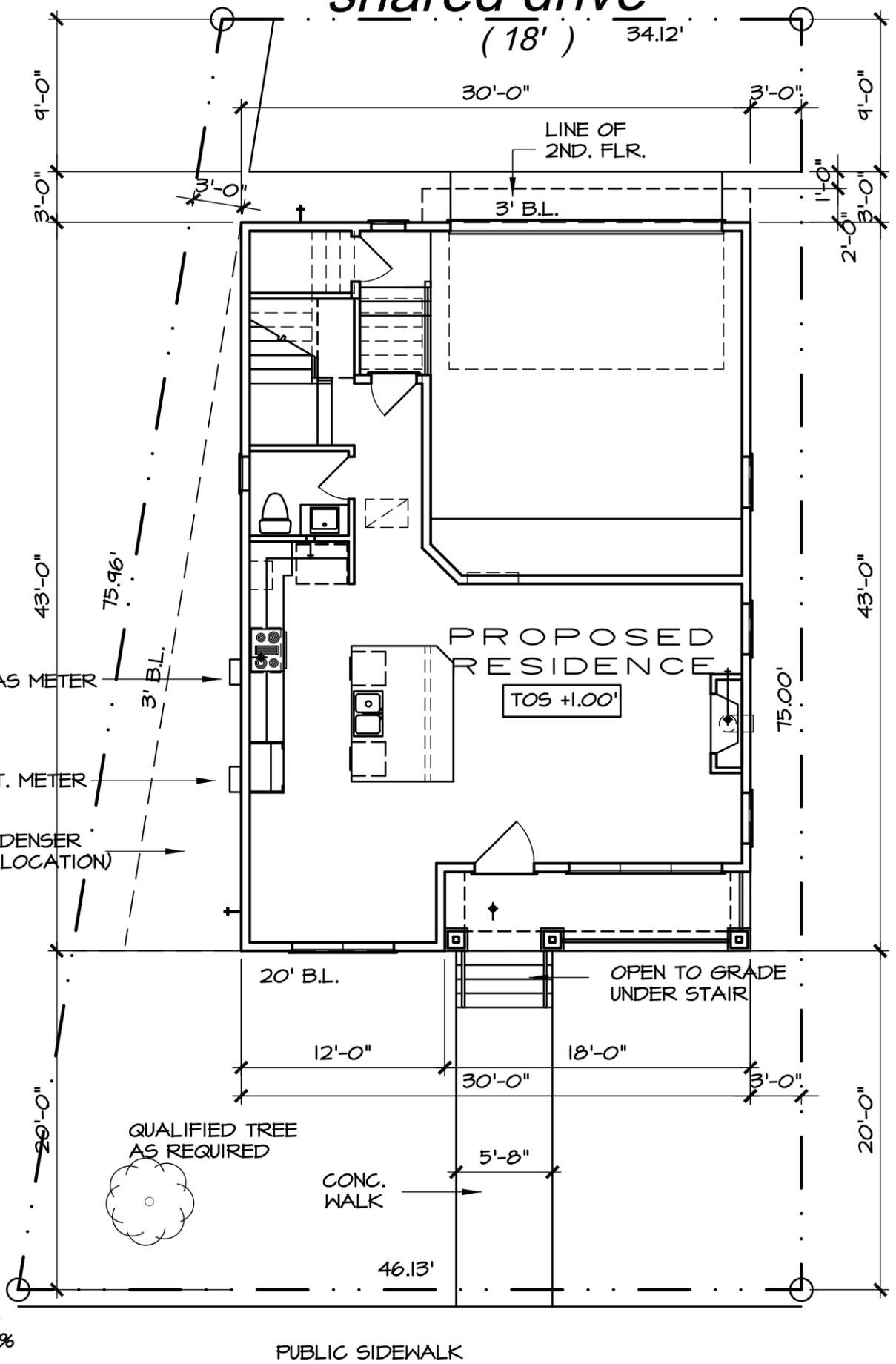
- 2 Car Garages
- 3 Bedrooms
- 3 ½ Baths
- 2 1/2 Stories
- Open Ground Floor Living
- Hardwood Floors Throughout
- Tile Baths
- Granite Counter Tops
- Optional Fireplaces
- Period Trim & Detailing

Deed Restrictions:

The deed restrictions have not been completed at this point. Currently there are no restrictions on this property & we would seek guidance from the HAHC for the proper language we should include in the document.

shared drive

spur 527



lot and building coverage calculations

MAXIMUM LOT COVERAGE = 75 %
 MAXIMUM BLDG. COVERAGE = 60 %

LOT AREA	3 0 0 9	SQ. FT.
HOUSE PAD	1 2 9 2	SQ. FT.
SHARED DRIVE/WALK	4 4 7	SQ. FT.
TOTAL PAD	1 7 3 9	SQ. FT.

LOT COVERAGE 57.79 %

LOT AREA	3 0 0 9	SQ. FT.
HOUSE PAD	1 2 9 2	SQ. FT.

BLDG. COVERAGE 42.93%

432 marshall st.

MANHOLE ELEV = 0.00"

note:

OWNER/BUILDER TO APPROVE LOCATION OF HOUSE ON LOT, AND TO VERIFY ALL EASEMENTS AND BUILDING LINES, PRIOR TO START OF CONSTRUCTION.

- 5' PUBLIC WALK AS PER SUBDIVISION
- FINISHED FLOOR ELEVATION TO BE 1'-0" (MIN.) ABOVE NEAREST MANHOLE COVER SERVING THIS RESIDENCE. ABOVE INFORMATION IS BASED ON AN ASSUMED MANHOLE COVER ELEVATION OF +14". ACTUAL SITE VERIFICATION BY BUILDER SHALL BE REQUIRED.
- DRAINAGE DESIGN IS BEYOND THE SCOPE OF WORK OF THIS FIRM. GREAT CARE SHOULD BE TAKEN IN EVALUATING THE DRAINAGE REQUIREMENTS.

PUBLIC SIDEWALK

PARKING SPACE (see overall site plan)

lot 3
 block 1
 section 9

carnegie oaks
 at westmoreland
 site plan

SCALE: 1/8" = 1'-0"

PLAN NO. 2627-AI

FLYSHEET



Sullivan Henry Oggero



unit A-1

front elevation

SCALE: 1/4" = 1'-0"

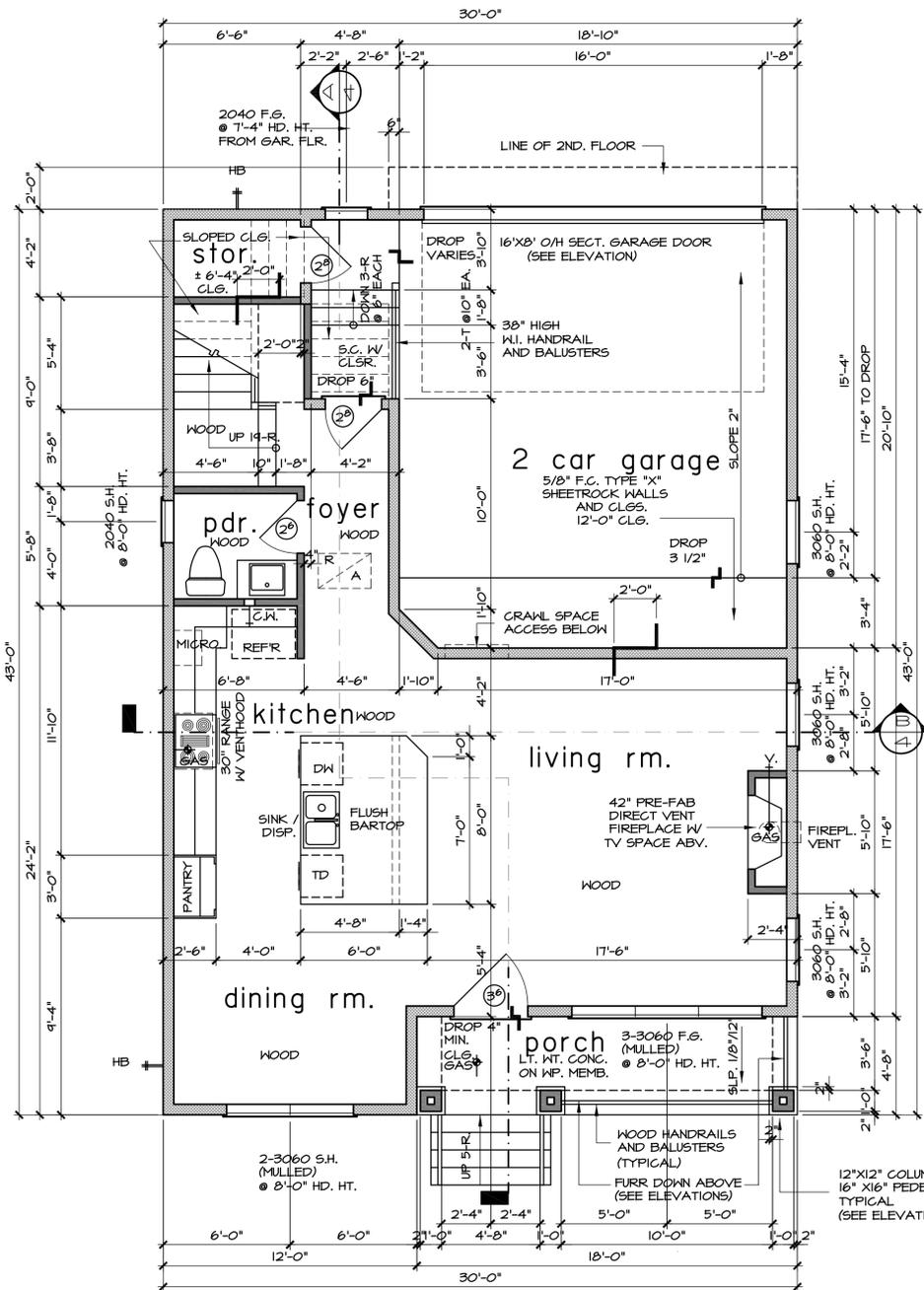
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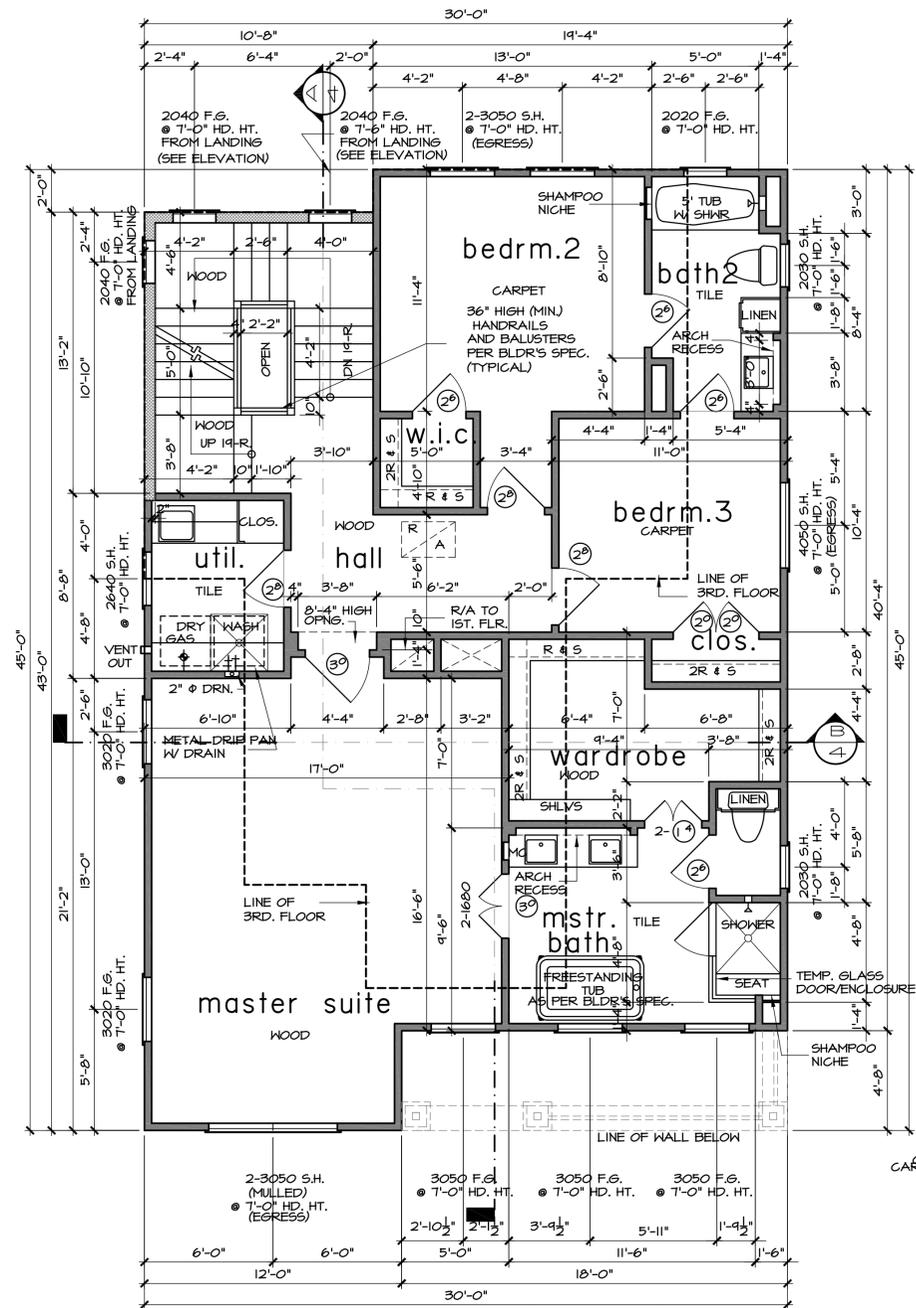
Carnegie Homes

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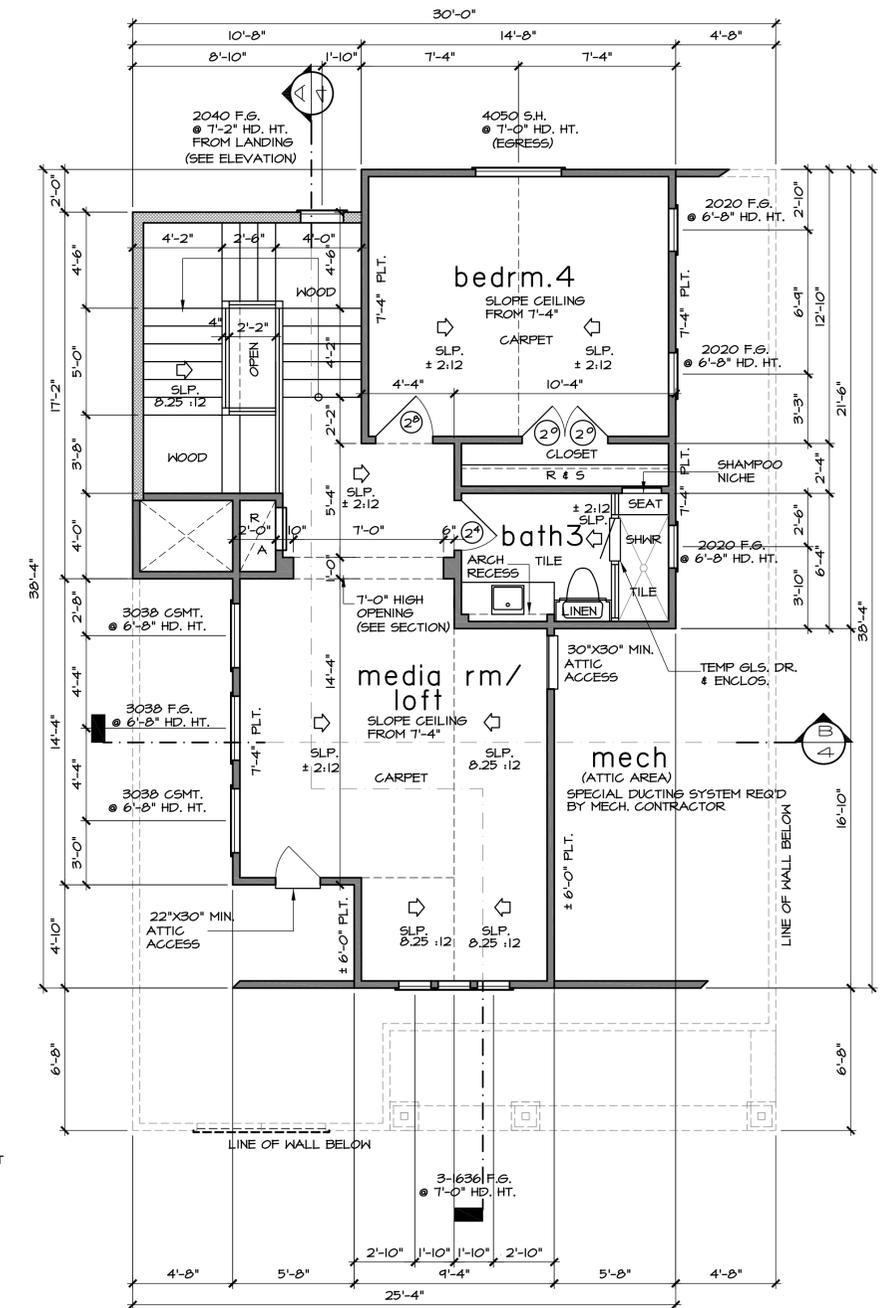
first floor plan (10'-0" ceiling)

LEGEND: 2X6 WALLS



second floor plan (10'-0" ceiling)

LEGEND: 2X6 WALLS



third floor plan (ceiling ht. see flr. plan)

LEGEND: 2X6 WALLS

unless otherwise noted

- CARPET FLOORS
- GYP. BOARD WALLS AND CEILING
- 10'-0" CLG. HT. AT FIRST FLOOR
- 10'-0" CLG. HT. AT SECOND FLOOR
- CLG. HT. AT THIRD FLOOR (SEE FLOOR PLAN)
- ALL ANGLES TO BE 45 DEGREES
- 1 3/8" H.C. INTERIOR DOORS (6 PANEL)
- 1 3/4" S.C. EXTERIOR DOORS (SEE ELEVATION)
- 8'-0" DOOR HT. AT FIRST FLR.
- 8'-0" DOOR HT. AT SECOND FLR.
- 6'-8" DOOR HT. AT THIRD FLR.
- FIXED GLASS AND SINGLE HUNG VINYL WINDOWS (VERIFY W/ BLDG.)
- 8'-0" HEADER HT. AT FIRST FLR.
- 7'-0" HEADER HT. AT SECOND FLR.
- 6'-8" HEADER HT. AT THIRD FLR. (SEE FLR. PLAN)
- ALL BEDROOM WINDOWS TO BE 44" A.F.F. (MAX.)
- 24" HIGH x 20" WIDE (MIN) OPENING WITH 5.7 SQ. FT. (MIN) NET CLEAR OPENING WHEN DOORS ARE USED FOR EMERGENCY EGRESS, IT SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF KEYS OR TOOLS.
- ALL BEDROOM WDM @ 2ND FLR. TO BE MIN. 24" A.F.F.
- ALL GLAZING WITHIN HAZARDOUS LOCATIONS SHALL HAVE SAFETY GLASS IN COMPLIANCE WITH R308 (IRC 2006).

