

# CERTIFICATE OF APPROPRIATENESS ALTERATION / ADDITION APPLICATION FORM



**PLANNING &  
DEVELOPMENT  
DEPARTMENT**

**PROPERTY**

Address 1026 E 16th St, Houston, Texas 77009

Historic District / Landmark Historic District HCAD # 0620880000005

Subdivision North Norhill Lot 5 Block 109

**DESIGNATION TYPE**

- Landmark
- Protected Landmark
- Archaeological Site
- Contributing
- Noncontributing
- Vacant

**PROPOSED ACTION**

- Alteration
- Addition
- Restoration

**DOCUMENTS**

Application checklist for each proposed action and all applicable documentation listed within are attached

**OWNER**

Name LUISA PAREDES, MANAGING MEMBER

Company 1026 E 16TH ST, LLC

Mailing Address 120 LONG CANYON LN  
RICHMOND, TX 77469

Phone 832-361-4313

Email [REDACTED]

Signature *Luisa C. Paredes*

Date 08/01/2016

**APPLICANT (if other than owner)**

Name \_\_\_\_\_

Company \_\_\_\_\_

Mailing Address \_\_\_\_\_

Phone \_\_\_\_\_

Email \_\_\_\_\_

Signature \_\_\_\_\_

Date \_\_\_\_\_

**ACKNOWLEDGEMENT OF RESPONSIBILITY**

**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Deed Restrictions:** You have verified that the work does not violate applicable deed restrictions.

**Public Records:** If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

**Compliance:** If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: \_\_\_\_\_ Application received: \_\_\_/\_\_\_/\_\_\_ Application complete: \_\_\_/\_\_\_/\_\_\_

# CERTIFICATE OF APPROPRIATENESS ALTERATION / ADDITION CHECKLIST



PLANNING &  
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**Well in advance of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.**

Complete all applicable items and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-241 for approval criteria for alteration, rehabilitation, restoration and additions.

**PROPERTY ADDRESS:** 1026 E 16th, Houston, TX 77009

## BUILDING TYPE

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> single-family residence | <input type="checkbox"/> garage              |
| <input type="checkbox"/> multi-family residence             | <input type="checkbox"/> carport             |
| <input type="checkbox"/> commercial building                | <input type="checkbox"/> accessory structure |
| <input type="checkbox"/> mixed use building                 | <input type="checkbox"/> other               |
| <input type="checkbox"/> institutional building             |  |

## ALTERATION TYPE *\*Check all that apply*

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> addition                | <input checked="" type="checkbox"/> roof  |
| <input checked="" type="checkbox"/> foundation              | <input type="checkbox"/> awning or canopy |
| <input checked="" type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign  |
| <input checked="" type="checkbox"/> windows or doors        | <input type="checkbox"/> ramp or lift     |
| <input checked="" type="checkbox"/> porch or balcony        | <input type="checkbox"/> other            |

## WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work; plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new materials description; attach specification sheets if necessary

## PHOTOGRAPHS *\*Label photos with description and location*

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

## DRAWINGS *\*Scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions*

- site plan  existing  proposed
- floor plans  existing  proposed
- window and door schedule  existing  proposed
- roof plan  existing  proposed
- elevations (all sides)  existing  proposed
- 3D rendering
- demolition plan

# CERTIFICATE OF APPROPRIATENESS ALTERATION / ADDITION WORKSHEET



**PLANNING &  
DEVELOPMENT  
DEPARTMENT**

	EXISTING	CHANGES TO EXISTING	PROPOSED ADDITION
<b>STORIES</b>	1		
<b>SQUARE FOOTAGE</b>	1148		
<b>CONDITIONED</b>	1148	<del>ADD 417 SF</del>	397
<b>UNCONDITIONED</b>		397	
<b>SETBACKS*</b>	N:            E: S:            W:	N:            E: S:            W:	N:            E: S:            W:
<b>HEIGHTS</b>			
Ridge			
Eave			
<b>FOOTPRINT</b>			
<b>MAX WIDTH</b>	30' <del>30'</del> - 2"	0 <del>30'</del> - 2" 30' - 2"	30' - 6"
<b>MAX DEPTH</b>	37' - 7"	0 <del>37'</del> - 7" 45' - 6"	15' - 6"
<b>ENCROACHMENT</b>			
<b>FOUNDATION</b>			
Height to FF			
Type			
Material			
<b>CLADDING</b>			
Material	VINYL	REPAIR AS needed	HARDI PLANK SIDING
Reveal/Brick Info	Red BRICK COLUMS	clean + restore AS needed	NONE
<b>PORCH</b>			
Eave Height			
Width	<del>29'</del> - 2" 0	demo	5'
Depth		demo	5' 6"
Material			WOOD
Column Style			
Column Dimensions			
<b>ROOF</b>			
Style			
Pitch			
Material	COMPOSITION SHINGLE	INSTALL NEW SHINGLES	ADD ROOF COMP 30YR SHINGLES
Eave Design			
Eave Overhang			
<b>WINDOWS</b>			
-- SEE WINDOW WORKSHEET --			

