

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



PLANNING &
DEVELOPMENT
DEPARTMENT

PROPERTY

Address 3324 Morrison

Historic District / Landmark Woodland Heights

HCAD # 037266000033

Subdivision

Lot 13+TR14A Block 1

DESIGNATION TYPE

- Landmark
 Protected Landmark
 Archaeological Site
 Contributing
 Noncontributing
 Vacant

PROPOSED ACTION

- Alteration or Addition
 Restoration
 New Construction
 Relocation
 Demolition
 Excavation

- Revision

DOCUMENTS

- Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name Matt and Christina Dehaven

Company

Mailing Address 3324 Morrison

Phone

Email

Signature [Signature]

Date 8.2.15

APPLICANT (if other than owner)

Name Karen Brasier

Company Design 3

Mailing Address 3108 Houston Ave

Phone 281 908 9188

Email

Signature [Signature]

Date 7.30.15

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____ Application received: ___/___/___ Application complete: ___/___/___

CERTIFICATE OF APPROPRIATENESS

ALTERATION & ADDITON CHECKLIST

Well in advance of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable items and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-241 for approval criteria for alteration, rehabilitation, restoration and additions.

PROPERTY ADDRESS: 3324 Morrison - Revision

BUILDING TYPE

- | | |
|---|--|
| <input checked="" type="checkbox"/> single-family residence | <input checked="" type="checkbox"/> garage |
| <input type="checkbox"/> multi-family residence | <input type="checkbox"/> carport |
| <input type="checkbox"/> commercial building | <input type="checkbox"/> accessory structure |
| <input type="checkbox"/> mixed use building | <input type="checkbox"/> other |
| <input type="checkbox"/> institutional building | |

ALTERATION TYPE

- | | |
|--|---|
| <input checked="" type="checkbox"/> addition | <input type="checkbox"/> roof |
| <input type="checkbox"/> foundation | <input type="checkbox"/> awning or canopy |
| <input type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign |
| <input type="checkbox"/> windows or doors | <input type="checkbox"/> ramp or lift |
| <input type="checkbox"/> porch or balcony | <input type="checkbox"/> other |

WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work; plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new materials description; attach specification sheets if necessary

PHOTOGRAPHS

 label photos with description and location

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

DRAWINGS

 scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

- | | |
|--|---|
| <input type="checkbox"/> current site plan | <input type="checkbox"/> demolition plan |
| <input type="checkbox"/> proposed site plan | <input type="checkbox"/> current roof plan |
| <input type="checkbox"/> current floor plans | <input type="checkbox"/> proposed roof plan |
| <input checked="" type="checkbox"/> proposed floor plans | <input type="checkbox"/> current elevations (all sides) |
| <input type="checkbox"/> current window and door schedule | <input checked="" type="checkbox"/> proposed elevations (all sides) |
| <input type="checkbox"/> proposed window and door schedule | <input type="checkbox"/> perspective and/or line of sight |

Proposed is a revision to the COA issued for 3324 Morrison. The skirt around the house, both existing and addition will be brick piers with wood slats in between. The garage will have a half bathroom added to it. See attached drawings for details.



Existing Brick Skirt



Proposed Brick Piers with Wood Slats



03 PROPOSED FRONT ELEVATION (FACES MORRISON)

1/4" = 1'-0"



04 PROPOSED LEFT SIDE ELEVATION (FACES NORMA)

1/4" = 1'-0"

1. All drawings here reference the 2006 International Residential Code with City of Houston amendments.
2. Do not scale drawings. Written dimensions take precedence. Contractor to verify and be responsible for all dimensions and conditions on the job and notify Design 3 inc. of any variations from the dimensions or conditions shown on the drawings presented herein.
3. All written notes on these drawings shall take precedence over the minimum standard notes detailed on A0.1.
4. All egress window sills are to a maximum of 44" above finished floor minimum opening are 24" high, 20" wide AND minimum 5.7 sq. ft net clear opening. There shall be at least one egress window per bedroom.
5. Openings on a 1 hour fire-rated exterior wall shall be protected with an assembly according to IRC 2006 R302.1. Penetrations into or through fire-rated walls shall conform to IRC 2006 R302.4.1. Contractor shall determine final material and provide appropriate test criteria to the local authority.
6. Provide safety glazing in all hazardous locations listed in IRC sect.308.4.1-10 excluding only listed exceptions.
7. See S1.5 for guard rail notes.
8. Roof plate heights are taken from nominal finished floor elevation unless otherwise noted.
9. Distance of gas vent pipes through an exterior wall perpendicular to a property line or common wall shall be a minimum of 3'-0" from the property line or common wall.
10. All vent terminals shall be no less than 4' horiz or vert from any window or gravity air inlet or 1' above any door. Sec M1804.2.1-2.6
11. All glazing to be double paned and low-E.
12. Roofing to be installed according to manufacturer's instructions and IRC Ch 9. Re: Contractor for specs and color.