- ALL EGRESS DOORS & WINDOWS SHALL HAVE LOCKS ALLOWING EGRESS WITHOUT THE USE OF A KEY AND MEET R310 & 311.
- SMOKE DETECTORS REQUIRE 110V CONNECTION TO HOUSE WIRING AND BATTERY BACKUP. LOCATIONS TO COMPLY WITH R313 (IRC 2006). MULTIPLE UNITS SHALL BE INTERCONNECTED TO ACTIVATE ALL ALARMS. CONSULT MANUF. RECOMMENDATIONS FOR DISTANCE FROM R/A.
- LOCATE GAS WATER HEATER IN ATTIC ABV. LOAD BEARING PARTITION IN PAN WITH RELIEF DRAIN LINE TO OUTSIDE. INSTALLATION MUST COMPLY WITH MANUF. INSTRUCT. AND ALL APPL. CODES.
- PROVIDE VENTILATION AT ALL BATHS AND UTILITY ROOMS THROUGH NATURAL OR MECH. MEANS AND COMPLY WITH R303 (IRC 2006).
- CHIMNEYS TO BE 3'-0" MIN. ABV. THE HIGHEST POINT WHERE THEY PASS THROUGH THE ROOF AND AT LEAST 2'-0" MIN. HIGHER THAN ANY PORTION OF THE ROOF WITHIN A 10'-0" RADIUS
- ALL PREFAB FIREPLACES TO BE UL & IRC 2006 APPROVED & A COPY OF THE MANUF. INSTALLATION MANUAL SHALL BE AVAILABLE @ JOB SITE FOR INSPECTOR'S REVIEW
- A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED IN BEDROOMS WHEN A GAS FIREPLACE IS INSTALLED AND OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS WHICH FUEL-FIRED APPLIANCES ARE INSTALLED & OR HAVE ATTACHED GARAGES.

- STAIRWAYS SHALL COMPLY WITH R311 (IRC 2006) SEE DETAIL SHT.
- HANDRAILS TO BE 34" TO 38" ABV. NOSE OF TREAD
- ALL GUARDRAILS AND HANDRAILS SHALL COMPLY WITH R311 (IRC 2006)
- GUARDRAILS TO BE 36" A.F.F. (MIN) WITH BALUSTERS AT 4" O.C. MAX. PER R311 & 312 (IRC 2006) SEE DETAIL SHT.
- HANDGRIPPING PORTION OF HANDRAILS SHALL BE NOT LESS THAN 1 1/4" NOT MORE THAN 2" IN CROSS SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AND EQUIV. GRIPPING SURFACE PER R311 (IRC 2006)
- ENCLOSE UNDERSIDE OF STAIRWELL WITH 5/8" TYPE "X" FIRE CODE GYP. BOARD
- SIZE AND NUMBER OF NAILS CONNECTING WOOD MEMBERS SHALL COMPLY WITH IRC 2006 TABLE R602.3 (1) & 3 (2) (OR EQ.) REFER TO STANDARD DETAIL SHEET
- DISAPPEARING STAIRS TO BE MIN. 22" x 30" CLEAR OPENING (30" x 54" R.O.) & SHALL COMPLY WITH R601 (IRC 2006). INDIVIDUAL STAIR TREADS SHALL BE DESIGNED FOR UNIFORMLY DISTRIBUTED LIVE LOAD OR A 350 LB CONCENTRATED LOAD ACTING OVER AN AREA OF 4 SQ. INCHES, WHICHEVER PRODUCES THE GREATEST STRESS
- ATTIC ACCESS/DISAPPEARING STAIRS IN THE GARAGE CLG. MAY BE INSTALLED PROVIDED THE EXPOSED PANEL IS NOT LESS THAN 3/8" THICK FIRE RETARDANT TREATED PLYWOOD, 1/2" SHEET ROCK OR COVERED W/ A MIN. OF 16ga SHEET METAL. ROUGH OPENING SHALL NOT BE LESS THAN 22"x30" AS PER IRC 2006 SECTION R607.1. COMPLY W/ R304.2.

bath schedule

- TILE FLOORS (AT NET AREAS)
- TILE WALLS AT TUB (SECONDARY BATHS)
- TILE FULL AT SHOWER
- SOLID SURFACE COUNTER TOPS AND SPLASHES
- ALL GLASS AT TUBS AND SHOWERS SHALL BE TEMPERED SAFETY GLASS AND MUST COMPLY WITH R308 (IRC 2006)
- SHOWER STALLS AND TUB (WITH SHOWER HEADS) WALLS TO BE FINISHED WITH NON ABSORBENT SURFACE TO A HT. OF NOT LESS THAN 12" ABV. DRAIN INLET OVER CONCRETE BACKERBOARD R307.
- ALL PLUMBING FIXTURES SHALL BE SPACED PER R307.2 (IRC 2006)

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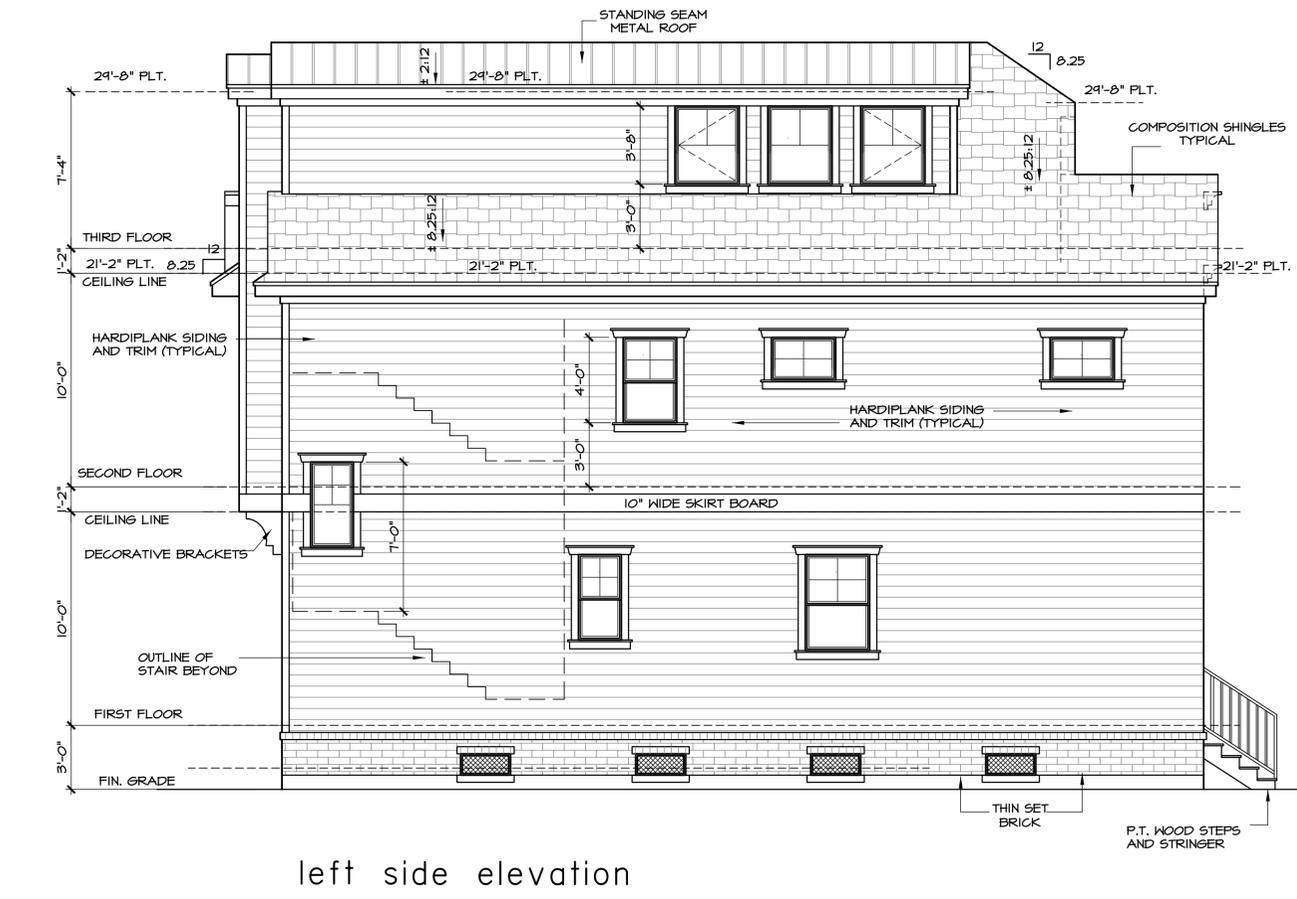
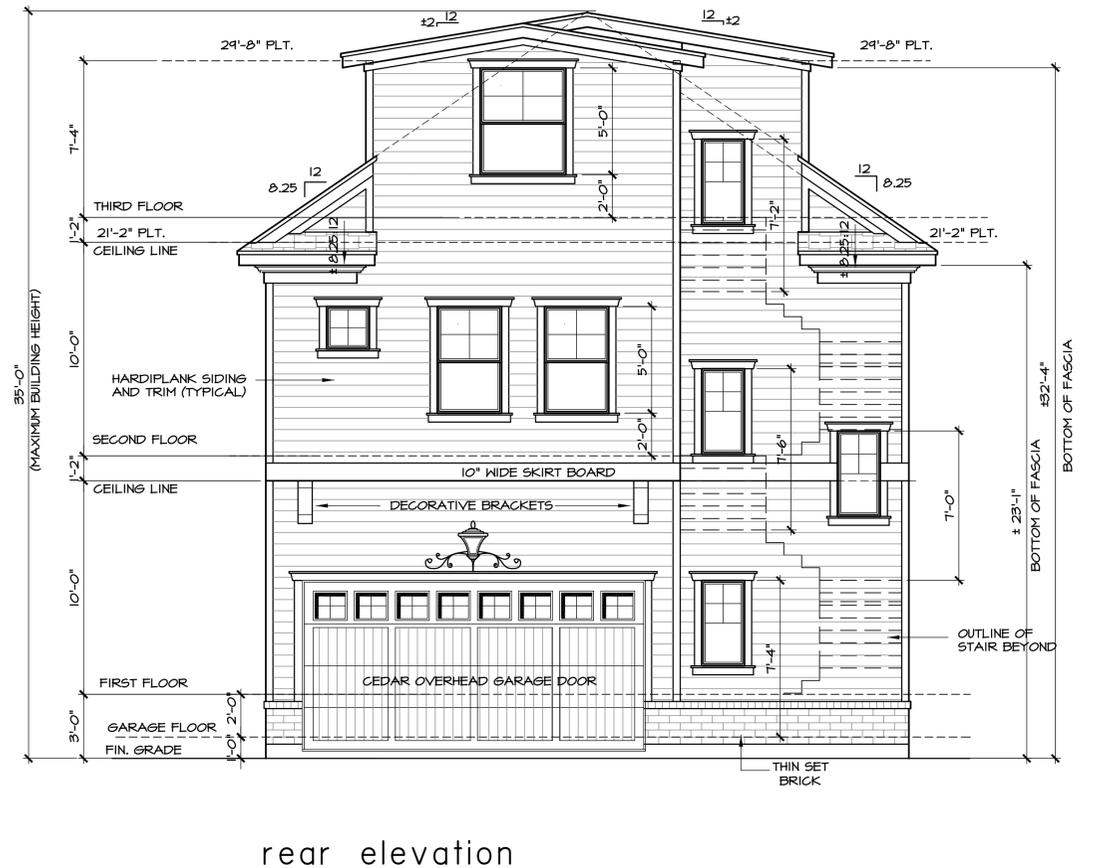
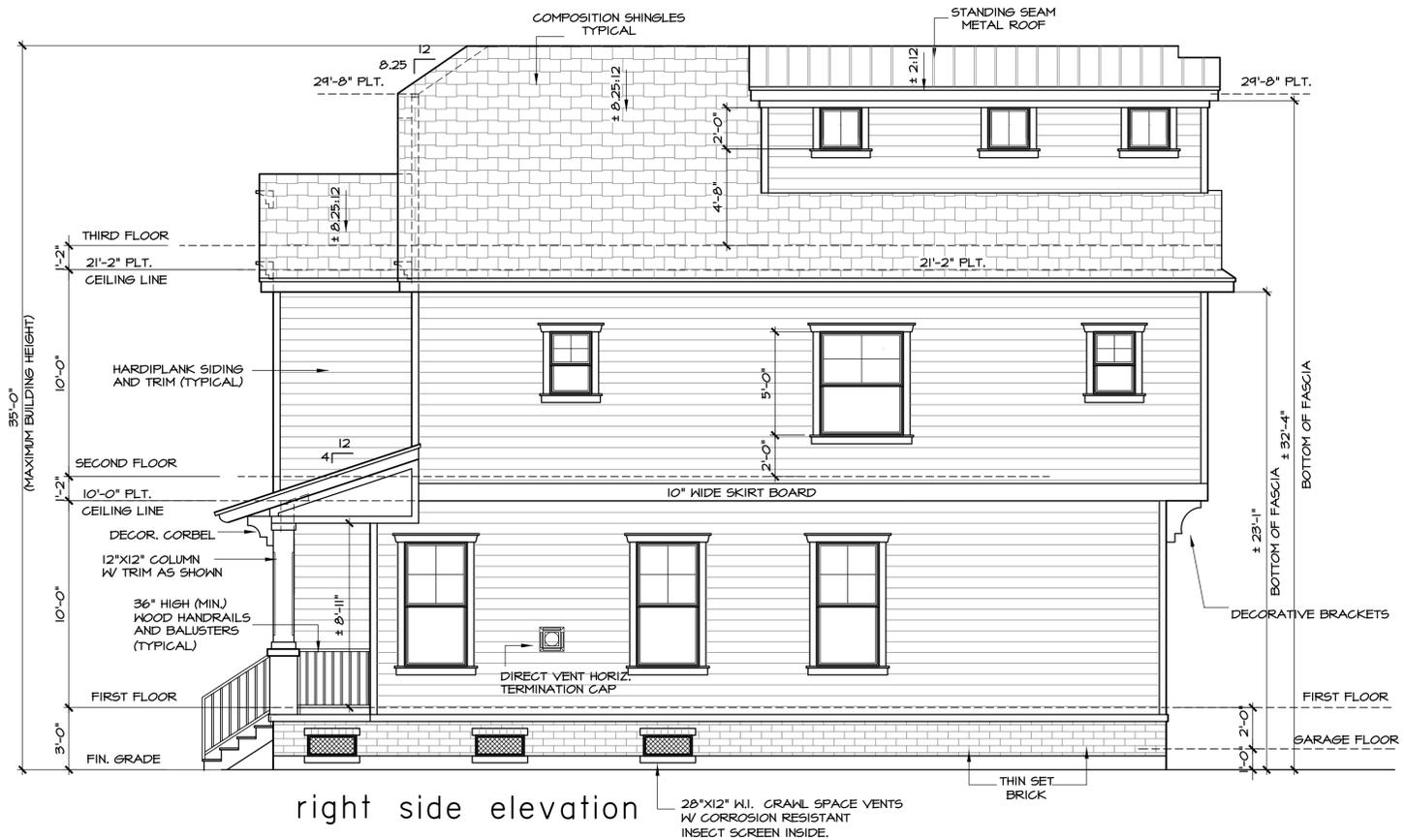
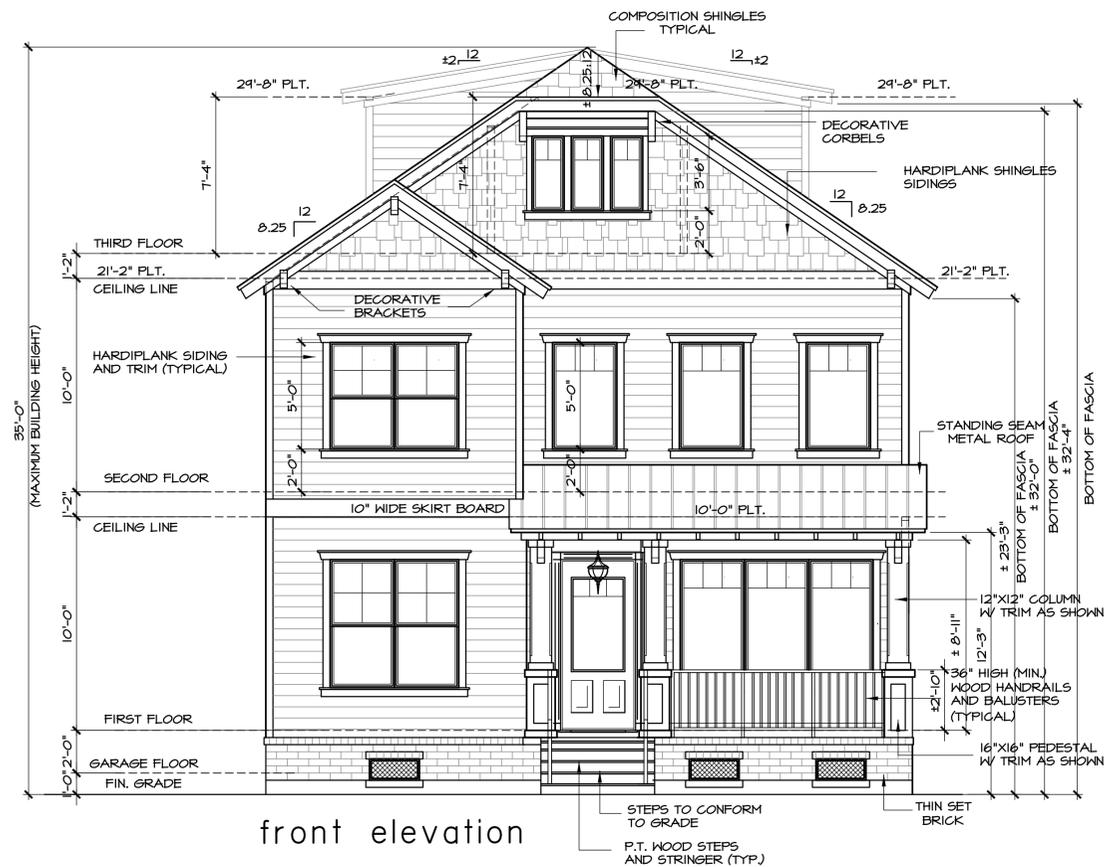
square footage