<p><b>IMPORTANT NOTES:</b></p> <ul style="list-style-type: none"> <li>* Setbacks measured from property line to nearest point of structure             <ul style="list-style-type: none"> <li>▪ All required information on worksheet must be indicated on drawings</li> <li>▪ All drawings must be fully dimensioned</li> <li>▪ All elevations must be fully dimensioned from existing natural grade where grade is 0'-00"</li> <li>▪ Specify the height of the existing natural grade relative to a fixed point in the right of way (i.e.: crown of the street or manhole cover)</li> </ul> </li> </ul> <p><i>Failure to include requested information may result in an incomplete application and a delay in the approval of the proposed project</i></p>	<p style="text-align: right;">Notes:</p>
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# CERTIFICATE OF APPROPRIATENESS WINDOW WORKSHEET



**PLANNING &  
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EXISTING WINDOW SCHEDULE								
Window	Material	Lite Pattern	Style	Dimensions	Mounting Profile	Original/Replacement	Existing To Remain	Other
Ex A1 A B C	Wood	1/1	DH SH SH SH	32 x 66 40 x 34 32 x 30 39 x 32	Recessed	Original original original	No yes yes yes	

DAMAGE TO EXISTING WINDOWS							
Window	Broke n Glass	Painted Shut	Inoperable/Cut Sash Cords/Weights	Rotten Rails/Stiles	Rotten Sill	Rotten/Broken Frame	Other Damage/Description
Ex A1 A B C	Y	Y	Y	N	Y	N	Missing Parts noneseen N/A

PROPOSED WINDOW SCHEDULE								
Window	Material	Lite Pattern	Style	Dimensions	Mounting Profile	Brand or Equivalent	Existing To Remain	Other
Ex A1 A B C	Wood	1/1	DH SH SH SH SH SH SH	32 x 66 40 x 34 32 x 30 39 x 32 40 x 36 36 x 36 36 x 30	Recessed	WindowCo	No yes yes yes	

- Must include photos of all windows and indicated damage
- Must include specification sheet and manufacture's details for all proposed new windows
- Must include site plan or drawing keyed to location of each window and/or door

**\*\*Use additional sheets if necessary**

1026 E 16<sup>TH</sup> ST, HOUSTON, TX 77009

## PROPERTY DESCRIPTION

The property was built in 1925 and currently has 1148 square feet of living space.

It is located in the North Norhill section of the Historic District in the Heights. After studying this market, it was determined that our property needs to be modified from its existing 2 bedroom – 1 bath floor plan to a 3 bedroom – 2 bath. The addition will be 397 sqft of living space and bring the total square feet to 1545.

This single family residence is in good condition. It seems to have been updated in the 1970's.

### Proposed Work:

- The front of the house will be left as is, except as follows:
- The metal handrails on the front porch will be removed and Craftsman style wood railing will be installed
- The AstroTurf on the front porch and steps will be removed and cleaned/painted
- The existing vinyl siding will be repaired and painted.
- Hardi plank will be used for the addition in the rear of the house.
- The existing chain link fence across the driveway will be removed and a new wrought iron gate will be installed.
- The carport will be removed.
- A new roof will be installed.
- The addition to the property will conform to the Craftsman style as much as possible. Our goal is for the addition to look like the additions that have been currently approved in this subdivision. Our goal is to maintain the historical integrity of this property.
- The exact measurements/dimensions are specified on the submitted plans.

All of the exterior updates and the addition to the house will conform to the style and specifications to match the existing elevation and sustain the historical integrity of this property.

**PHOTOS OF HOUSE & GARAGE FRONT, REAR, BOTH SIDES of the EXISTING ELEVATION.**





Back Exterior

Front Left Exterior





Front Right Exterior

Backyard



Front Exterior

Garage Right



Garage Left

The elevation of the existing portion of the front of the property will be kept as is. This property has damaged siding, which will need to be replaced. Extreme care will be used to match the existing siding in style, although the color will change to another historic color that will provide better curb appeal.

The addition to the property will conform to the style and specifications to match the existing house.

Below: Proposed Addition Elevation. Addition will be added to the back of the house.

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ELEVATION - ADDITION, P. 45

1026 E. 16TH STREET



**SAMPLE OF EXTERIOR LANDSCAPING AND WROUGHT IRON FENCE.**



**SAMPLE OF WROUGHT IRON FENCE WITH GATE (AUTOMATED), LANDSCAPE DESIGN, AND THE OVERALL LOOK REQUIRED.**



**SAMPLE OF DECKING MATERIAL AND DESIGN, DOUBLE DOORS, EXTERIOR WINDOW CASINGS MUST CONFORM TO EXISTING CASINGS, PER HISTORIC DISTRICT GUIDELINES. DOOR TO BACKYARD FROM HALLWAY MUST HAVE FULL GLASS.**