02 GENERAL NOTES

3324 Morrison Addition
Houston, TX 77009

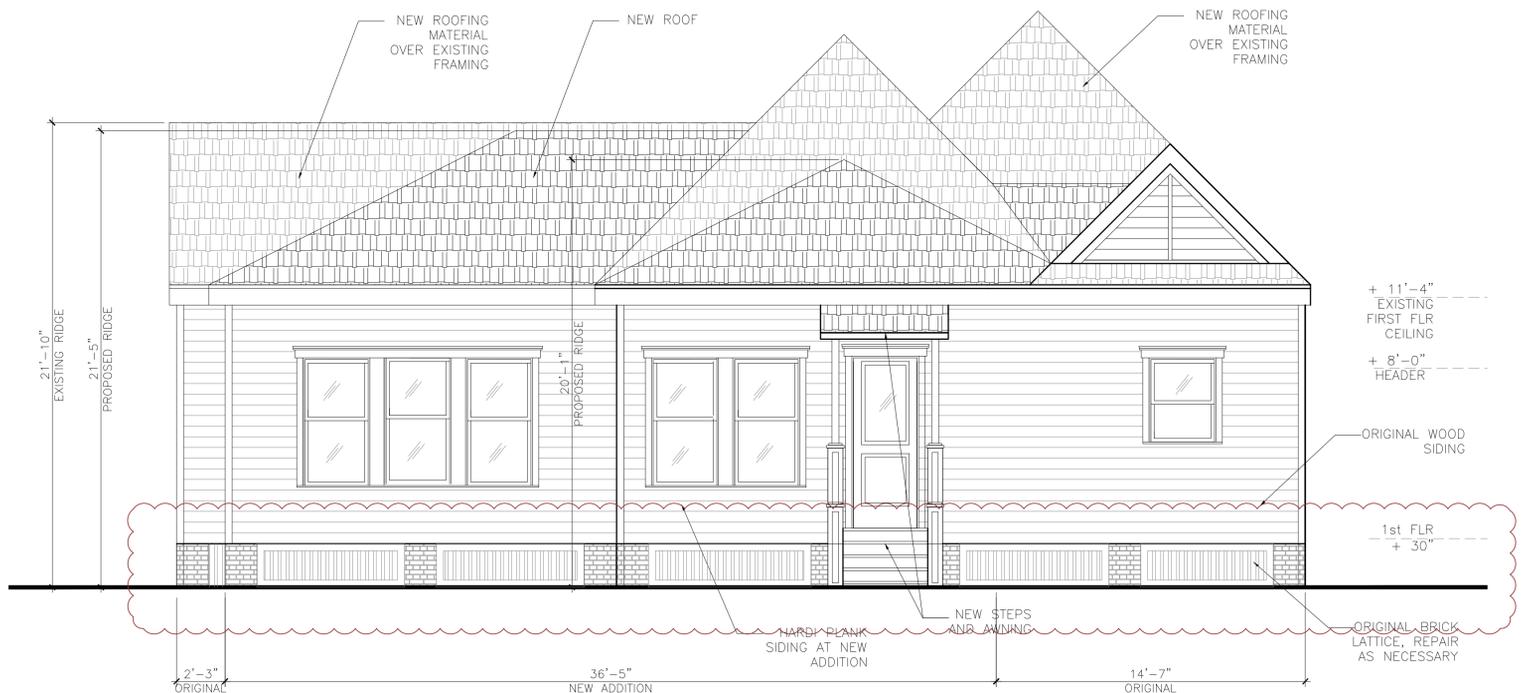
PROPOSED ELEVATIONS

Issue/Revision:	
07.15.15	FOR PERMIT
07.30.15	PROPOSED REVISION HAHC

Drawing Description:

ELEVATIONS

Dwg. Name:		Sheet No.: A 3.1
Layer mgr:	XX	
Scale:	AS NOTED	
Drawn by:		
Proj. Mgr.:		
Date:		Jul 31, 2015 - 11:59am



03 PROPOSED BACK ELEVATION

1/4" = 1'-0"



04 PROPOSED RIGHT SIDE ELEVATION

1/4" = 1'-0"

1. All drawings here reference the 2006 International Residential Code with City of Houston amendments.
2. Do not scale drawings. Written dimensions take precedence. Contractor to verify and be responsible for all dimensions and conditions on the job and notify Design 3 inc. of any variations from the dimensions or conditions shown on the drawings presented herein.
3. All written notes on these drawings shall take precedence over the minimum standard notes detailed on A0.1.
4. All egress window sills are to a maximum of 44" above finished floor minimum opening are 24" high, 20" wide AND minimum 5.7 sq. ft net clear opening. There shall be at least one egress window per bedroom.
5. Openings on a 1 hour fire-rated exterior wall shall be protected with an assembly according to IRC 2006 R302.1. Penetrations into or through fire-rated walls shall conform to IRC 2006 R302.4.1. Contractor shall determine final material and provide appropriate test criteria to the local authority.
6. Provide safety glazing in all hazardous locations listed in IRC sect.308.4.1-10 excluding only listed exceptions.
7. See S1.5 for guard rail notes.
8. Roof plate heights are taken from nominal finished floor elevation unless otherwise noted.
9. Distance of gas vent pipes through an exterior wall perpendicular to a property line or common wall shall be a minimum of 3'-0" from the property line or common wall.
10. All vent terminals shall be no less than 4' horiz or vert from any window or gravity air inlet or 1' above any door. Sec M1804.2.1-2.6
11. All glazing to be double paned and low-E.
12. Roofing to be installed according to manufacturer's instructions and IRC Ch 9. Re: Contractor for specs and color.

02 GENERAL NOTES

3324 Morrison Addition

Houston, TX 77009

ELEVATIONS

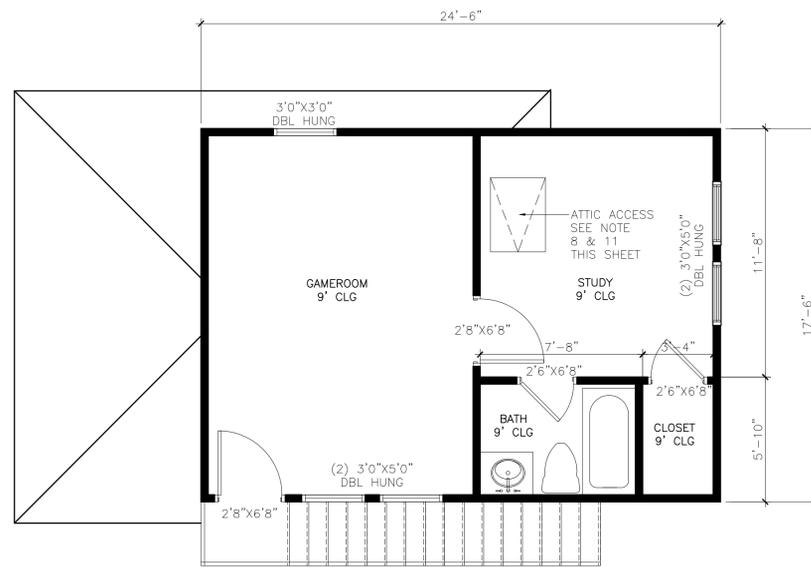
Issue/Revision:	
07.15.15	FOR PERMIT
07.30.15	PROPOSED REVISION HAHC

Drawing Description:

ELEVATIONS

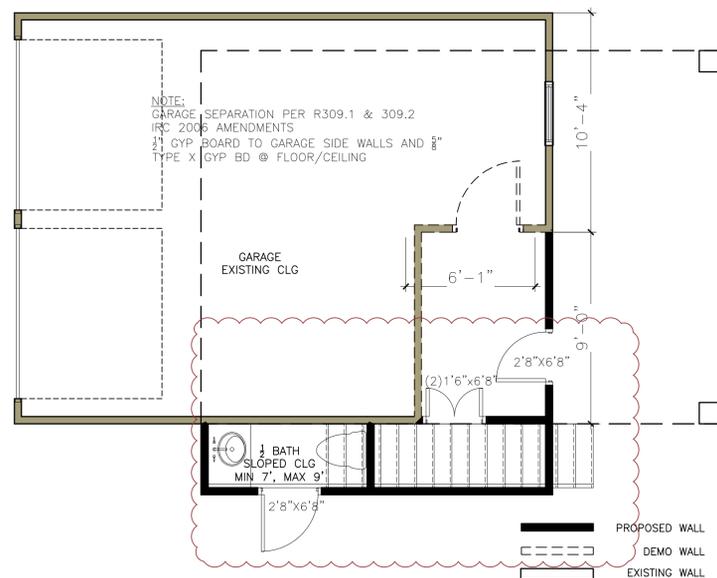
Dwg. Name:	Layer mgr: XX	Sheet No.:
Scale: AS NOTED	Drawn by:	A 3.2
Proj. Mgr.:	Date:	

Owner:
Matthew and Christina Dehaven
3324 Morrison
Houston, TX 77009



01 PROPOSED GARAGE 2ND FLR

1/4" = 1'-0"



01 EXISTING GARAGE 1ST FLOOR

1/4" = 1'-0"

- Do not scale drawings. Written dimensions take precedence. Contractor shall verify and be responsible for all dimensions and conditions on the job and notify Design 3, Inc. of any variations from the dimensions or conditions shown on the drawings presented herein.
- All written notes on these drawings shall take precedence over the minimum standard notes detailed on A0.1.
- Ceiling heights taken from where the note is located on plan.
- All floor drains to have overflow pan with relief
- Provide plumbing access panel at all bathtubs as per IRC 2006 Sect. P2704.1
- All glass at tubs and showers shall be tempered safety glass and to comply with IRC 2006 Sect R308.
- See stair notes and details on S1.5 Provide continuous railing when there are more than 2 risers.
- Provide attic access with a minimum clear opening of 22" x 30". Provide capacity of 350 lbs. See IBC sect. R807 and sect M1205.1.3.
- Locate water heater(s) in attic above a load bearing partition in a pan with a relief line to outside or storm sewer line. Installation shall comply with IRC 2006 Sect P2803.
- Locate HVAC equipment in attic unless otherwise noted.
- Provide 24" wide plywood walkway to access all mechanical equipment located in attic. Maximum distance from attic access to equipment shall not exceed 20'-0". Provide a 30" wide service platform at service side of all equipment in attic.
- All insulation shall have a flame spread rating not to exceed 25 and a smoke density rating not to exceed 450 as per IRC sect R320.1.
- Provide adequate furring so vent and soil pipes do not penetrate plates. All plumbing vents shall exit through a roof plane that slopes to the back.
- Plumbing walls shall be 2x6 unless otherwise noted. Plumber shall use only 2x6 walls (type B) for any plumbing that is larger than 3".
- Smoke detectors are located on A2.1.
- Minimum class B roofing and no openings within 5 feet of common wall.
- All exterior walls are to be minimum 2 x 4 unless dimensioned or noted otherwise.

03 PLAN NOTES

3324 Morrison Addition
Houston, TX 77009

GARAGE PLANS

Issue/Revision:	
07.15.15	FOR PERMIT
07.30.15	PROPOSED REVISION HAHC

Drawing Description:

GARAGE PLANS

Dwg. Name:	Layer mgr: XX	Sheet No.:
Scale: AS NOTED	Drawn by:	A 1.3
Proj. Mgr.:	Date:	
Jul 30, 2015 - 11:47am		