FIRST FLOOR	714
SECOND FLOOR Includ. stair	1245
THIRD FLOOR	603
TOTAL LIVING AREA	2627
PORCH	85
GARAGE	428
TOTAL COVERED AREA	3140

unit A1 floor plans

SCALE: 1/4" = 1'-0"

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notes

SECTION R408 - UNDER-FLOOR SPACE:

THE UNDER FLOOR SPACE SHALL BE PROVIDED W VENTILATION OPNGS. THROUGH FOUNDATION WALLS OR EXTERIOR WALLS. THE MIN. NET AREA OF VENTILATION OPNGS. SHALL NOT BE LESS THAN 1 SQ. FOOT FOR EACH 150 SQ. FOOT OF UNDER FLOOR SPACE AREA. SUCH VENTILATION OPNGS. SHALL BE WITHIN 3 FEET OF EACH CORNER OF BLDG. OTHER PROVISIONS PER I.R.C. CODE.

elevation notes

- OVERHANGS TO BE 1'-4" FROM EXTERIOR FRAME AT 0.25:12 SLOPE, OTHERS TO MATCH U.O.N. (SEE ROOF PLAN)
- RAKES TO BE 0" FROM EXTERIOR WALL
- PROVIDE SPARK ARRESTORS AT CHIMNEYS TO COMPLY WITH IRC 2006, WITH 1/2" GAP MAX.
- GUTTERS AND DOWNSPOUTS PER BUILDER.
- WINDOW SILLS SHALL BE 24" A.F.F. MIN ABV THE FIRST FLOOR. WINDOWS LESS THAN 24" A.F.F. SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4" DIA. SPHERE CANNOT PASS.

unit A1
 exterior elevations
 SCALE: 1/4" = 1'-0"

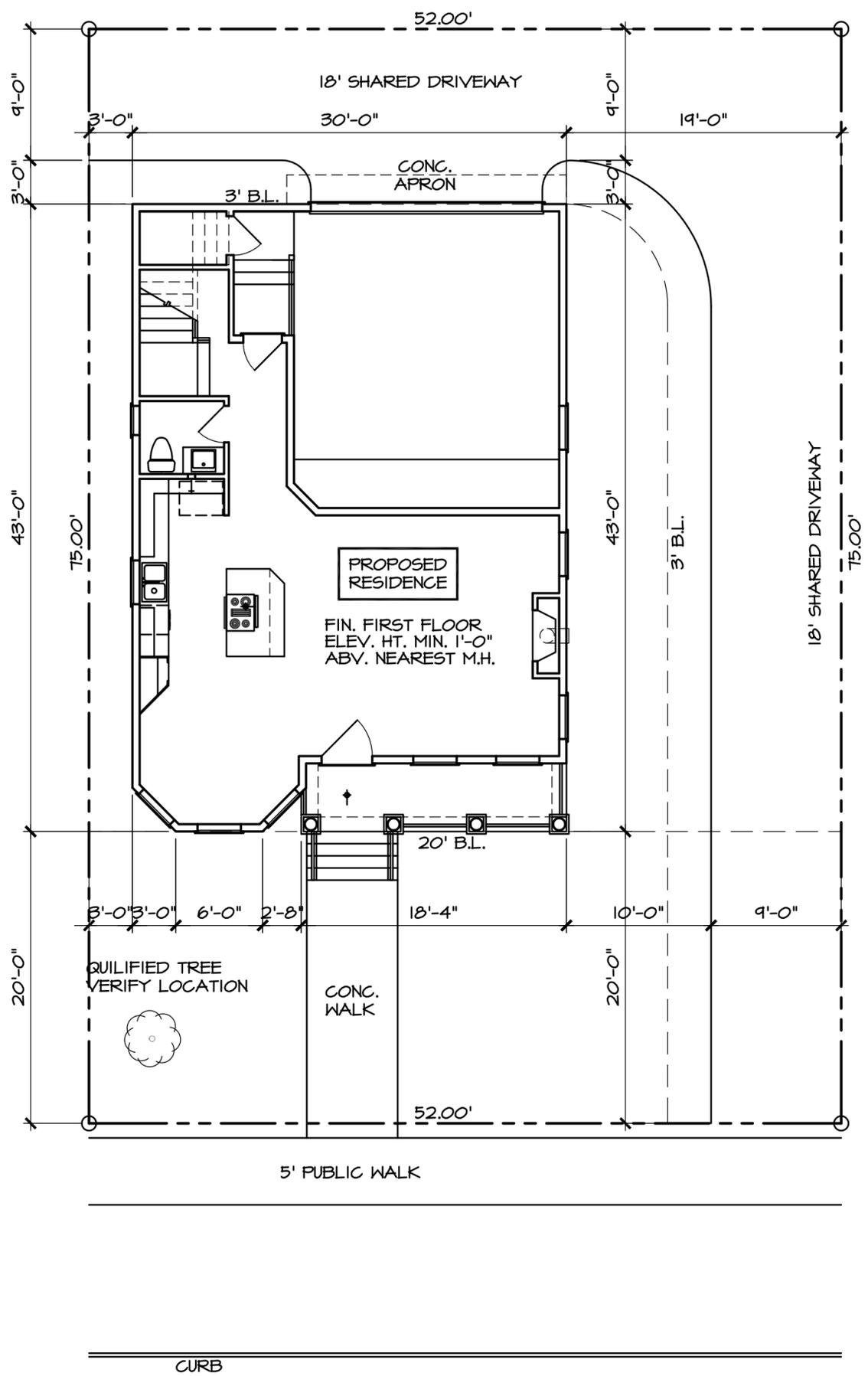
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REFERENCE:

VERIFY SETBACKS

3/24/15 D.B.: jls.

JOB # 130172



note:
OWNER/BUILDER TO APPROVE LOCATION OF HOUSE ON LOT, AND TO VERIFY ALL EASEMENTS AND BUILDING LINES, PRIOR TO START OF CONSTRUCTION.

- FINISHED FLOOR ELEVATION TO BE 1'-0" (MIN.) ABOVE NEAREST MANHOLE COVER SERVING THIS RESIDENCE OR 4" ABOVE THE CROWN OF THE STREET WHICH EVER IS GREATER. R401.5 LOTS SHALL BE GRADED TO PROVIDE A POSITIVE DRAINAGE PATH AWAY FROM FOUNDATIONS. THE FALL SHALL BE A MIN OF 6" IN THE FIRST 10' (5%) R401.3

DRAINAGE: R401.3 EXCEPTION 2006 IRC IF A SWALE OR DRAIN IS USED DUE TO A PHYSICAL BARRIER OR LOT LINE THE PLANS MUST INDICATE THE POSITIVE DRAINAGE DETAILS. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.

- DRAINAGE DESIGN IS BEYOND THE SCOPE OF WORK OF THIS FIRM. GREAT CARE SHOULD BE TAKEN IN EVALUATING THE DRAINAGE REQUIREMENTS.

430 Marshall St.

R.O.W.
MANHOLE ELEV. = 0.00"
(ASSUMED)

COVERAGE BREAKDOWN		
LOT AREA	3 9 0 0	SQ. FT.
HOUSE PAD	1 2 8 1	SQ. FT.
BUILDING COV.	3 2. 8 4	%(60% MAX)
DRIVE/WALK	1 2 3 8	SQ. FT.
TOTAL COV.	2 5 1 9	SQ. FT.
IMPERVIOUS COV.	6 4. 5 8	%(65% MAX)

lot 2
block 1
section -
Carnegie Oaks @
Westmoreland
site plan

SCALE: 1/8" = 1'-0"

PLAN NO.	FLYSHEET
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unit A-1

front elevation

SCALE: 1/4" = 1'-0"

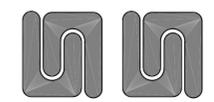
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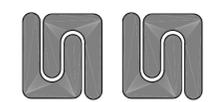
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Carnegie Homes

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*Sullivan
Henry
Oggero*

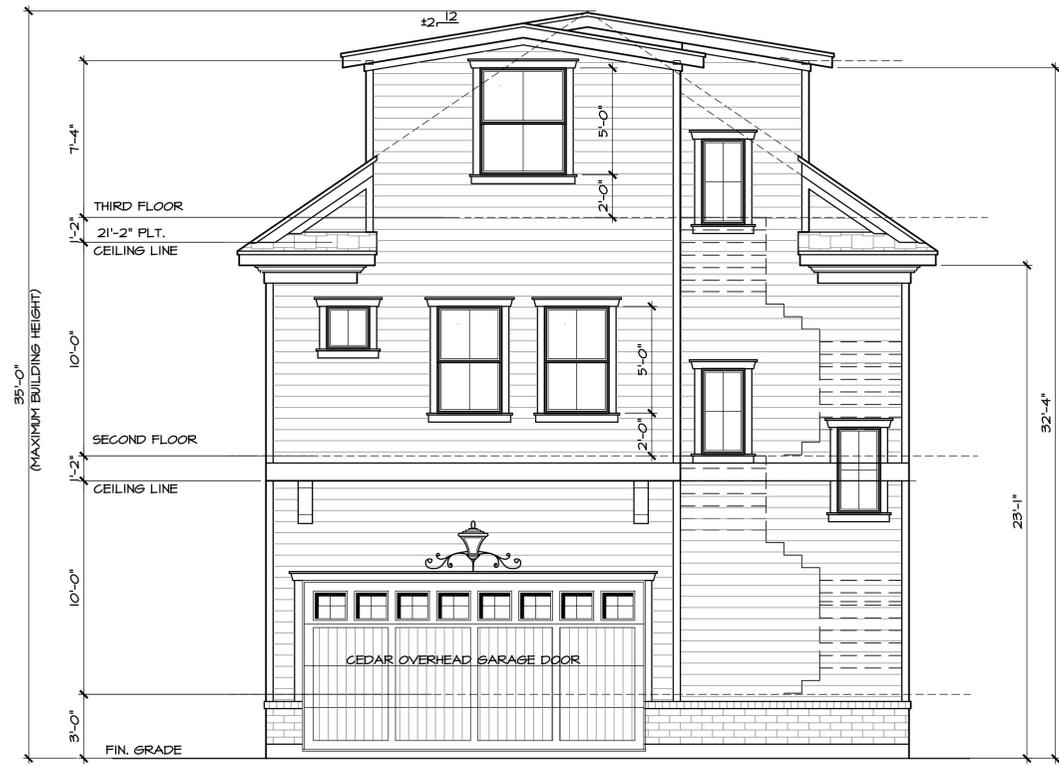




front elevation



right side elevation



rear elevation

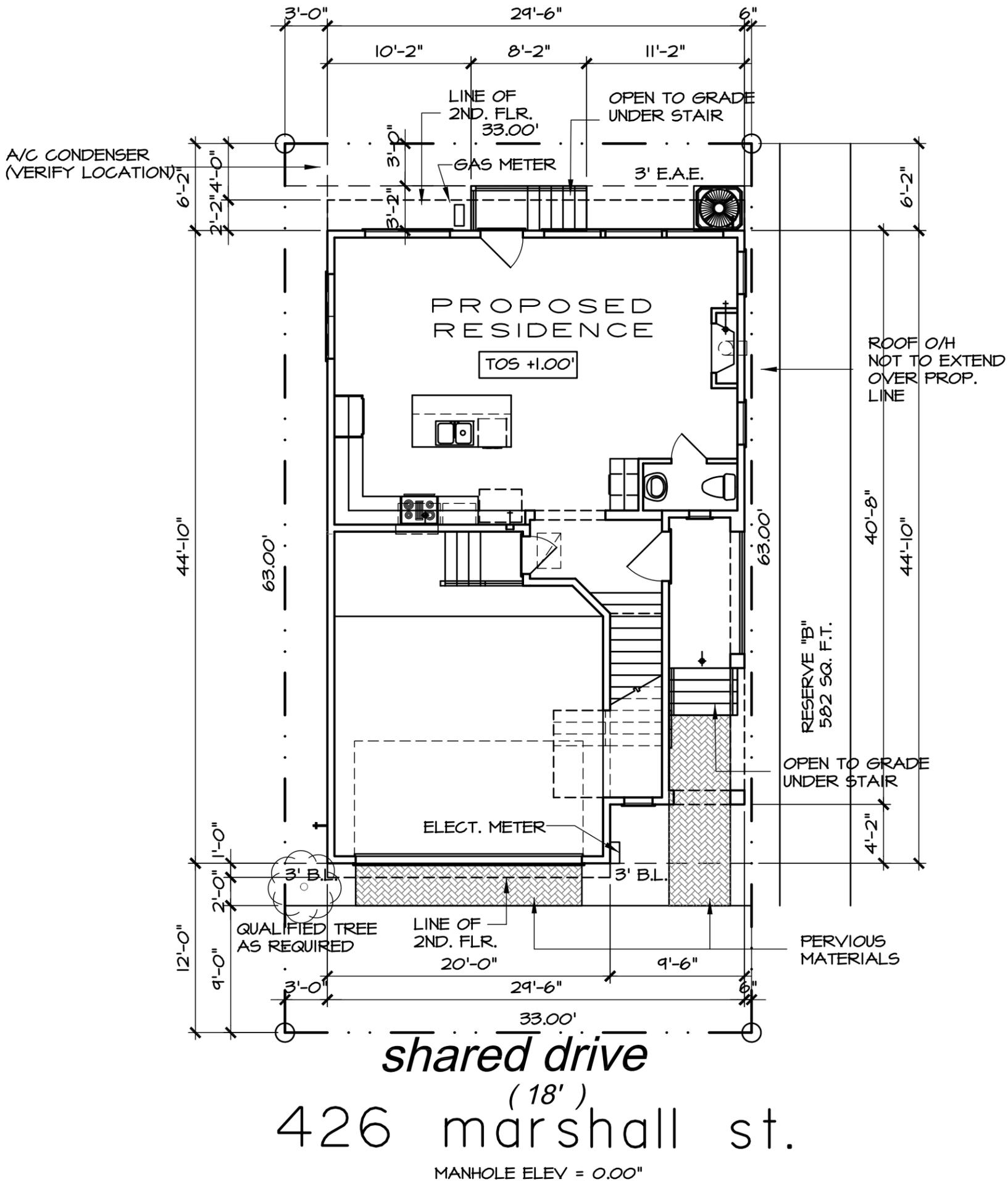


left side elevation

unit A-1
exterior elevations

SCALE: 1/4" = 1'-0"

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shared drive
(18')
426 marshall st.
MANHOLE ELEV = 0.00"

lot and building coverage calculations

MAXIMUM LOT COVERAGE = 75 %
MAXIMUM BLDG. COVERAGE = 60 %

LOT AREA	2079	SQ. FT.
HOUSE PAD	1231	SQ. FT.
SHARED DRIVE	297	SQ. FT.
TOTAL PAD	1528	SQ. FT.

LOT COVERAGE	73.49 %
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LOT AREA	2079	SQ. FT.
HOUSE PAD	1231	SQ. FT.

BLDG. COVERAGE	59.21 %
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LEGEND:

- IMPERVIOUS MATERIAL
- PERVIOUS MATERIAL (114 S.F.)

lot 6
block 1
section 9

note:

OWNER/BUILDER TO APPROVE LOCATION OF HOUSE ON LOT, AND TO VERIFY ALL EASEMENTS AND BUILDING LINES, PRIOR TO START OF CONSTRUCTION.