## Samples of Current Historic Area Homes in Norhill



Samples of Current Historic Area Home  
in Norhill with 6 inch indentation



Closer view of indentation



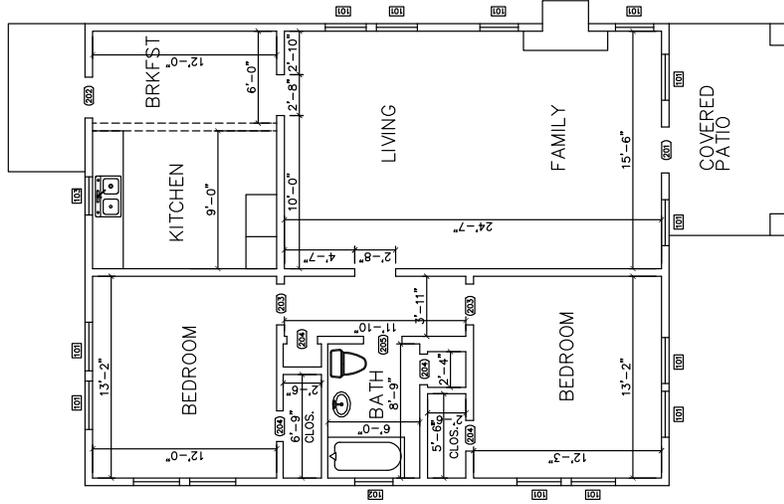


1026 E. 16TH STREET

Chris Evans Design  
 9714 Whitepost In  
 Houston, Texas 77286  
 Phone: 832-771-8258



DATE: 6-27-16  
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WINDOW SCHEDULE					
MARK	HEIGHT	WIDTH	HEIGHT	OPERATION	COMMENTS
101	3'-4"	2'-10"	6'-8"	SINGLE HUNG	EXISTING WINDOW
102	2'-8"	2'-6"	6'-8"	SINGLE HUNG	EXISTING WINDOW
103	3'-3"	2'-6"	6'-8"	SINGLE HUNG	EXISTING WINDOW
104	3'-0"	3'-0"	6'-8"	SINGLE HUNG	NEW WINDOW @ ADD.
105	3'-0"	2'-8"	6'-8"	SINGLE HUNG	NEW WINDOW @ ADD.
106	3'-0"	2'-8"	6'-8"	SINGLE HUNG	NEW WINDOW @ ADD.

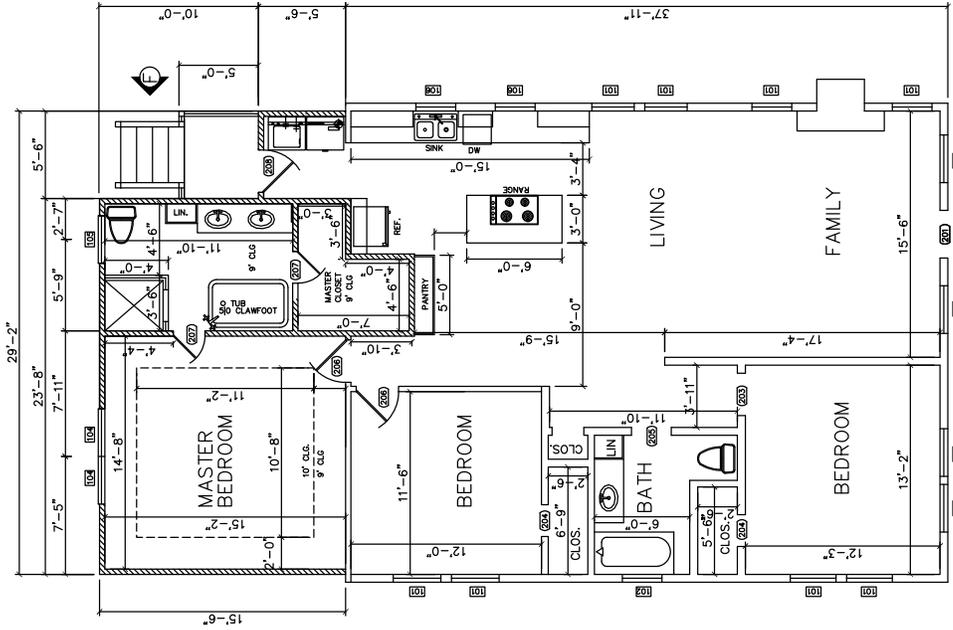
DOOR SCHEDULE			
MARK	HEIGHT	WIDTH	COMMENTS
201	6'-8"	3'-0"	EXISTING EXTERIOR DOOR
202	6'-8"	2'-8"	EXISTING EXTERIOR DOOR
203	6'-8"	2'-0"	EXISTING INTERIOR DOOR
204	6'-8"	2'-0"	EXISTING INTERIOR DOOR
205	6'-8"	2'-8"	EXISTING INTERIOR DOOR
206	6'-8"	2'-8"	NEW INT. DOOR @ ADD.
207	6'-8"	2'-0"	NEW INT. DOOR @ ADD.
208	6'-8"	2'-8"	NEW EXT. DOOR @ ADD.