Owner:
Matthew and Christina Dehaven
3324 Morrison
Houston, TX 77009

3324 Morrison Addition
Houston, TX 77009

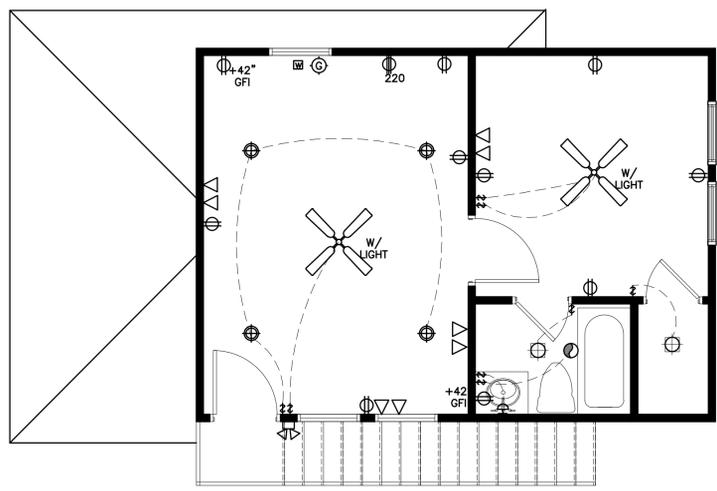
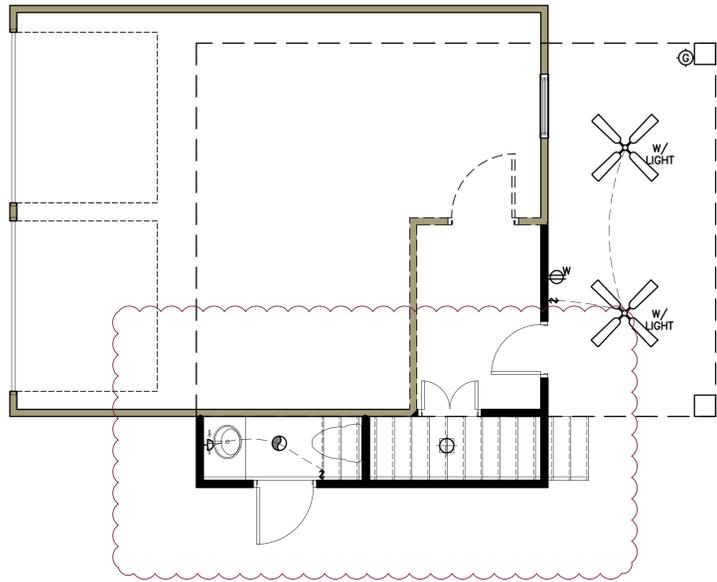
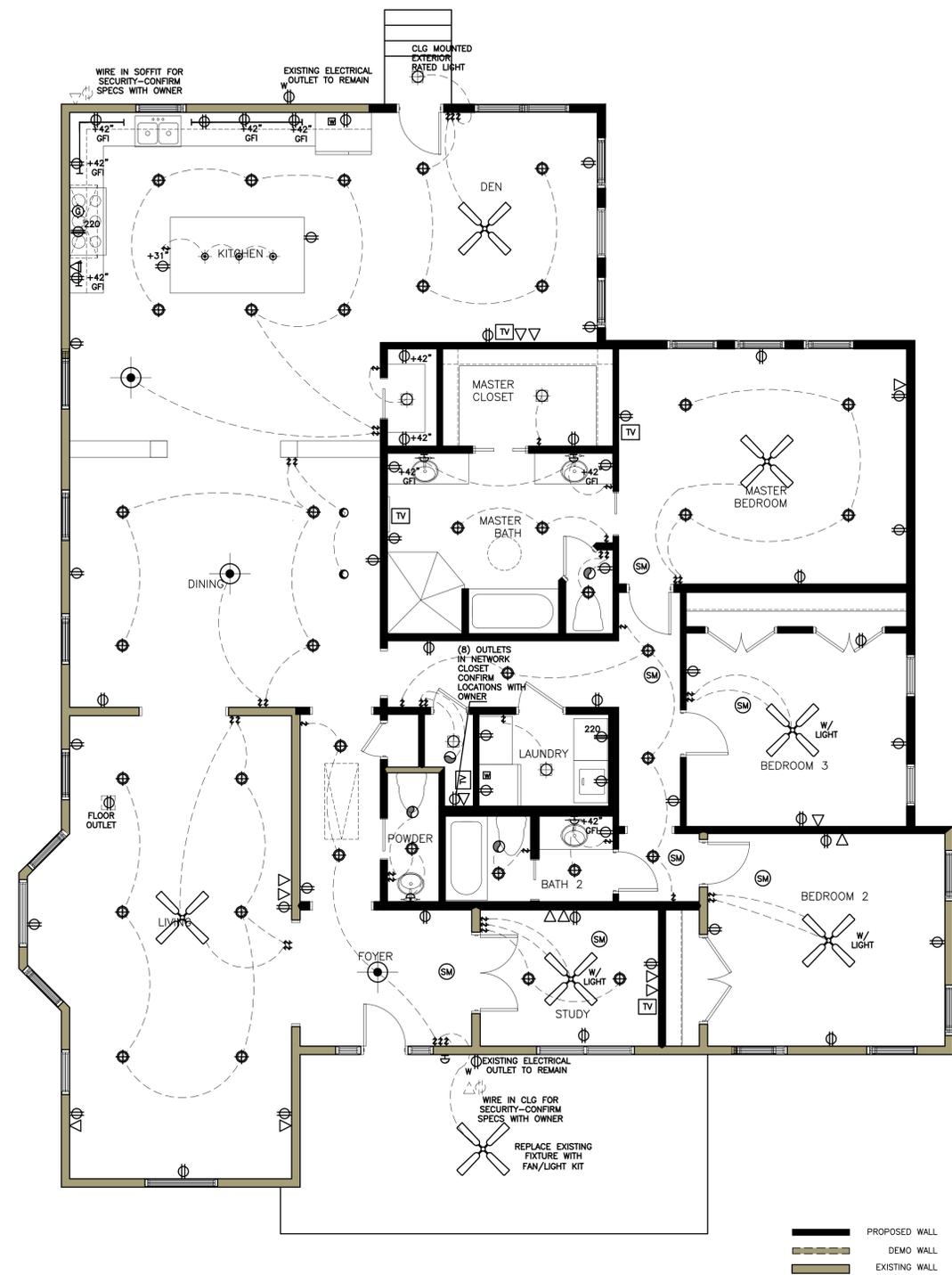
ELECTRICAL / LIGHTING PLAN