- 5' PUBLIC WALK AS PER SUBDIVISION
- FINISHED FLOOR ELEVATION TO BE 1'-0" (MIN.) ABOVE NEAREST MANHOLE COVER SERVING THIS RESIDENCE. ABOVE INFORMATION IS BASED ON AN ASSUMED MANHOLE COVER ELEVATION OF +14". ACTUAL SITE VERIFICATION BY BUILDER SHALL BE REQUIRED.
- DRAINAGE DESIGN IS BEYOND THE SCOPE OF WORK OF THIS FIRM. GREAT CARE SHOULD BE TAKEN IN EVALUATING THE DRAINAGE REQUIREMENTS.

carnegie oaks
at westmoreland
site plan

SCALE: 1/8" = 1'-0"

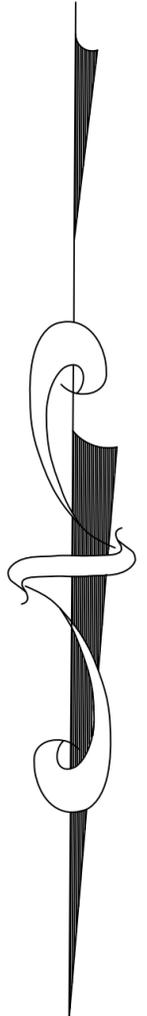
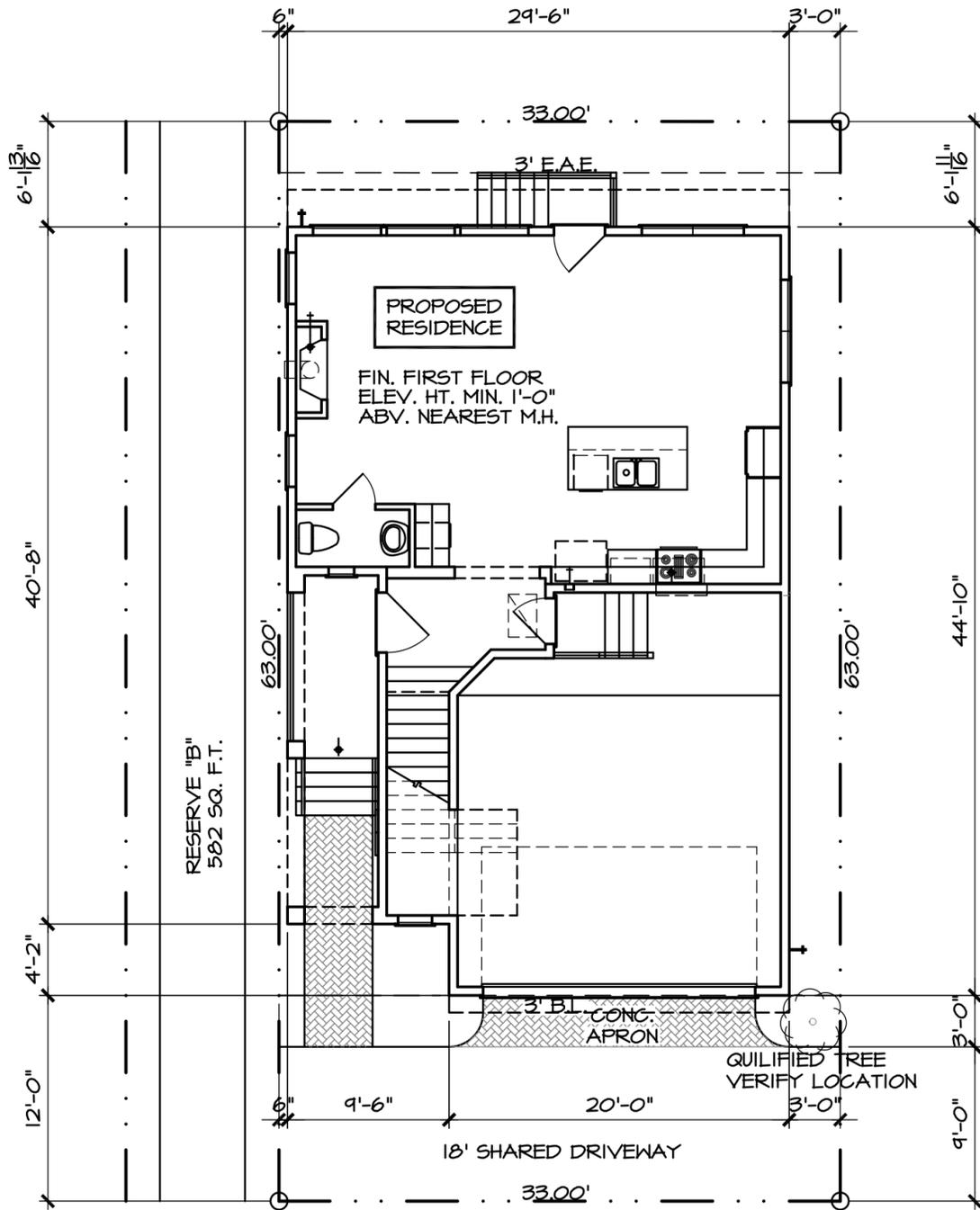
REFERENCE:

VERIFY SETBACKS

D.B.: jls

3/24/15

JOB # 130407



424 Marshall St.

R.O.W.
MANHOLE ELEV. = 0.00"
(ASSUMED)

COVERAGE BREAKDOWN

LOT AREA	2 0 7 9	SQ. FT.
HOUSE PAD	1 2 3 1	SQ. FT.
BUILDING COV.	5 9. 2 1	%(60% MAX)
DRIVE/WALK	2 9 6	SQ. FT.
TOTAL COV.	1 5 2 7	SQ. FT.
IMPERVIOUS COV.	7 3. 4 4	%(75% MAX)

lot 5
block 1
section -
Carnegie Oaks @
Westmoreland
site plan

SCALE: 1/8" = 1'-0"

note:

OWNER/BUILDER TO APPROVE LOCATION OF HOUSE ON LOT, AND TO VERIFY ALL EASEMENTS AND BUILDING LINES, PRIOR TO START OF CONSTRUCTION.

- FINISHED FLOOR ELEVATION TO BE 1'-0" (MIN.) ABOVE NEAREST MANHOLE COVER SERVING THIS RESIDENCE OR 4" ABOVE THE CROWN OF THE STREET WHICH EVER IS GREATER. R401.5 LOTS SHALL BE GRADED TO PROVIDE A POSITIVE DRAINAGE PATH AWAY FROM FOUNDATIONS. THE FALL SHALL BE A MIN OF 6" IN THE FIRST 10' (5%) R401.3

DRAINAGE: R401.3 EXCEPTION 2006 IRC IF A SWALE OR DRAIN IS USED DUE TO A PHYSICAL BARRIER OR LOT LINE THE PLANS MUST INDICATE THE POSITIVE DRAINAGE DETAILS. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.

- DRAINAGE DESIGN IS BEYOND THE SCOPE OF WORK OF THIS FIRM. GREAT CARE SHOULD BE TAKEN IN EVALUATING THE DRAINAGE REQUIREMENTS.

PLAN NO. 2647 (Plan B)

FLYSHEET



unit B1

front elevation

SCALE: 1/4" = 1'-0"

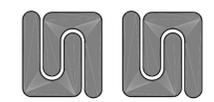
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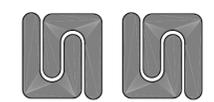
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THE DRAWINGS ARE OWNED BY THE PROPERTY OF THE DESIGNERS AND HERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF THE SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF THE DESIGNERS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.

Carnegie Homes

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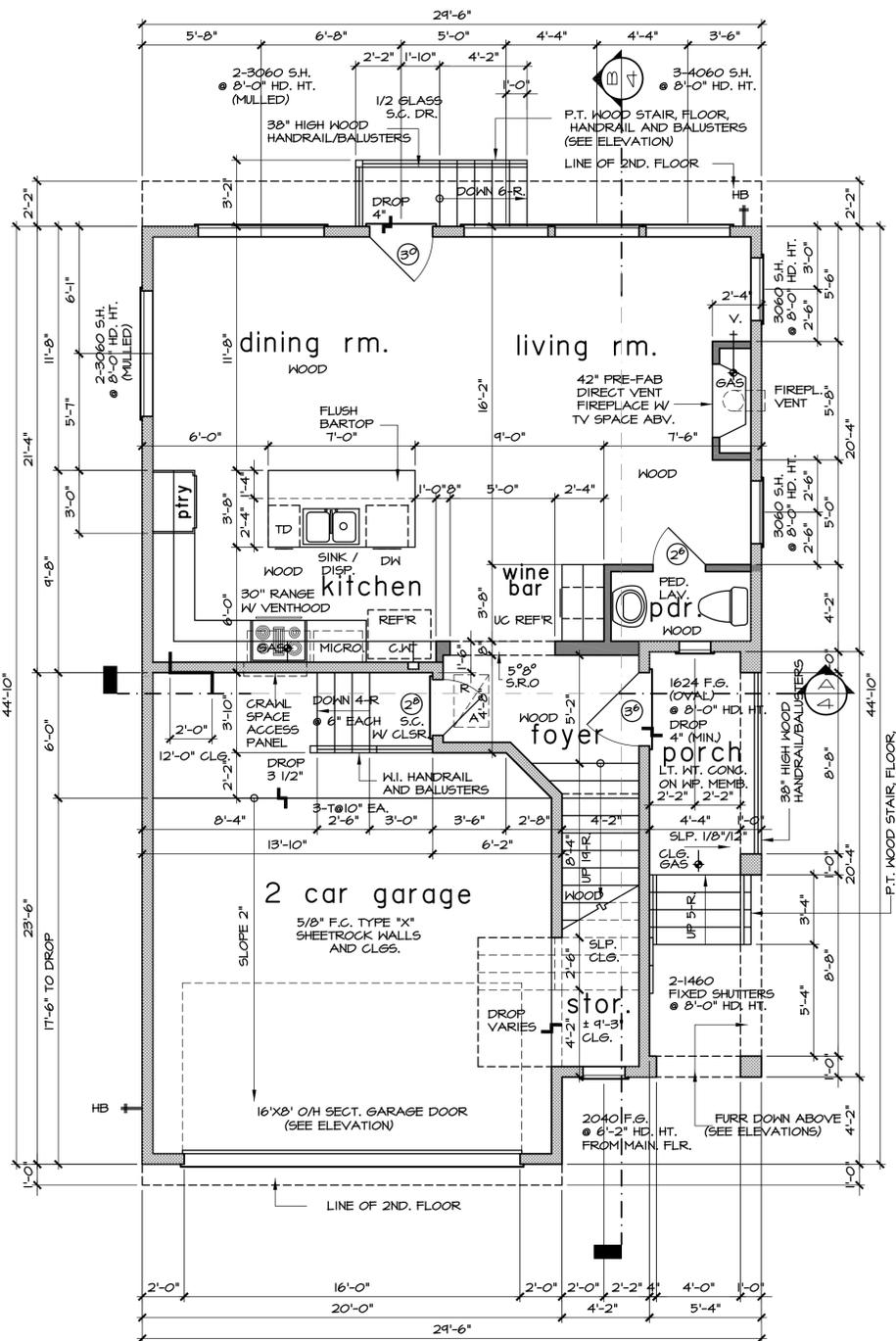


*Sullivan
Henry
Oggero*

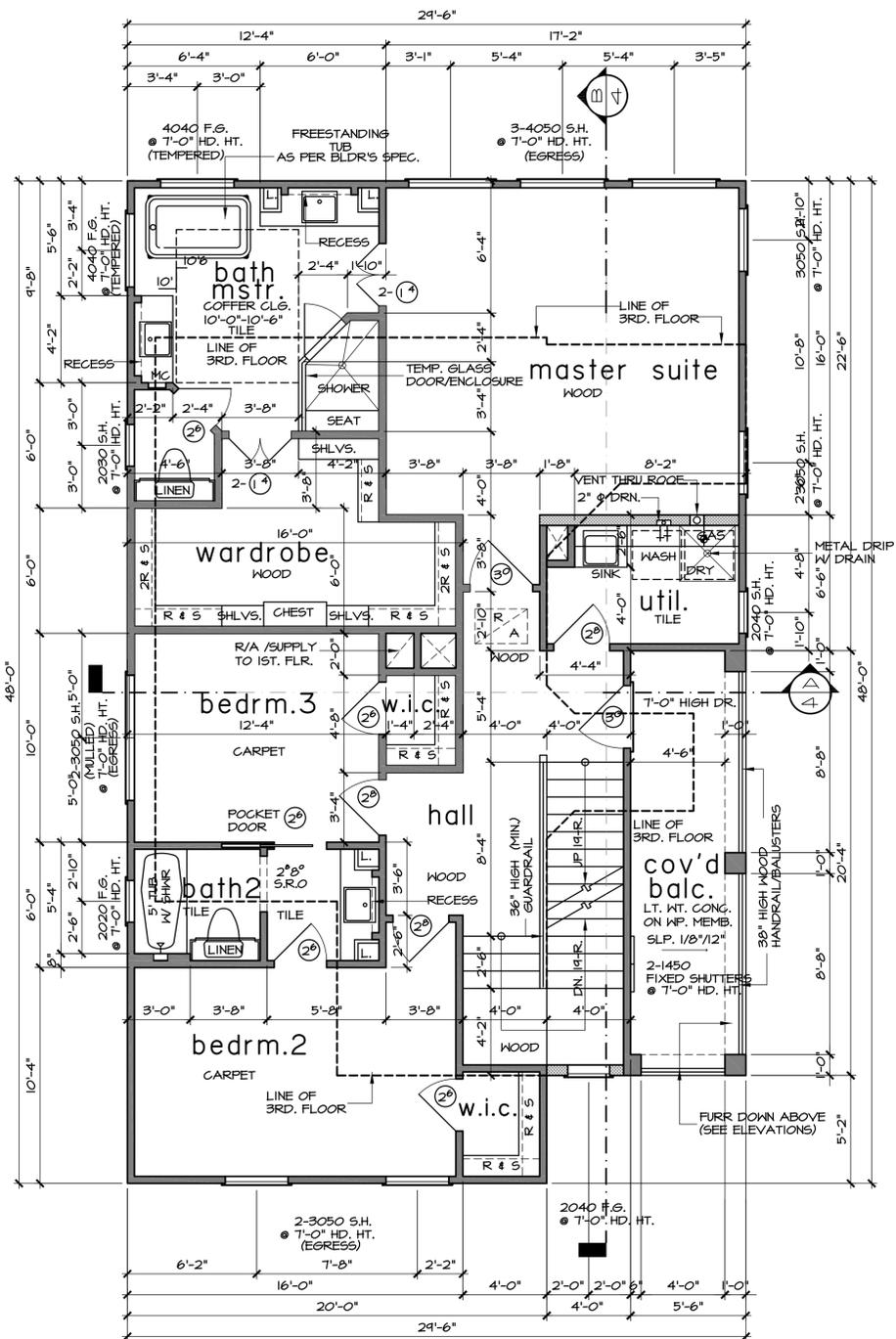


BUILDING DESIGNERS

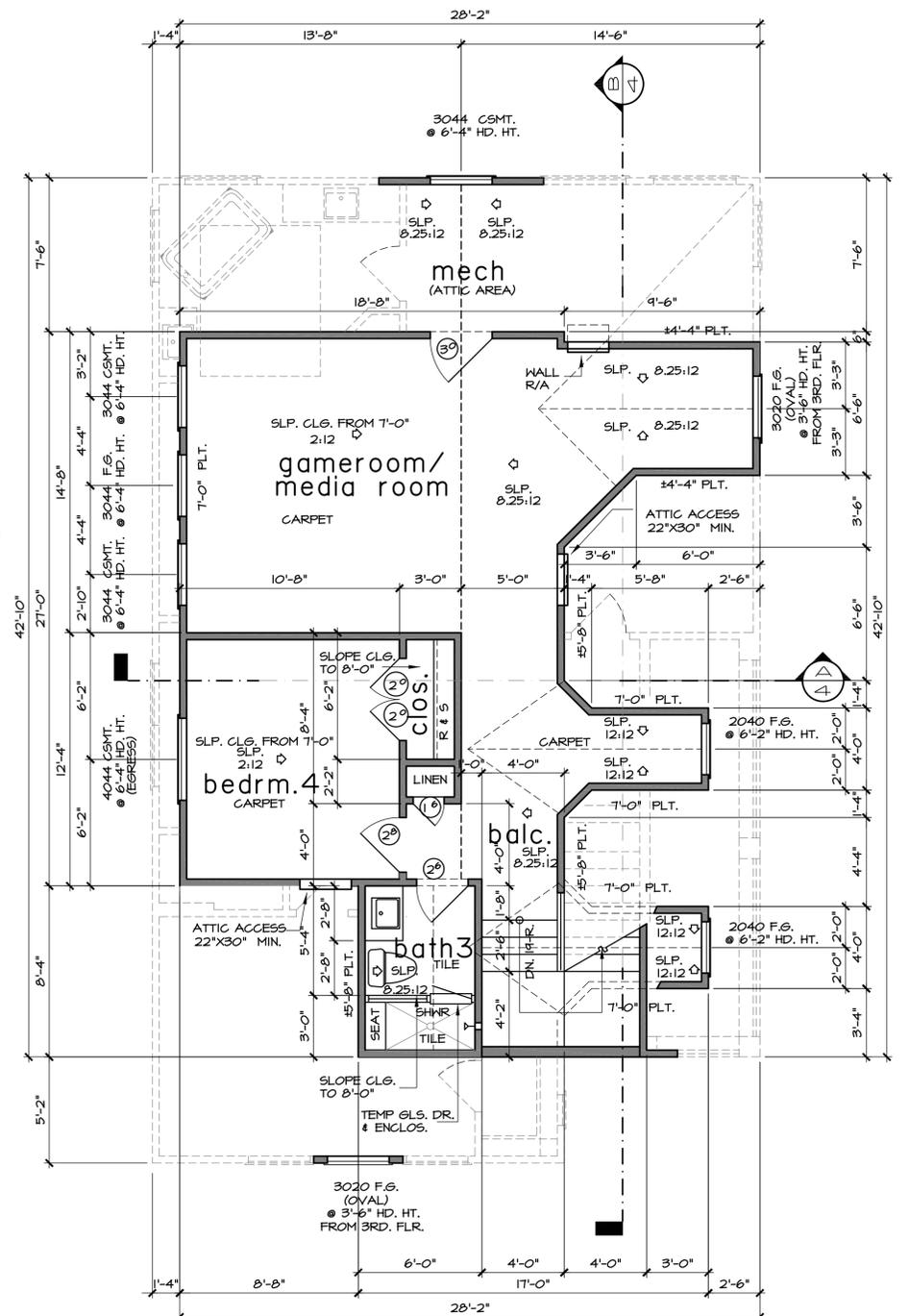




first floor plan (10'-0" ceiling)
 LEGEND: 2x6 WALLS



second floor plan (10'-0" ceiling)
 LEGEND: 2x6 WALLS



third floor plan (ceiling ht. see flr. plan)
 LEGEND: 2x6 WALLS

unless otherwise noted

- CARPET FLOORS
- GYP. BOARD WALLS AND CEILING
- 10'-0" CLG. HT. AT FIRST FLOOR
- 10'-0" CLG. HT. AT SECOND FLOOR
- CLG. HT. AT THIRD FLOOR (SEE FLOOR PLAN)
- ALL ANGLES TO BE 45 DEGREES
- 1 3/8" H.C. INTERIOR DOORS (6 PANEL)
- 1 3/4" S.C. EXTERIOR DOORS (SEE ELEVATION)
- 8'-0" DOOR HT. AT FIRST FLR.
- 8'-0" DOOR HT. AT SECOND FLR.
- 6'-8" DOOR HT. AT THIRD FLR.
- FIXED GLASS AND SINGLE HUNG VINYL WINDOWS (VERIFY W/ BLDGR.)
- 8'-0" HEADER HT. AT FIRST FLR.
- 7'-0" HEADER HT. AT SECOND FLR.
- 6'-8" HEADER HT. AT THIRD FLR. (SEE FLR. PLAN)
- ALL BEDROOM WINDOWS TO BE 44" A.F.F. (MAX)
- 24" HIGH x 20" WIDE (MIN) OPENING WITH 5.7 SQ. FT. (MIN) NET CLEAR OPENING
- WHEN DOORS ARE USED FOR EMERGENCY EGRESS, IT SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF KEYS OR TOOLS.
- ALL BEDROOM WIDW @ 2ND FLR. TO BE MIN. 24" A.F.F.
- ALL GLAZING WITHIN HAZARDOUS LOCATIONS SHALL HAVE SAFETY GLASS IN COMPLIANCE WITH R308 (IRC 2006)

- ALL EGRESS DOORS & WINDOWS SHALL HAVE LOCKS ALLOWING EGRESS WITHOUT THE USE OF A KEY AND MEET R310 & 311.
- SMOKE DETECTORS REQUIRE 110V CONNECTION TO HOUSE WIRING AND BATTERY BACKUP. LOCATIONS TO COMPLY WITH R313 (IRC 2006). MULTIPLE UNITS SHALL BE INTERCONNECTED TO ACTIVATE ALL ALARMS. CONSULT MANUF. RECOMMENDATIONS FOR DISTANCE FROM R/A.
- LOCATE GAS WATER HEATER IN ATTIC ABV. LOAD BEARING PARTITION IN PAN WITH RELIEF DRAIN LINE TO OUTSIDE. INSTALLATION MUST COMPLY WITH MANUF. INSTRUCT. AND ALL APPL. CODES.
- PROVIDE VENTILATION AT ALL BATHS AND UTILITY ROOMS THROUGH NATURAL OR MECH. MEANS AND COMPLY WITH R303 (IRC 2006).
- CHIMNEYS TO BE 3'-0" MIN. ABV. THE HIGHEST POINT WHERE THEY PASS THROUGH THE ROOF AND AT LEAST 2'-0" MIN. HIGHER THAN ANY PORTION OF THE ROOF WITHIN A 10'-0" RADIUS
- ALL PREFAB FIREPLACES TO BE UL & IRC 2006 APPROVED & A COPY OF THE MANUF. INSTALLATION MANUAL SHALL BE AVAILABLE @ JOB SITE FOR INSPECTOR'S REVIEW
- A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED IN BEDROOMS WHEN A GAS FIREPLACE IS INSTALLED AND OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS WHICH FUEL-FIRED APPLIANCES ARE INSTALLED & OR HAVE ATTACHED GARAGES.