EXISTING FLOOR PLAN  
 1/8" = 1'-0"  
 SCALE:



GENERAL NOTES:

1. CONSTRUCTION SHALL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES AND WITH BUILDERS SPECIFICATIONS AS MAY BE ATTACHED.
2. ALL ROADS SHALL HAVE ONE ROD AND ONE SHELF UNLESS NOTED OTHERWISE.
3. LINEN CLOSETS AND PANTRIES SHALL HAVE 5 SHELVES OF 18" DEPTH UNLESS NOTED OTHERWISE.
4. WINDOW HEADER HEIGHTS TO BE NOMINAL 83" @ 8' OTHERWISE.
5. KITCHEN WINDOW (@ SINK) TO HAVE SILL HEIGHT OF 34 1/2" UNLESS NOTED OTHERWISE.
6. PASS THRU AND BAR TOPS TO BE 48" A.F.F. UNLESS NOTED OTHERWISE.
7. 1x6 WOOD CAP UNLESS NOTED OTHERWISE.
8. UTILITY ROOMS TO HAVE ONE 12" SHELF @ 60" A.F.F. PROVIDE 3/8" COLD WATER LINE TO REFRIGERATOR.
9. GAS WATER HEATERS IN GARAGES TO BE ON 18" HIGH PLATFORM.
10. WATER HEATERS AND AIR HANDLERS IN ATTIC TO HAVE DRIP PANS WITH OVER FLOW DRAINS.
11. ALL ELECTRICAL AND PLUMBING AREAS MAY VARY ACCORDING TO COMPANY FEATURES, WHILE MEETING APPLICABLE BUILDING GUIDELINES.
- 12.
- 13.

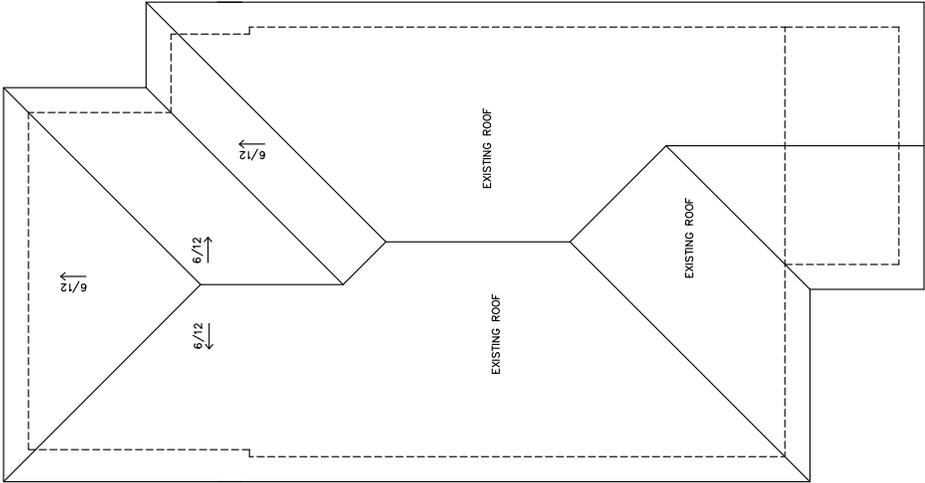


PROPOSED FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

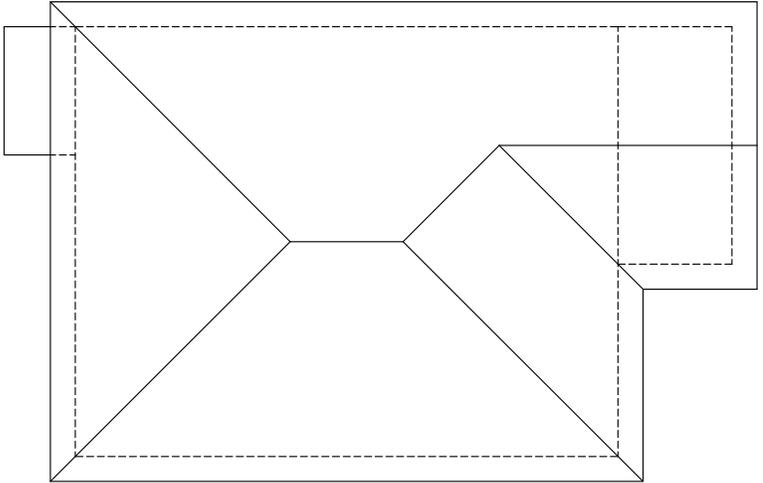
EXISTING LIVING	1148
ADDITIONAL SQFT	397
TOTAL LIVING	1545
	ADDED WALL