Issue/Revision:
07.15.15 FOR PERMIT
07.30.15 PROPOSED REVISION HAHC

Drawing Description:

ELECTRICAL / LIGHTING PLAN

Dwg. Name:	Layer mgr: XX	Sheet No.:
Scale: AS NOTED	Drawn by:	A 2.1
Proj. Mgr.:	Date:	
Jul 30, 2015 - 1150am		



01 1ST FLOOR ELECTRICAL / LIGHTING PLAN

1/4" = 1'-0" 02 GARAGE ELECTRICAL

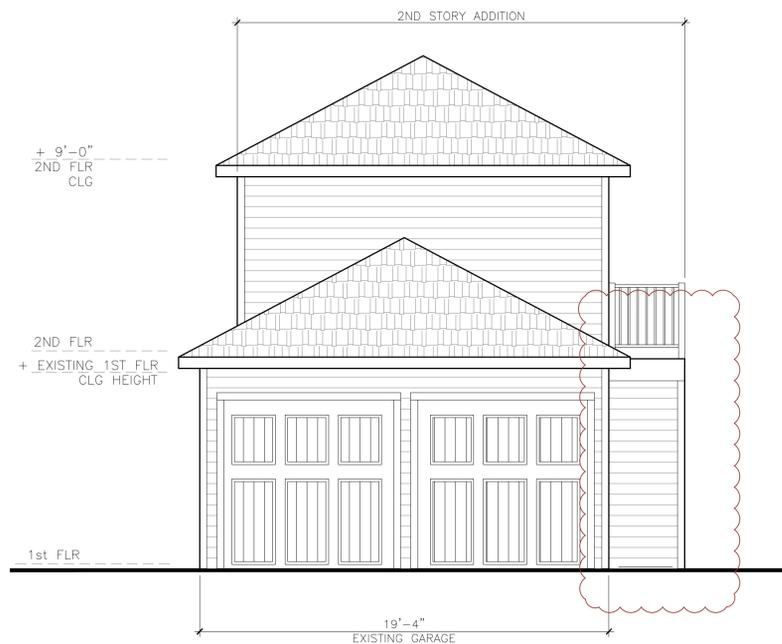
1/4" = 1'-0"