- STAIRWAYS SHALL COMPLY WITH R311 (IRC 2006) SEE DETAIL SHT.
- HANDRAILS TO BE 34" TO 38" ABV. NOSE OF TREAD
- ALL GUARDRAILS AND HANDRAILS SHALL COMPLY WITH R311 (IRC 2006)
- GUARDRAILS TO BE 36" A.F.F. (MIN) WITH BALUSTERS AT 4" O.C. MAX. PER R311 & 312 (IRC 2006) SEE DETAIL SHT.
- HANDGRIPPING PORTION OF HANDRAILS SHALL BE NOT LESS THAN 1 1/4" NOT MORE THAN 2" IN CROSS SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AND EQUIV. GRIPPING SURFACE PER R311 (IRC 2006).
- ENCLOSE UNDERSIDE OF STAIRWELL WITH 5/8" TYPE "X" FIRE CODE GYP. BOARD
- SIZE AND NUMBER OF NAILS CONNECTING WOOD MEMBERS SHALL COMPLY WITH IRC 2006 TABLE R602.3 (1) & 3 (2) (OR EQ.) REFER TO STANDARD DETAIL SHEET
- DISAPPEARING STAIRS TO BE MIN. 22" x 30" CLEAR OPENING (30" x 54" R.O.) & SHALL COMPLY WITH R307 (IRC 2006). INDIVIDUAL STAIR TREADS SHALL BE DESIGNED FOR UNIFORMLY DISTRIBUTED LIVE LOAD OR A 350 LB CONCENTRATED LOAD ACTING OVER AN AREA OF 4 SQ. INCHES, WHICHEVER PRODUCES THE GREATEST STRESS
- ATTIC ACCESS/DISAPPEARING STAIRS IN THE GARAGE CLG. MAY BE INSTALLED PROVIDED THE EXPOSED PANEL IS NOT LESS THAN 5/8" THICK FIRE RETARDANT TREATED PLYWOOD, 1/2" SHEET ROCK OR COVERED W/ A MIN. OF 1600 SHEET METAL. ROUGH OPENING SHALL BE NOT LESS THAN 22"x30" AS PER IRC 2006 SECTION R307.1. COMPLY W/ R304.2.

bath schedule

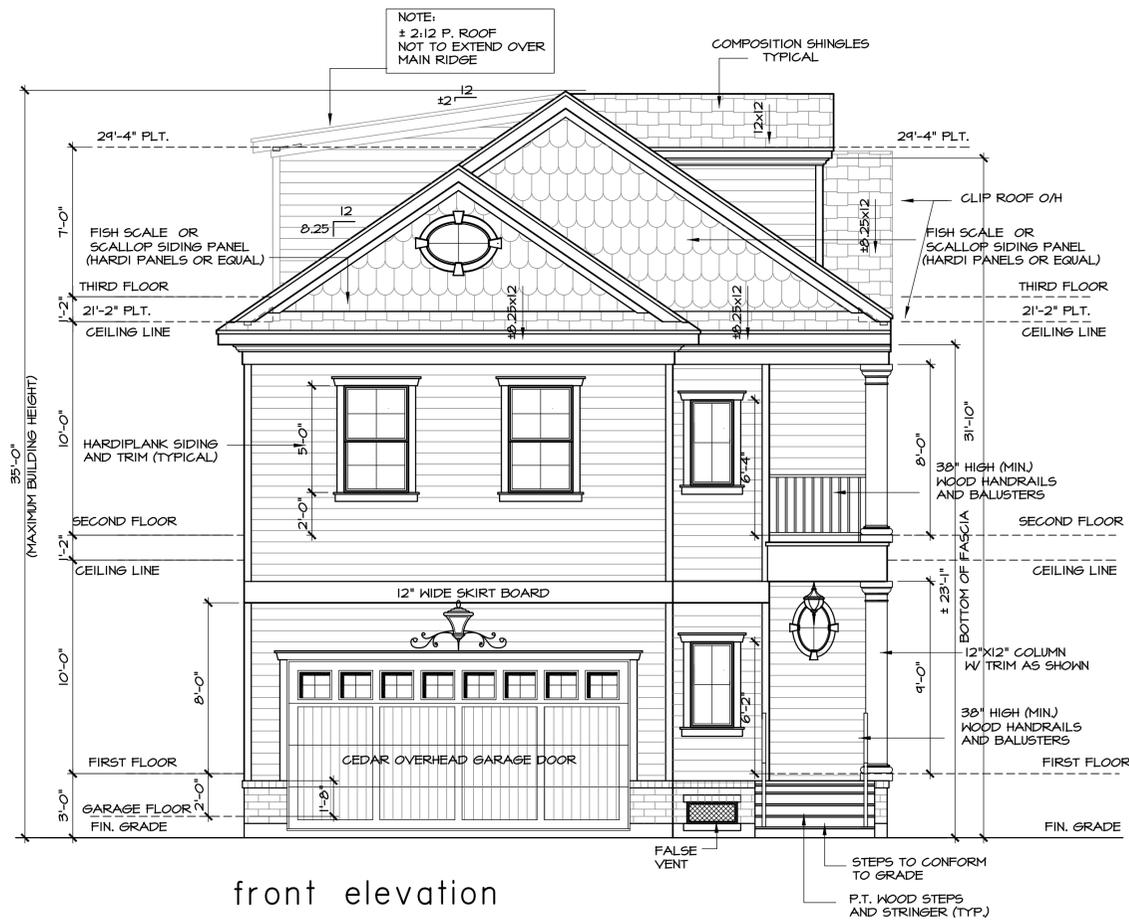
- TILE FLOORS (AT WET AREAS)
- TILE WALLS AT TUB (SECONDARY BATHS)
- TILE FULL AT SHOWER
- SOLID SURFACE COUNTER TOPS AND SPLASHES
- ALL GLASS AT TUBS AND SHOWERS SHALL BE TEMPERED SAFETY GLASS AND MUST COMPLY WITH R308 (IRC 2006)
- SHOWER STALLS AND TUB (WITH SHOWER HEADS) WALLS TO BE FINISHED WITH NON ABSORBENT SURFACE TO A HT. OF NOT LESS THAN 72" ABV. DRAIN INLET OVER CONCRETE BACKERBOARD R307.
- ALL PLUMBING FIXTURES SHALL BE SPACED PER R307.2 (IRC 2006)

square footage

FIRST FLOOR	7 0 7
SECOND FLOOR (INCLUDING STAIR)	1 2 5
THIRD FLOOR	6 8 5
TOTAL LIVING AREA	2 6 4 7
PORCH	5 7
GARAGE	4 6 7
COV'D BALCONY	1 1 1
TOTAL COVERED AREA	3 2 8 2

unit B1
 floor plans

SCALE: 1/4" = 1'-0"



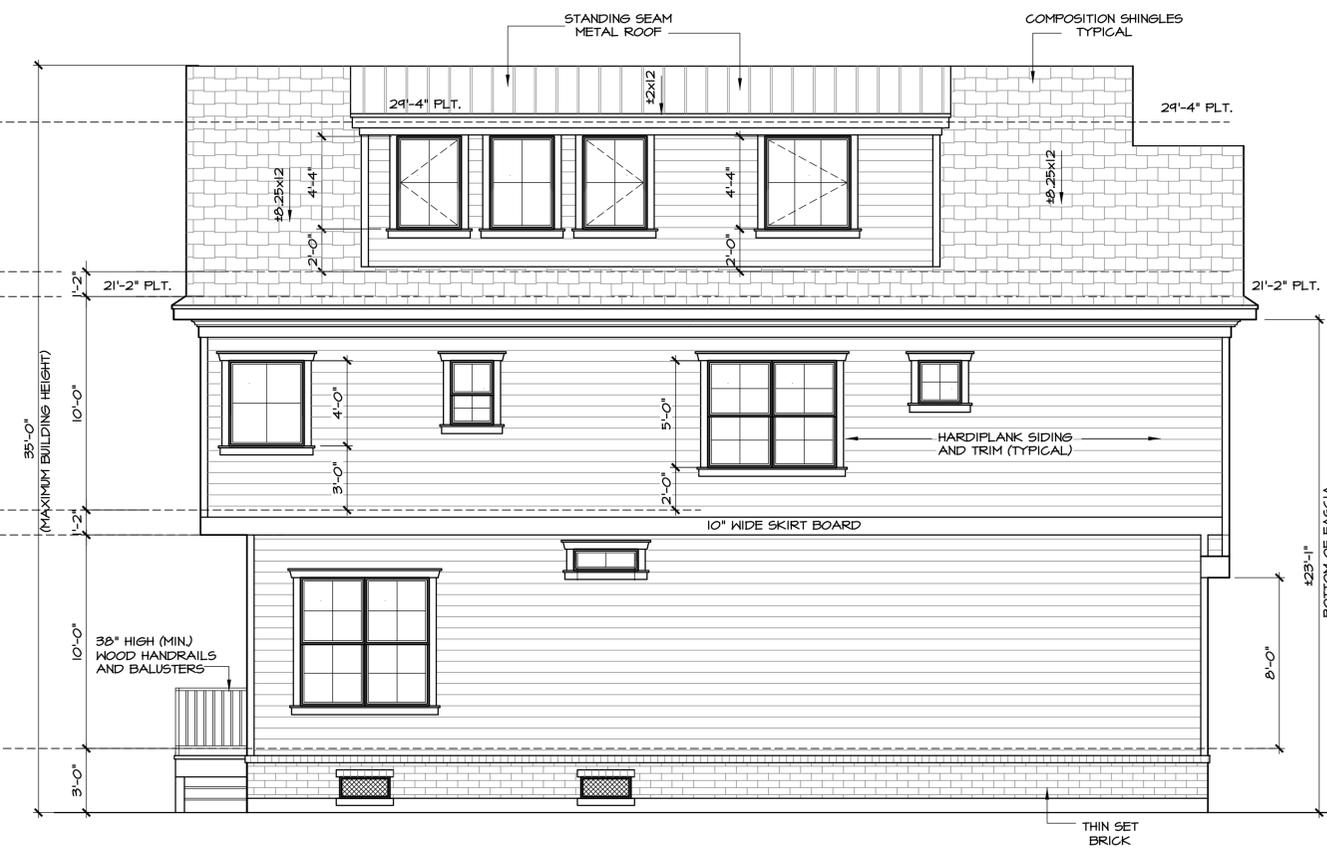
front elevation



right side elevation



rear elevation



left side elevation

notes

SECTION R408 - UNDER-FLOOR SPACE:

THE UNDER FLOOR SPACE SHALL BE PROVIDED W/ VENTILATION OPNGS. THROUGH FOUNDATION WALLS OR EXTERIOR WALLS. THE MIN. NET AREA OF VENTILATION OPNGS. SHALL NOT BE LESS THAN 1 SQ. FOOT FOR EACH 150 SQ. FOOT OF UNDER FLOOR SPACE AREA. SUCH VENTILATION OPNG. SHALL BE WITHIN 3 FEET OF EACH CORNER OF BLDG. OTHER PROVISIONS PER I.R.C. CODE.

elevation notes

- OVERHANGS TO BE 1'-4" FROM EXTERIOR FRAME AT 0.25:12 SLOPE, OTHERS TO MATCH U.O.N. (SEE ROOF PLAN)
- RAKES TO BE 0" FROM EXTERIOR WALL
- PROVIDE SPARK ARRESTORS AT CHIMNEYS TO COMPLY WITH IRC 2006, WITH 1/2" GAP MAX.
- GUTTERS AND DOWNSPOUTS PER BUILDER.
- WINDOW SILLS SHALL BE 24" A.F.F. MIN ABV THE FIRST FLOOR. WINDOWS LESS THAN 24" A.F.F. SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4" DIA. SPHERE CANNOT PASS.

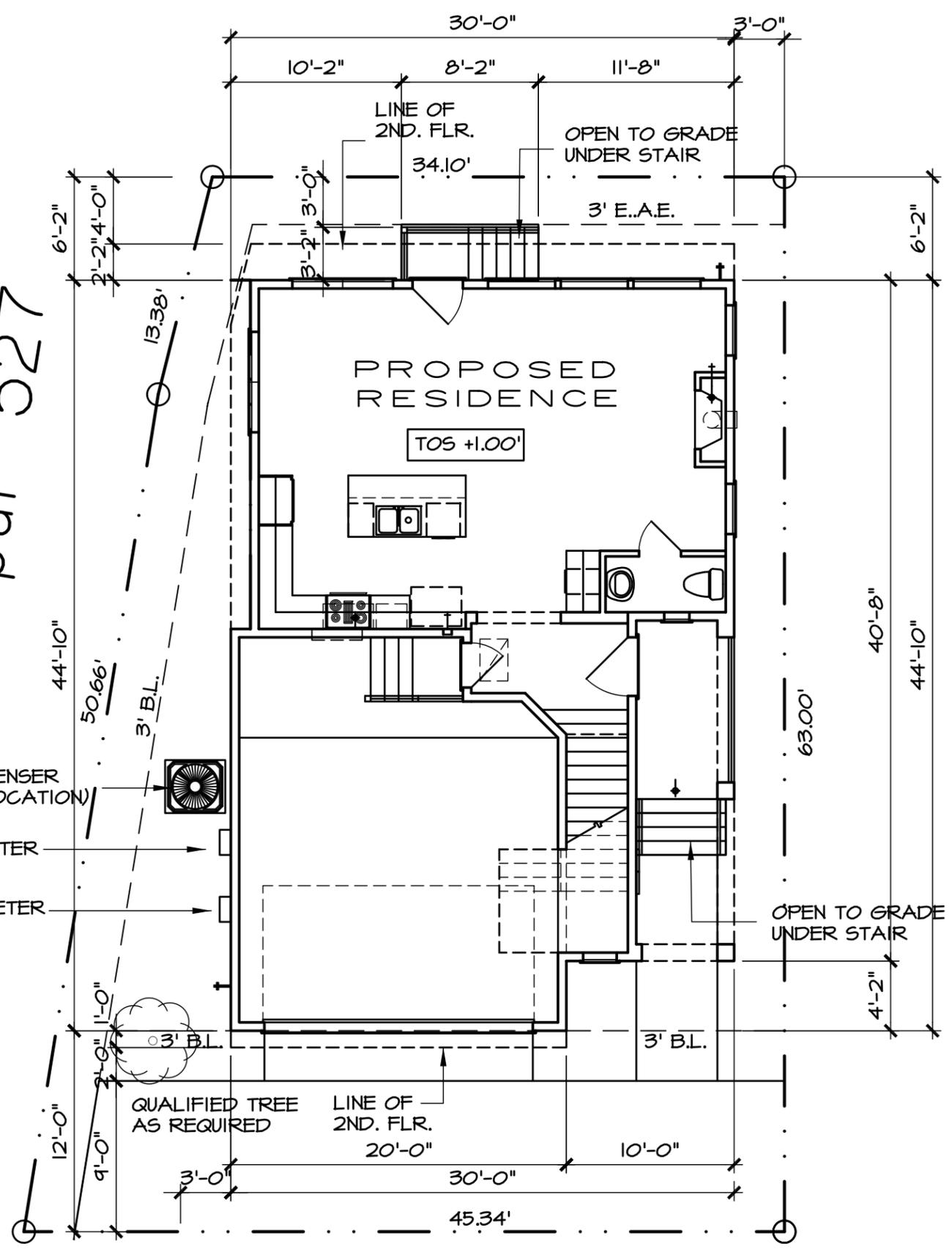
unit B1 exterior elevations

SCALE: 1/4" = 1'-0"

F:\Builder's Archives\Carnegie Homes\2013\130407 Carnegie - Marshall Street - Plan B1\30407 UNIT-B1 - E2.dwg, 12/22/2014 3:26:12 PM, Adobe PDF

P:\130407 UNIT - B2\130407 ST LOT 7 - 428 Marshall St.dwg, 12/22/2014 3:32:42 PM, Adobe PDF
 428 Marshall Street
 7/13/2013

spur 527



shared drive
 (18')
428 marshall st.
 MANHOLE ELEV = 0.00"

lot and building coverage calculations

MAXIMUM LOT COVERAGE = 75 %
 MAXIMUM BLDG. COVERAGE = 60 %

LOT AREA	2 5 3 1	SQ. FT.
HOUSE PAD	1 2 2 1	SQ. FT.
SHARED DRIVE/WALK	4 9 6	SQ. FT.
TOTAL PAD	1 7 1 7	SQ. FT.
LOT COVERAGE	6 7. 8 3 %	

LOT AREA	2 5 3 1	SQ. FT.
HOUSE PAD	1 2 2 1	SQ. FT.
BLDG. COVERAGE	4 8. 2 4 %	

lot 7
 block 1
 section 9

carnegie oaks
 at westmoreland
 site plan

note:

OWNER/BUILDER TO APPROVE LOCATION OF HOUSE ON LOT, AND TO VERIFY ALL EASEMENTS AND BUILDING LINES, PRIOR TO START OF CONSTRUCTION.