**ROOF RAFTER LAYOUT PLAN**  
 SCALE: 1/8" = 1'-0"

GENERAL NOTES:  
 ROOF RAFTERS STRUCTURAL DESIGN LOADS SHALL BE BASED UPON 20 PSF LIVE, 7 PSF DEAD FOR COMPOSITION SHINGLE ROOFING AND 20 PSF LIVE LOAD AND 15 DEAD LOAD UPON THE ROOF DECK.  
 SIZE AND NUMBER OF NAILS CONNECTING WOOD MEMBERS SHALL COMPLY WITH U.B.C. TABLE 250 OR EQUAL.  
 ALL HEIGHTS SHOWN ARE AS MEASURED FROM MAIN FINISHED FLOOR.  
 WALL BRACKETS SHALL BE TWO CONTINUOUS 2X SAME SIZE AS WALL BELOW.  
 ALL RAFTERS SHALL BE MINIMUM 2X6 #2 SYP. @ 16' O.C. AND WITH NO MORE THAN 11'-2" SPANS UNLESS OTHERWISE NOTED.  
 A CONTINUOUS TIE BETWEEN EXTERIOR WALL WHEN SUCH JOISTS ARE PARALLEL TO THE RAFTERS. PROVIDE 2X6 RAFTER TIES AT ALL PLATES WHERE CLG JOISTS ARE PERPENDICULAR TO RAFTERS. MAX. SPAN SHALL BE 11'-2".  
 V/JOINT 2X6 PURLINS SUPPORTED BY 2X4 BRACES @ 48" O.C. TO BEAM OR WALL BELOW. BRACES SHALL BE NOT LESS THAN 45 DEG. AND SHALL NOT EXCEED 8' IN LENGTH W/O LATERAL SUPPORT.  
 RAFTERS SHALL BE NOTED WITH AN IDENTIFYING NUMBER LARGER THAN ADJACENT RAFTER AND SIZED TO MATCH THE CUT END OF THE CONNECTING RAFTER.  
 COLLAR TIES SHALL BE 2X6 @ 48" O.C. IN UPPER ONE THIRD OF SPAN.  
 STRAP TIES OVER THE RIDGE AT EVERY THIRD RAFTER TO RAFTER CONNECTION (SIMPSON MSTA 24).  
 SIMPSON STRONG TIE ANCHORS (HED) AT EVERY THIRD RAFTER TO RAFTER CONNECTION.  
 ROOF OPENINGS SHALL HAVE DOUBLE TRIMMERS AND HEADERS (I.E. AT CHIMNEY, DORMER, ETC.)  
 RAKE ROOF DOWNS SHALL BE 2X6 @ 16' O.C.  
 ROOF SHEATHING SHALL BE 1/2" CDX 32/16 APA RATED W/ 8D @ 6' O.C. EDGES, 12" FIELD.  
 THE BUILDER AND/OR OWNER SHALL BE RESPONSIBLE FOR CONSULTING WITH THE LOCAL BUILDING DEPARTMENT REGARDING THE FOUNDATION, SUPERSTRUCTURE AND SITE DRAINAGE. MARK WATSON DESIGN IS A RESIDENTIAL BUILDING DESIGN FIRM NOT AN ENGINEERING FIRM. THE ENGINEER OF RECORD SHALL BEAR THE RESPONSIBILITY TO DESIGN STRUCTURAL FRAMING OR FOUNDATIONS. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR THE RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE STRUCTURE. WILL NOT BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY OR WITH ANY PROBLEMS ASSOCIATED WITH THE ENGINEERING ASPECTS OF THE STRUCTURE. THE ENGINEERING ASPECTS SHALL, WHEN MORE RIGOROUS, SUPERSEDE THE ABOVE.



EXISTING ROOF PLAN

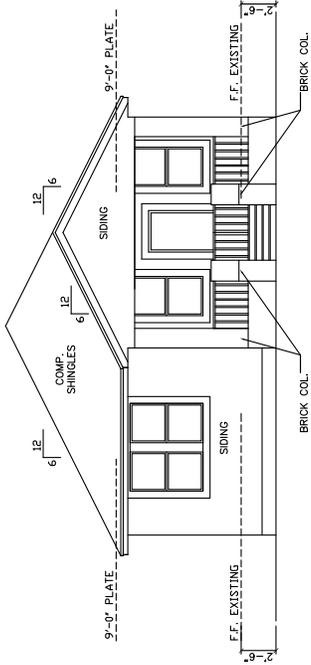


EXISTING ROOF WITH ADDITION

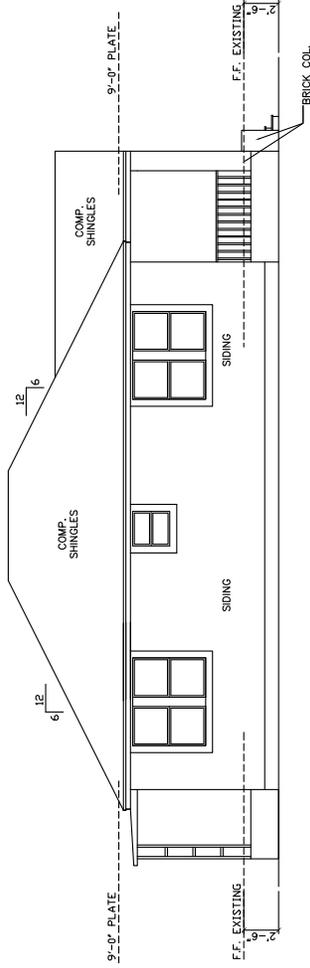
1026 E. 16TH STREET

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 9714 Whitepost In  
 Houston, Texas 77286  
 phone: 832-771-8258