- PUBLIC WALK AS PER SUBDIVISION
- FINISHED FLOOR ELEVATION TO BE 1'-0" (MIN.) ABOVE NEAREST MANHOLE COVER SERVING THIS RESIDENCE.
- ABOVE INFORMATION IS BASED ON AN ASSUMED MANHOLE COVER ELEVATION OF +14". ACTUAL SITE VERIFICATION BY BUILDER SHALL BE REQUIRED.
- DRAINAGE DESIGN IS BEYOND THE SCOPE OF WORK OF THIS FIRM. GREAT CARE SHOULD BE TAKEN IN EVALUATING THE DRAINAGE REQUIREMENTS.

SCALE: 1/8" = 1'-0"



unit B2

front elevation

SCALE: 1/4" = 1'-0"

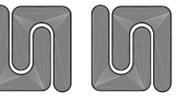
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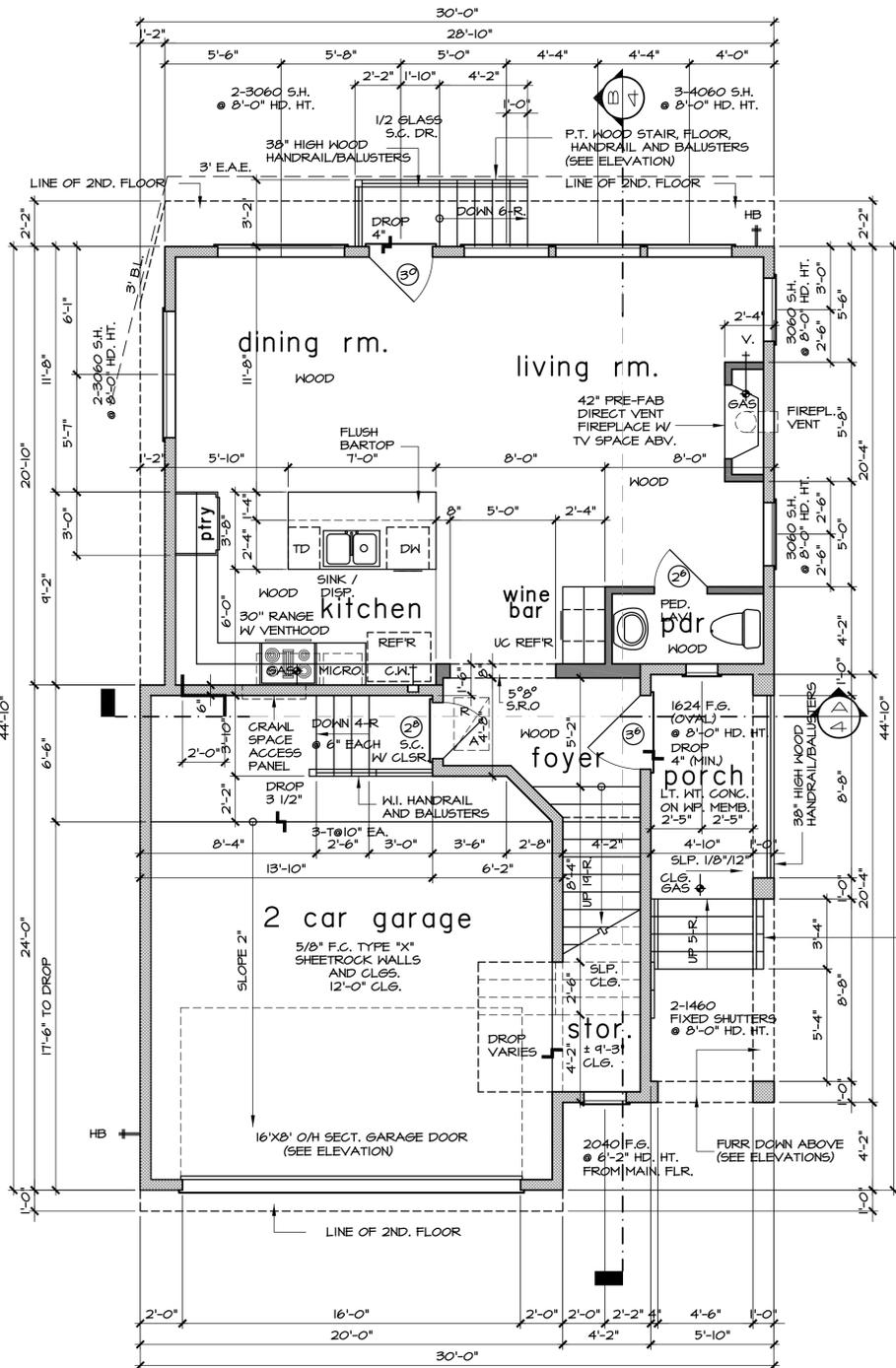
Carnegie Homes

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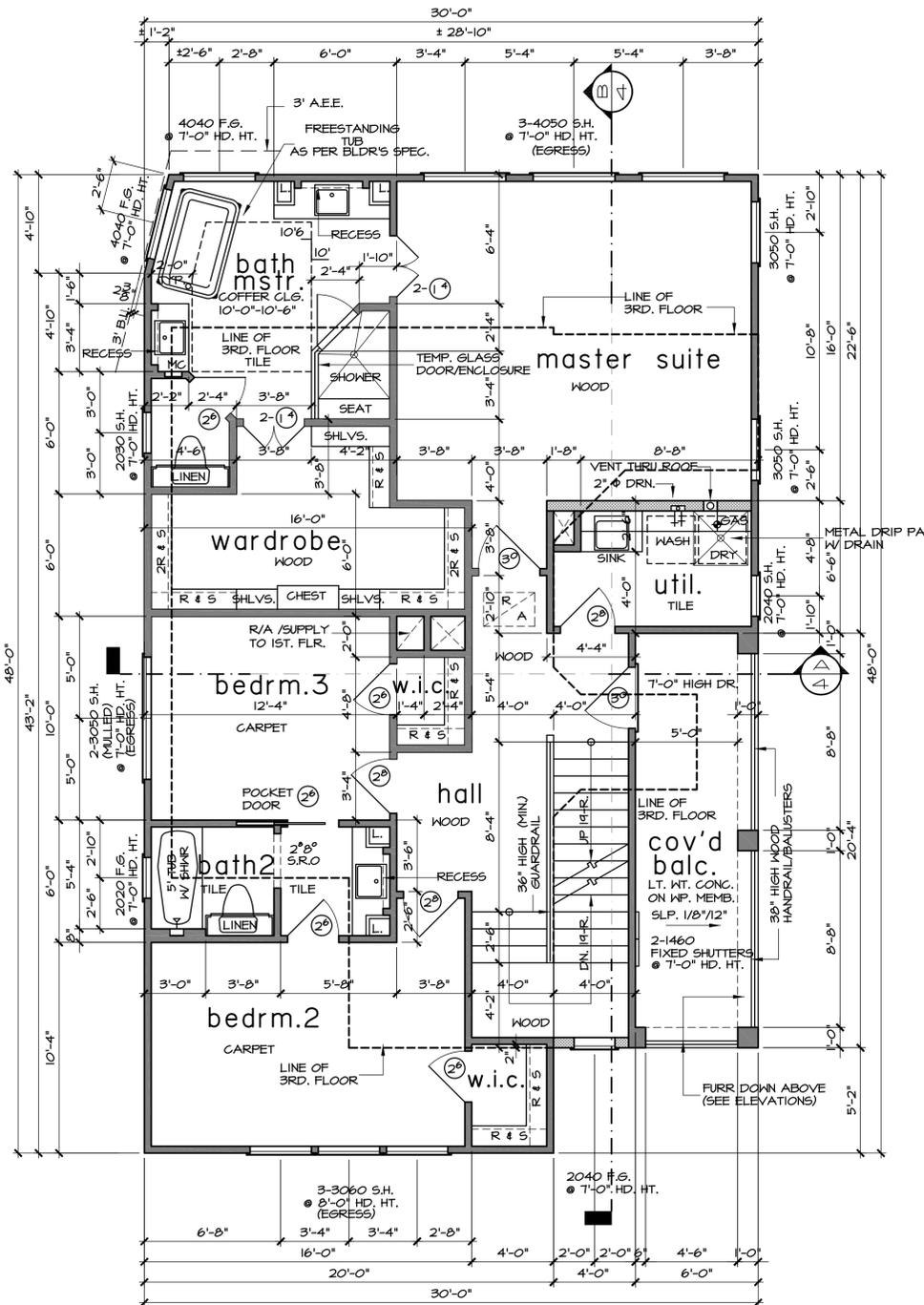
*Sullivan
Henry
Oggero*





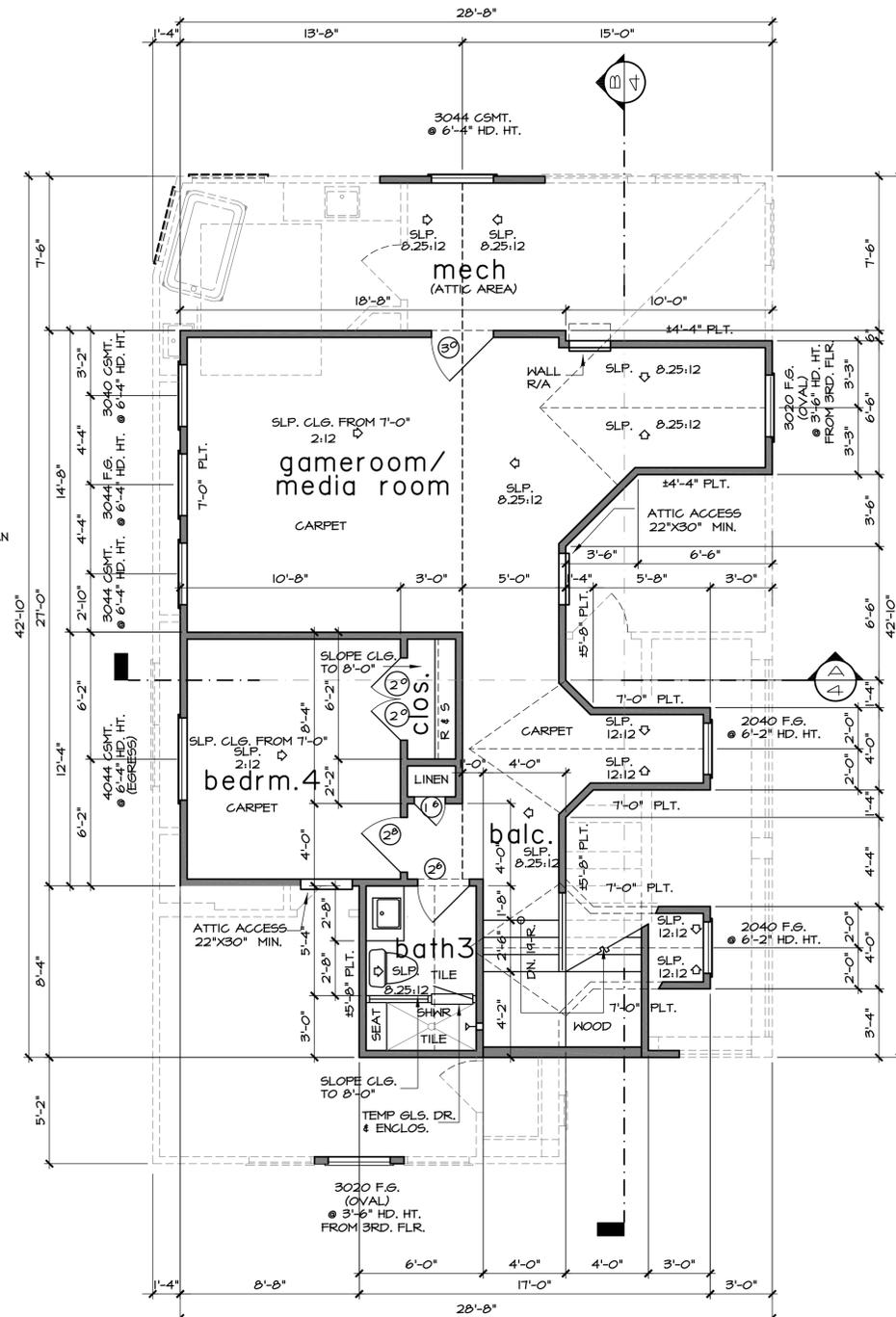
first floor plan (10'-0" ceiling)

LEGEND: 2x6 WALLS



second floor plan (10'-0" ceiling)

LEGEND: 2x6 WALLS



third floor plan (ceiling ht. see flr. plan)

LEGEND: 2x6 WALLS

unless otherwise noted

- CARPET FLOORS
- GYP. BOARD WALLS AND CEILING
- 10'-0" CLG. HT. AT FIRST FLOOR
- 10'-0" CLG. HT. AT SECOND FLOOR
- CLG. HT. AT THIRD FLOOR (SEE FLOOR PLAN)
- ALL ANGLES TO BE 45 DEGREES
- 1 3/8" H.C. INTERIOR DOORS (6 PANEL)
- 1 3/4" S.C. EXTERIOR DOORS (SEE ELEVATION)
- 8'-0" DOOR HT. AT FIRST FLR.
- 8'-0" DOOR HT. AT SECOND FLR.
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- FIXED GLASS AND SINGLE HUNG VINYL WINDOWS (VERIFY W/ BLDGR.)
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- 24" HIGH x 20" WIDE (MIN) OPENING WITH 5.7 SQ. FT. (MIN) NET CLEAR OPENING
- WHEN DOORS ARE USED FOR EMERGENCY EGRESS, IT SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF KEYS OR TOOLS.
- ALL BEDROOM WIDTH @ 2ND FLR. TO BE MIN. 24" A.F.F.
- ALL GLAZING WITHIN HAZARDOUS LOCATIONS SHALL HAVE SAFETY GLASS IN COMPLIANCE WITH R308 (IRC 2006)

- ALL EGRESS DOORS & WINDOWS SHALL HAVE LOCKS ALLOWING EGRESS WITHOUT THE USE OF A KEY AND MEET R310 & 311.
- SMOKE DETECTORS REQUIRE 110V CONNECTION TO HOUSE WIRING AND BATTERY BACKUP. LOCATIONS TO COMPLY WITH R313 (IRC 2006). MULTIPLE UNITS SHALL BE INTERCONNECTED TO ACTIVATE ALL ALARMS. CONSULT MANUF. RECOMMENDATIONS FOR DISTANCE FROM R/A.
- LOCATE GAS WATER HEATER IN ATTIC ABV. LOAD BEARING PARTITION IN PAN WITH RELIEF DRAIN LINE TO OUTSIDE. INSTALLATION MUST COMPLY WITH MANUF. INSTRUCT. AND ALL APPL. CODES.
- PROVIDE VENTILATION AT ALL BATHS AND UTILITY ROOMS THROUGH NATURAL OR MECH. MEANS AND COMPLY WITH R303 (IRC 2006).
- CHIMNEYS TO BE 3'-0" MIN. ABV. THE HIGHEST POINT WHERE THEY PASS THROUGH THE ROOF AND AT LEAST 2'-0" MIN. HIGHER THAN ANY PORTION OF THE ROOF WITHIN A 10'-0" RADIUS
- ALL PREFAB FIREPLACES TO BE UL & IRC 2006 APPROVED & A COPY OF THE MANUF. INSTALLATION MANUAL SHALL BE AVAILABLE @ JOB SITE FOR INSPECTOR'S REVIEW
- A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED IN BEDROOMS WHEN A GAS FIREPLACE IS INSTALLED AND OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS WHICH FUEL-FIRED APPLIANCES ARE INSTALLED & OR HAVE ATTACHED GARAGES.

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- ENCLOSE UNDERSIDE OF STAIRWELL WITH 5/8" TYPE "X" FIRE CODE GYP. BOARD
- SIZE AND NUMBER OF NAILS CONNECTING WOOD MEMBERS SHALL COMPLY WITH IRC 2006 TABLE R602.3 (1) & 3 (2) (OR EQ.) REFER TO STANDARD DETAIL SHEET
- DISAPPEARING STAIRS TO BE MIN. 22" x 30" CLEAR OPENING (30" x 54" R.O.) & SHALL COMPLY WITH R607 (IRC 2006). INDIVIDUAL STAIR TREADS SHALL BE DESIGNED FOR UNIFORMLY DISTRIBUTED LIVE LOAD OR A 350 LB CONCENTRATED LOAD ACTING OVER AN AREA OF 4 SQ. INCHES, WHICHEVER PRODUCES THE GREATEST STRESS
- ATTIC ACCESS/DISAPPEARING STAIRS IN THE GARAGE CLG. MAY BE INSTALLED PROVIDED THE EXPOSED PANEL IS NOT LESS THAN 5/8" THICK FIRE RETARDANT TREATED PLYWOOD, 1/2" SHEET ROCK OR COVERED W/ A MIN. OF 1600 SHEET METAL. ROUGH OPENING SHALL NOT BE LESS THAN 22"x30" AS PER IRC 2006 SECTION R607.1. COMPLY W/ R304.2.

bath schedule

- TILE FLOORS (AT WET AREAS)
- TILE WALLS AT TUB (SECONDARY BATHS)
- TILE FULL AT SHOWER
- SOLID SURFACE COUNTER TOPS AND SPLASHES
- ALL GLASS AT TUBS AND SHOWERS SHALL BE TEMPERED SAFETY GLASS AND MUST COMPLY WITH R308 (IRC 2006)
- SHOWER STALLS AND TUB (WITH SHOWER HEADS) WALLS TO BE FINISHED WITH NON ABSORBENT SURFACE TO A HT. OF NOT LESS THAN 72" ABV. DRAIN INLET OVER CONCRETE BACKERBOARD R307.
- ALL PLUMBING FIXTURES SHALL BE SPACED PER R307.2 (IRC 2006)

SULLIVAN HENRY OGGERO & ASSOC., INC. IS A PROFESSIONAL BUILDING DESIGN FIRM. IT IS NOT AN ENGINEERING FIRM. WE ARE NOT QUALIFIED TO NOR LICENSED TO DESIGN STRUCTURAL FRAMING OR FOUNDATIONS. A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONSULTED REGARDING THE FRAMING AND FOUNDATION. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE "ENGINEER OF RECORD" SHALL BEAR THE RESPONSIBILITY FOR THE STRUCTURAL DESIGN. SULLIVAN HENRY OGGERO & ASSOC., INC. WILL NOT BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY AND/OR ANY PROBLEMS WHICH MAY ARISE.

square footage

FIRST FLOOR	6 9 2
SECOND FLOOR (INCLUDING STAIR)	1 2 6 6
THIRD FLOOR	6 8 8
TOTAL LIVING AREA	2 6 4 6
PORCH	6 2
GARAGE	4 6 7
COV'D BALCONY	1 2 2
TOTAL COVERED AREA	3 2 9 7

unit B2
floor plans

SCALE: 1/4" = 1'-0"

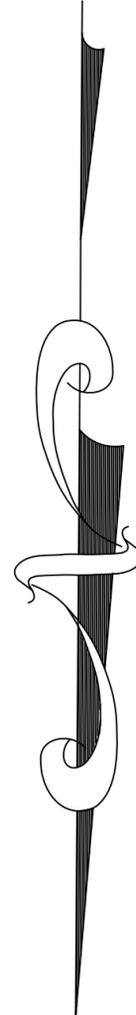
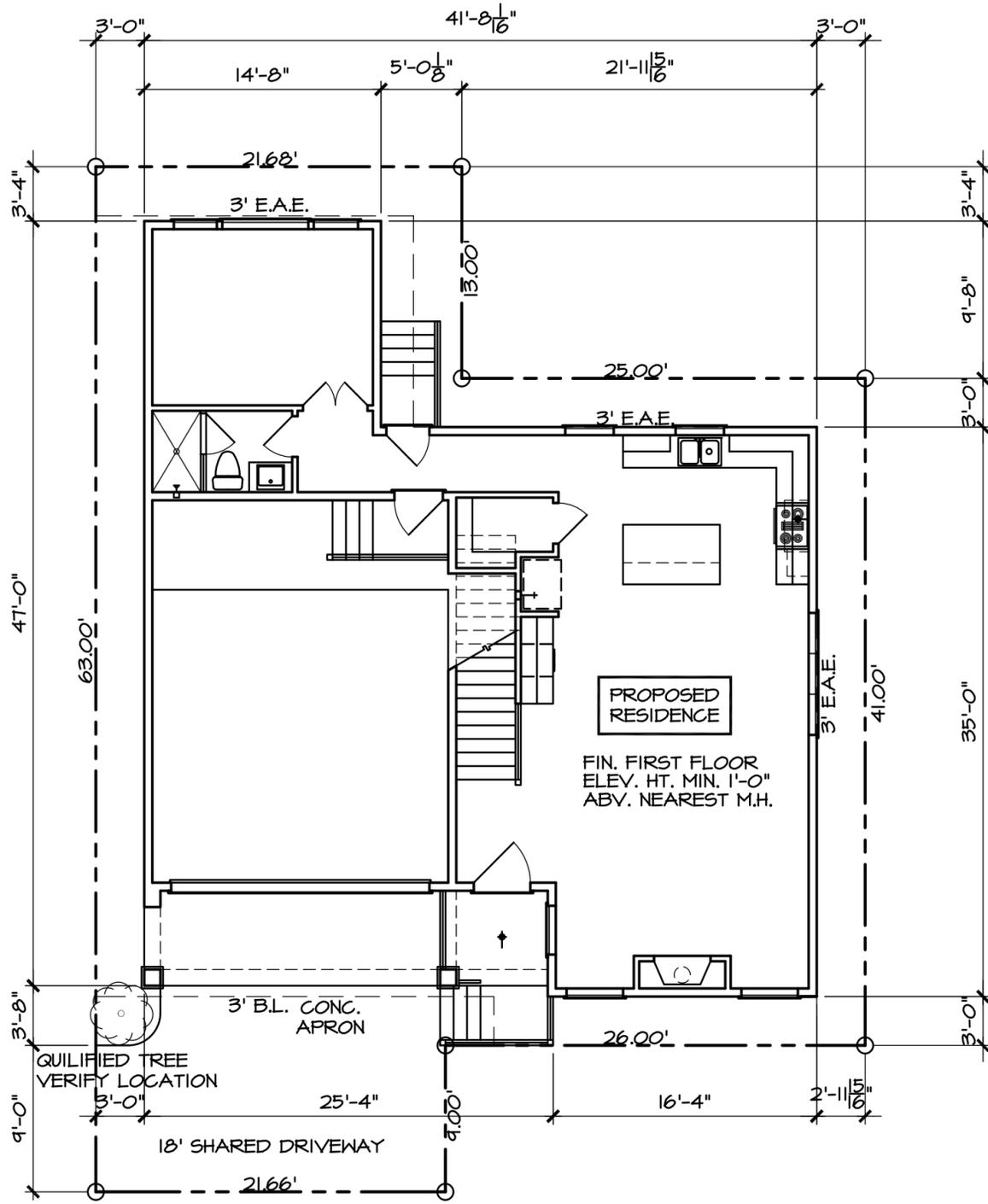
REFERENCE:

VERIFY SETBACKS

D.B.: jls

3/24/15

JOB # 130408



422 Marshall St.

R.O.W.
MANHOLE ELEV. = 0.00"
(ASSUMED)

COVERAGE BREAKDOWN

LOT AREA	2 4 4 3	SQ. FT.
HOUSE PAD	1 4 6 5	SQ. FT.
BUILDING COV.	6 0	%(60% MAX)
DRIVE/WALK	2 6 0	SQ. FT.
TOTAL COV.	1 7 2 5	SQ. FT.
IMPERVIOUS COV.	7 0. 6 0	%(75% MAX)

note:

OWNER/BUILDER TO APPROVE LOCATION OF HOUSE ON LOT, AND TO VERIFY ALL EASEMENTS AND BUILDING LINES, PRIOR TO START OF CONSTRUCTION.

- FINISHED FLOOR ELEVATION TO BE 1'-0" (MIN.) ABOVE NEAREST MANHOLE COVER SERVING THIS RESIDENCE OR 4" ABOVE THE CROWN OF THE STREET WHICH EVER IS GREATER. R401.5 LOTS SHALL BE GRADED TO PROVIDE A POSITIVE DRAINAGE PATH AWAY FROM FOUNDATIONS. THE FALL SHALL BE A MIN OF 6" IN THE FIRST 10' (5%) R401.3

DRAINAGE: R401.3 EXCEPTION 2006 IRC IF A SWALE OR DRAIN IS USED DUE TO A PHYSICAL BARRIER OR LOT LINE THE PLANS MUST INDICATE THE POSITIVE DRAINAGE DETAILS. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.

- DRAINAGE DESIGN IS BEYOND THE SCOPE OF WORK OF THIS FIRM. GREAT CARE SHOULD BE TAKEN IN EVALUATING THE DRAINAGE REQUIREMENTS.

lot 4
block 1
section -
Carnegie Oaks @
Westmoreland
site plan

SCALE: 1/8" = 1'-0"

PLAN NO. 3270 (Plan C)

FLYSHEET



unit C
front elevation

SCALE: 1/4" = 1'-0"

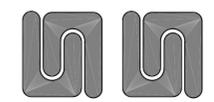
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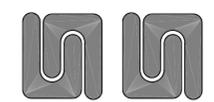
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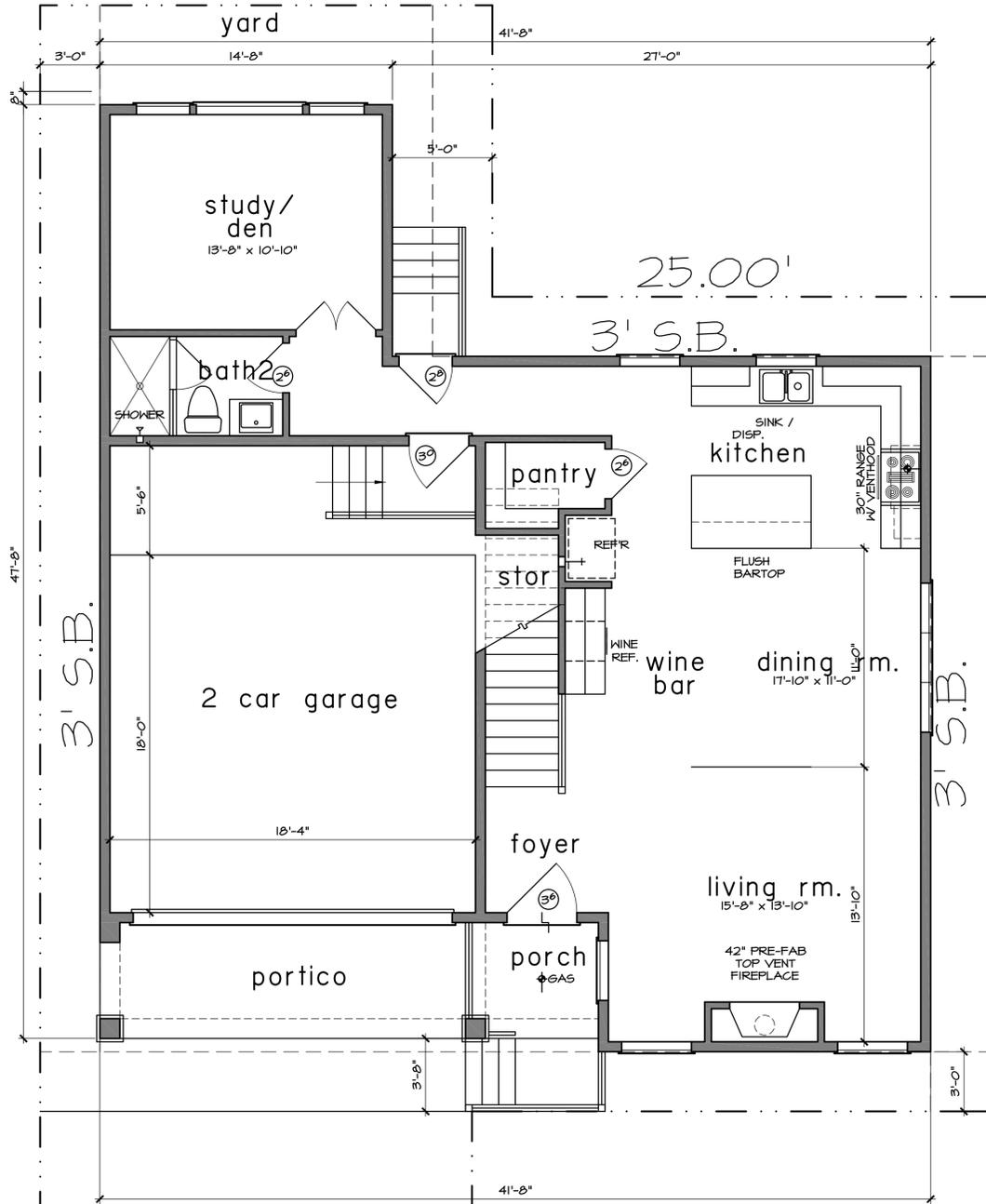


*Sullivan
Henry
Oggero*

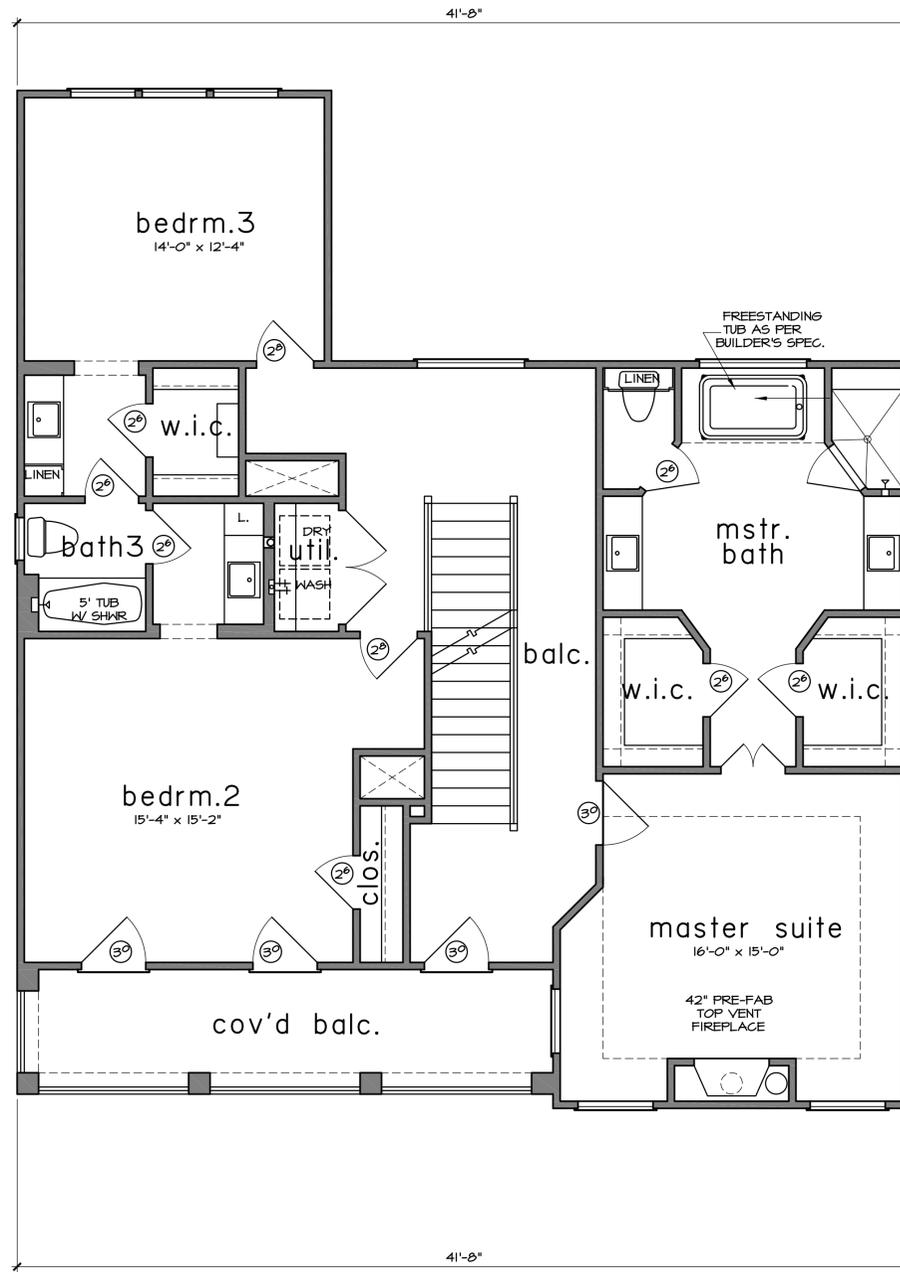


BUILDING DESIGNERS

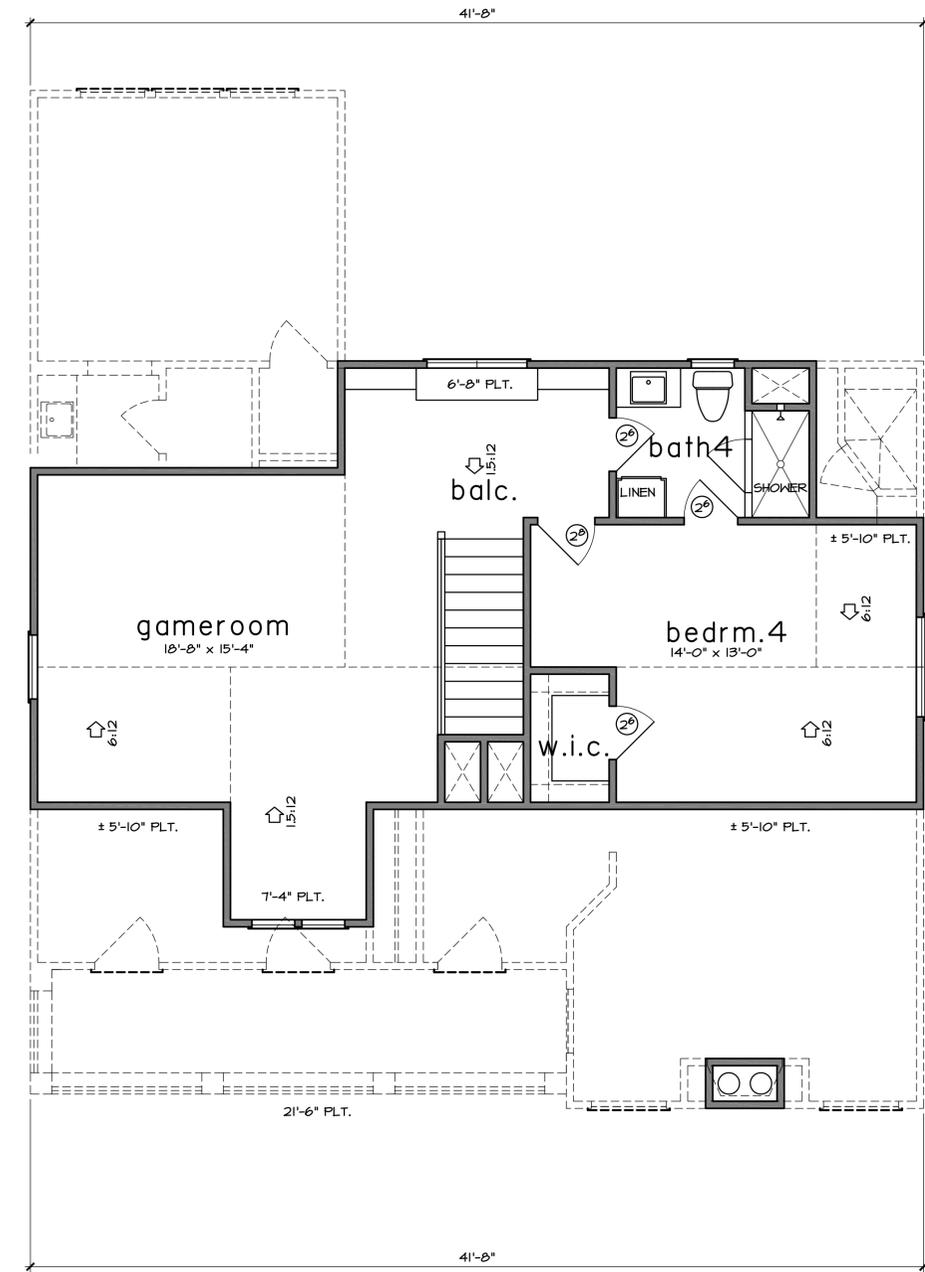




first floor plan (10'-0" ceiling)



second floor plan (10'-0" ceiling)



third floor plan (±9'-0" ceiling)

square footage

FIRST FLOOR	1030
SECOND FLOOR	1482
THIRD FLOOR	758
TOTAL LIVING AREA	3270
PORCH	36
PORCH/GARAGE	562
COVID BALCONY	146
TOTAL COVERED AREA	4014

unit *C*
floor plans

SCALE: 1/4" = 1'-0"