DATE	6-23-16
PROJECT NO.	A3.0
PROJECT NAME	1026 E. 16TH ST
CLIENT	CE
DESIGNED BY	CE
DRAWN BY	CE



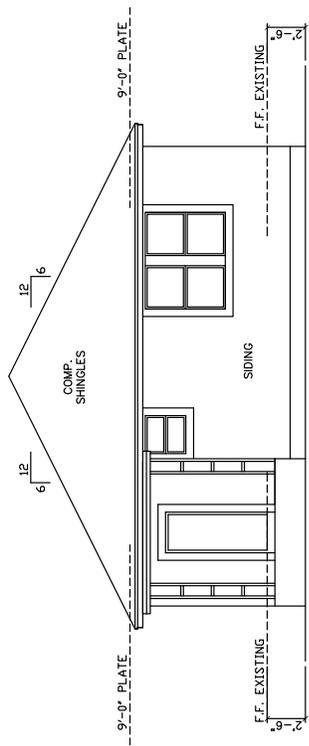
EXISTING FRONT ELEVATION



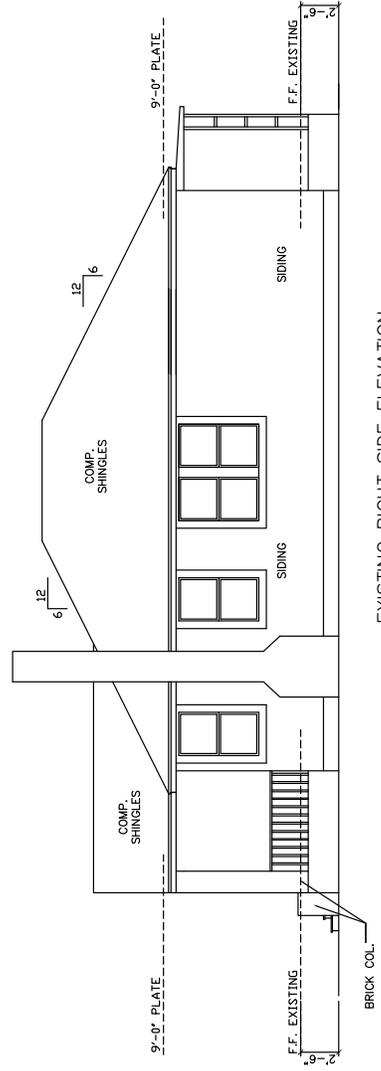
EXISTING LEFT SIDE ELEVATION

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 Houston, Texas 77266  
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DATE: 6-29-16  
 SHEET NO: A4.0  
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 DATE: CDE  
 DRAWING FILE: 0-000-0



EXISTING REAR ELEVATION



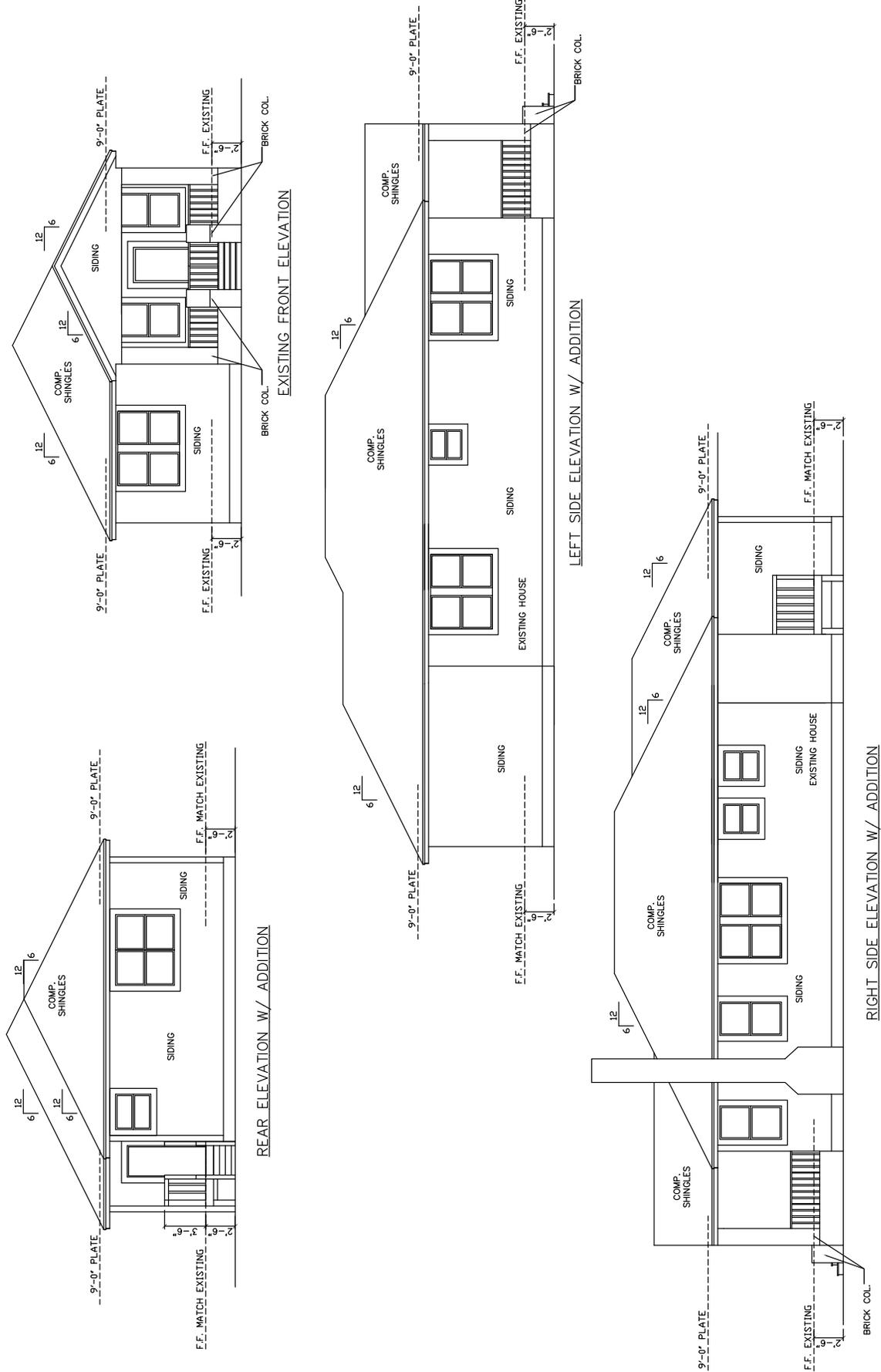
EXISTING RIGHT SIDE ELEVATION

1026 E. 16TH STREET

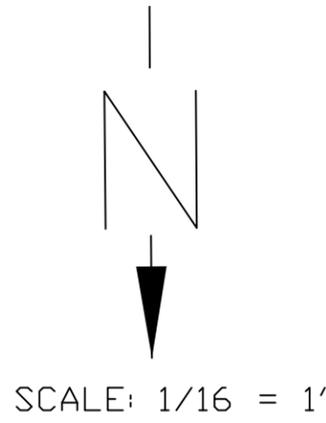
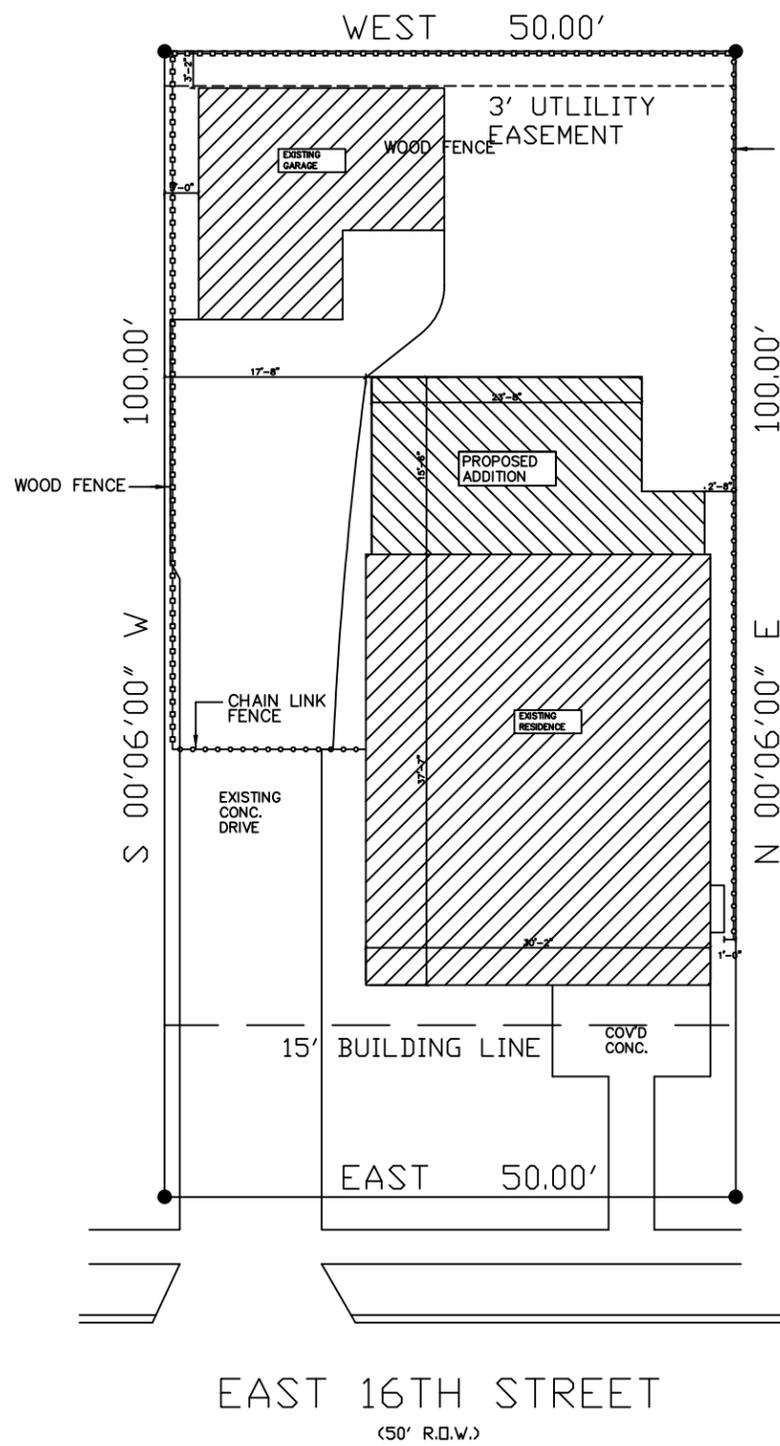
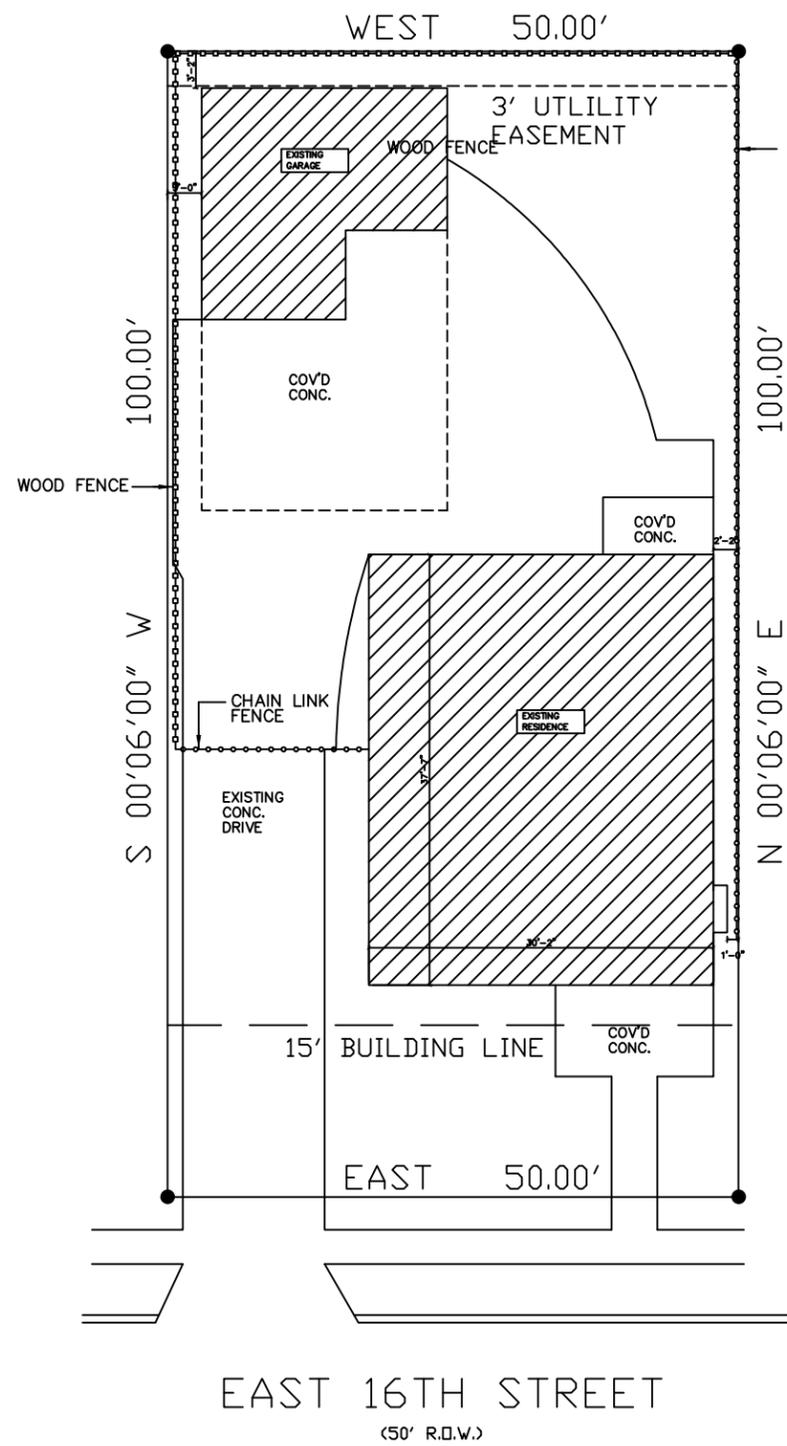
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DATE	6-29-16
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ELEVATION @ ADDITION PLAN  
 SCALE: 1/8" = 1'-0"



LOT 5, BLOCK 109  
EAST NORHILL  
ADDRESS: 1026 EAST 16TH STREET  
HOUSTON, TEXAS 77009

1026 E. 16TH STREET

Chris Evans Designs  
9714 Whitepost Ln  
Houston, Texas 77286  
phone: 832-771-8258

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