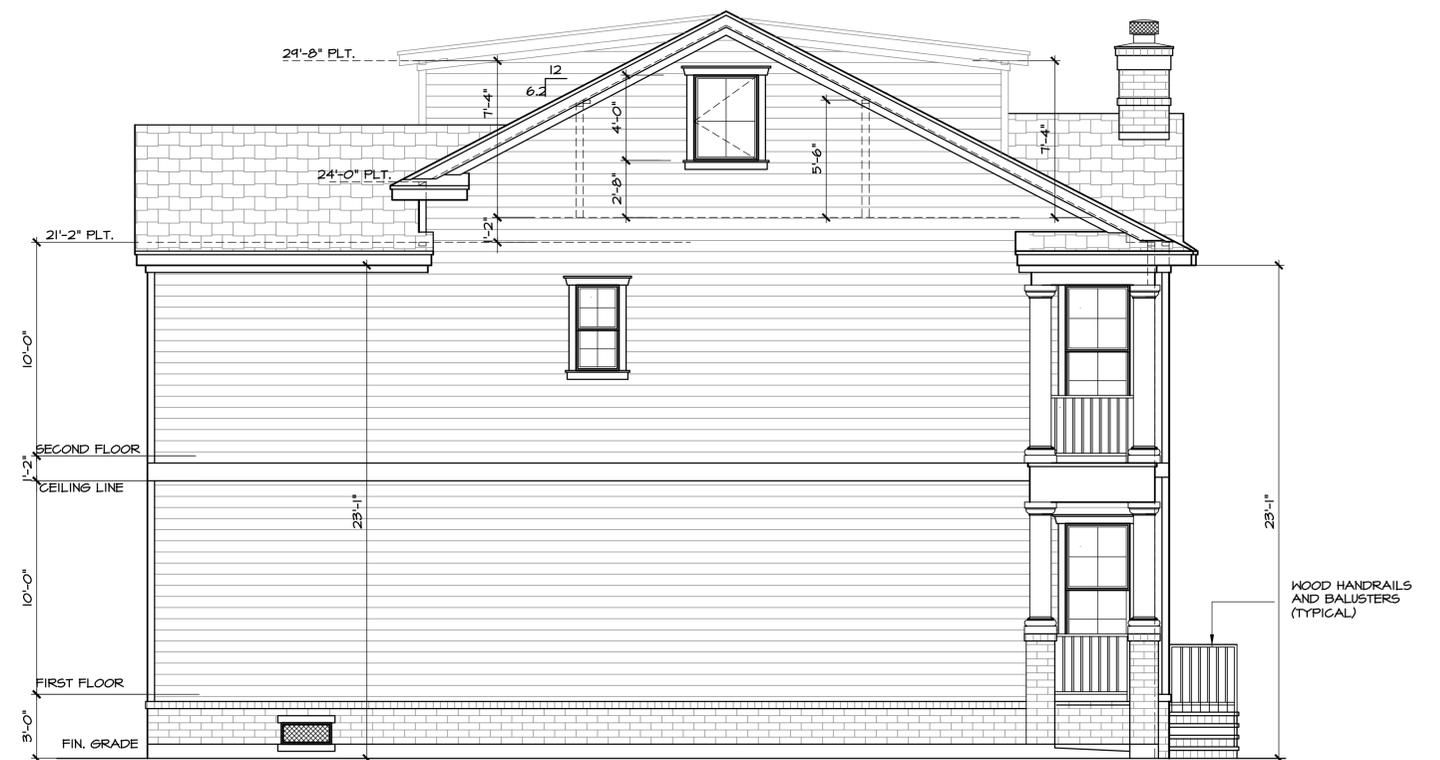
front elevation



right side elevation



rear elevation



left side elevation

unit C
 exterior elevations

SCALE: 1/4" = 1'-0"

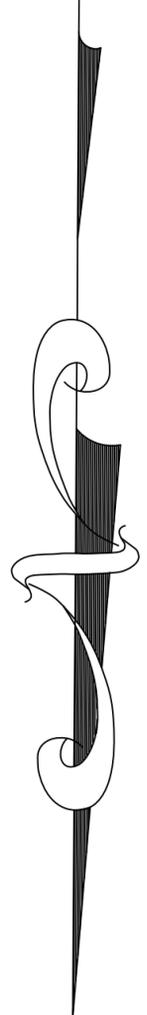
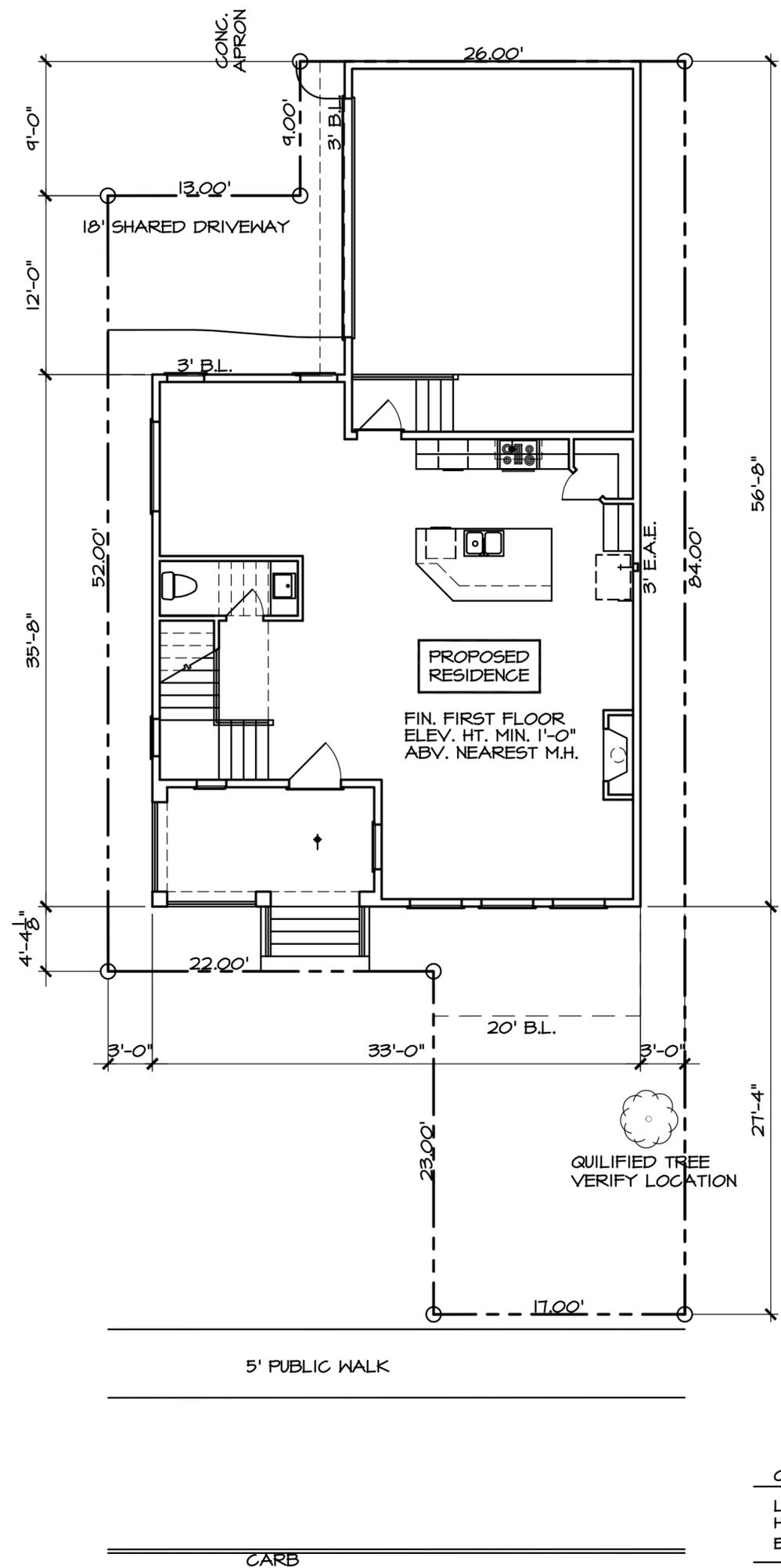
REFERENCE:

VERIFY SETBACKS

D.B.: jls.

3/24/15

JOB # 130404



note:
OWNER/BUILDER TO APPROVE LOCATION OF HOUSE ON LOT, AND TO VERIFY ALL EASEMENTS AND BUILDING LINES, PRIOR TO START OF CONSTRUCTION.

- FINISHED FLOOR ELEVATION TO BE 1'-0" (MIN.) ABOVE NEAREST MANHOLE COVER SERVING THIS RESIDENCE OR 4" ABOVE THE CROWN OF THE STREET WHICH EVER IS GREATER. R401.5 LOTS SHALL BE GRADED TO PROVIDE A POSITIVE DRAINAGE PATH AWAY FROM FOUNDATIONS. THE FALL SHALL BE A MIN OF 6" IN THE FIRST 10' (5%) R401.3

DRAINAGE: R401.3 EXCEPTION 2006 IRC IF A SWALE OR DRAIN IS USED DUE TO A PHYSICAL BARRIER OR LOT LINE THE PLANS MUST INDICATE THE POSITIVE DRAINAGE DETAILS. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.

- DRAINAGE DESIGN IS BEYOND THE SCOPE OF WORK OF THIS FIRM. GREAT CARE SHOULD BE TAKEN IN EVALUATING THE DRAINAGE REQUIREMENTS.

420 Marshall St.

R.O.W.
MANHOLE ELEV. = 0.00"
(ASSUMED)

COVERAGE BREAKDOWN

LOT AREA	2 6 5 2	SQ. FT.
HOUSE PAD	1 5 9 1	SQ. FT.
BUILDING COV.	6 0	%(60% MAX)
DRIVE/WALK	1 7 4	SQ. FT.
TOTAL COV.	1 7 6 5	SQ. FT.
IMPERVIOUS COV.	6 6. 5 5	%(75% MAX)

lot |
block |
section -
Carnegie Oaks @
Westmoreland
site plan

SCALE: 1/8" = 1'-0"

PLAN NO. 3386 (Plan D)	FLYSHEET
------------------------	----------



unit D

front elevation

SCALE: 1/4" = 1'-0"

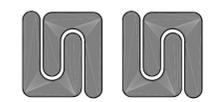
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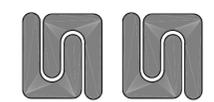
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Carnegie Homes

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*Sullivan
Henry
Oggero*

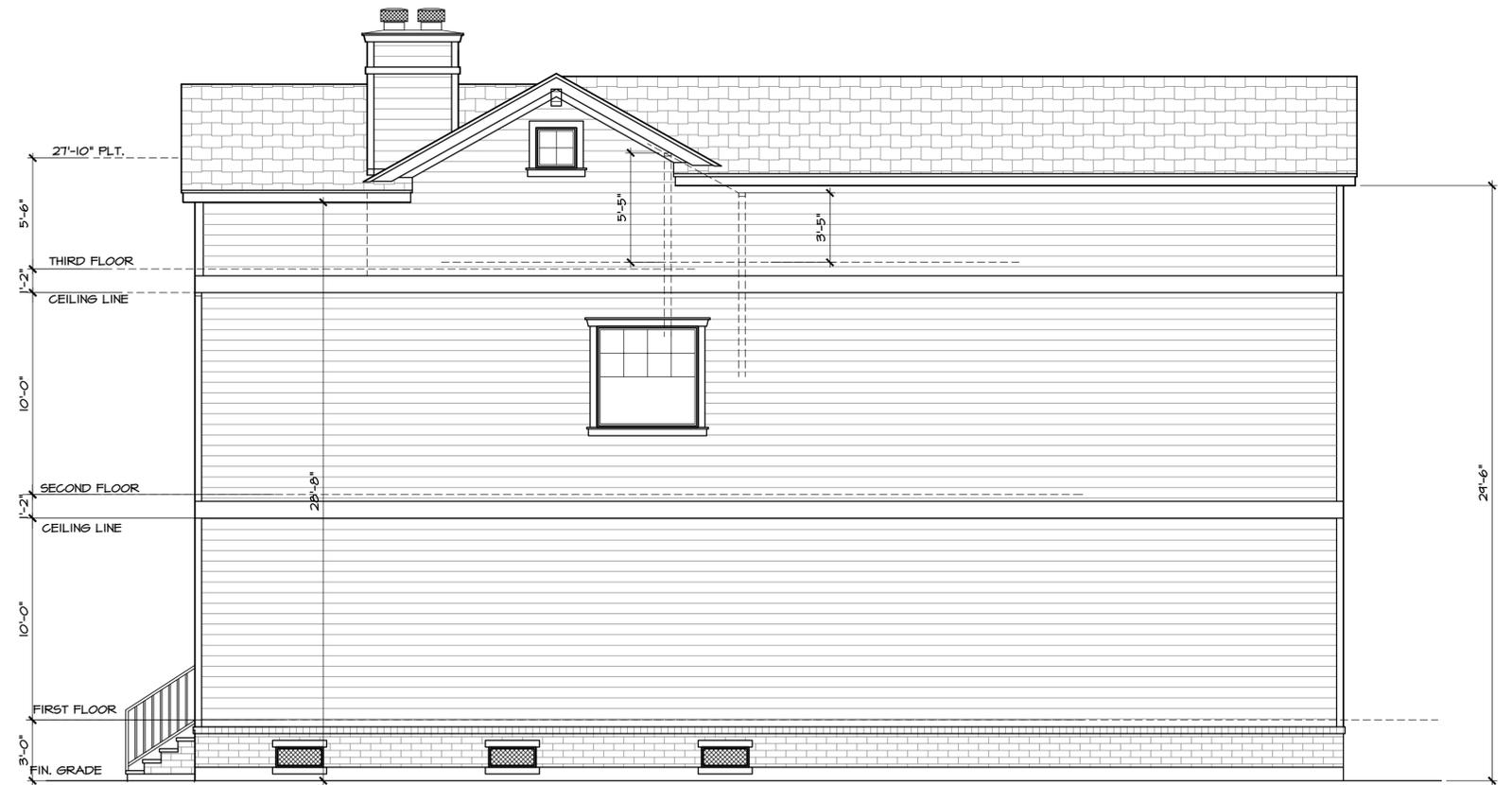


BUILDING DESIGNERS

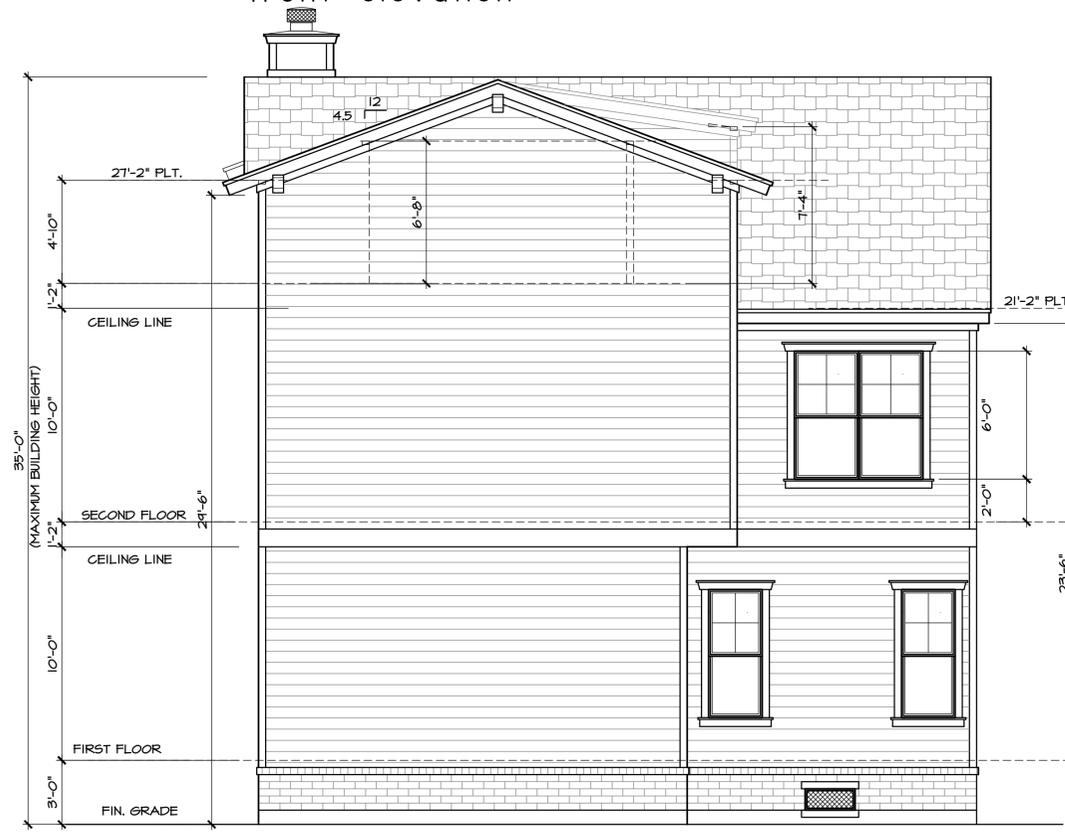




front elevation



right side elevation



rear elevation



left side elevation

unit D
exterior elevations

SCALE: 1/4" = 1'-0"