- | | | | | | |
|-------|--|-----|--------------------------------|---|--------------------------------|
| ⊕ | DUPLEX OUTLET- INSTALL ALL OUTLETS IN BASEBOARD U.N.O. | ⚡ | SINGLE SWITCH | Ⓜ | WALL SCONCE LIGHT FIXTURE |
| ⊕ GFI | DUPLEX OUTLET W/ GROUND FAULT INTERRUPTER | ⚡ | 3-WAY SWITCH | Ⓜ | EXHAUST FAN |
| ⊕ W | WEATHERPROOF DUPLEX OUTLET | ⊕ | PENDANT LIGHT | Ⓜ | GAS CONNECTION |
| ⊕ 220 | 220 VOLT OUTLET | ⊕ | PENDANT LIGHT | Ⓜ | WATER LINE |
| △ | DATA/CABLE- CONFIRM SPECS WITH OWNER | ⊕ | CEILING MOUNTED LIGHT | Ⓜ | CEILING FAN |
| Ⓜ | SMOKE DETECTOR | ⊕ | RECESSED LIGHT | Ⓜ | UNDER CABINET LIGHTS & OUTLETS |
| TV | TV LOCATION - ENSURE ELECTRICAL, CABLE Ⓜ +60" | ⊕ W | RECESSED LIGHT - WET LOCATIONS | | |
| | | ○ | DIRECTIONAL RECESSED LIGHT | | |

ELECTRICAL NOTES
All switches shall be mounted at 42" above finish floor to centerline unless otherwise noted.
All outlets shall be mounted in baseboards unless otherwise noted.
Plan denotes specific outlet and switch location. Additional switches and/or outlet required by code are to be furnished and installed by electrician.
Smoke detectors shall be with battery backup, hard-wired and interconnected and shall comply with IRC sect. R317.

03 ELECTRICAL LEGEND & NOTES

Owner:
Matthew and Christina Dehaven
3324 Morrison
Houston, TX 77009



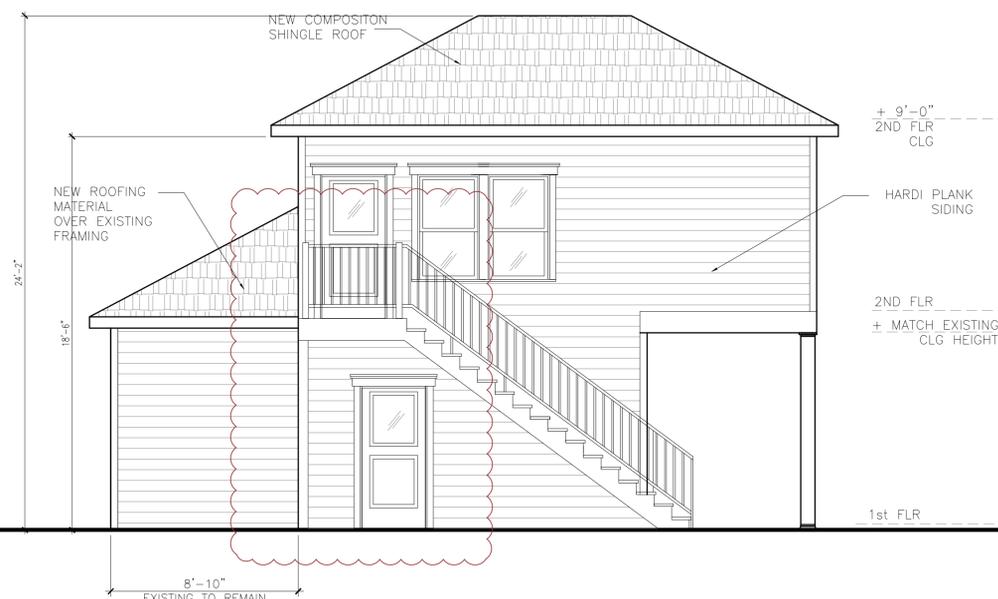
01 FRONT



02 BACK



03 SIDE



04 SIDE

- All drawings here reference the 2006 International Residential Code with City of Houston amendments.
- Do not scale drawings. Written dimensions take precedence. Contractor to verify and be responsible for all dimensions and conditions on the job and notify Design 3 inc. of any variations from the dimensions or conditions shown on the drawings presented herein.
- All written notes on these drawings shall take precedence over the minimum standard notes detailed on A0.1.
- All egress window sills are to a maximum of 44" above finished floor minimum opening are 24" high, 20" wide AND minimum 5.7 sq. ft net clear opening. There shall be at least one egress window per bedroom.
- Openings on a 1 hour fire-rated exterior wall shall be protected with an assembly according to IRC 2006 R302.1. Penetrations into or through fire-rated walls shall conform to IRC 2006 R302.4.1. Contractor shall determine final material and provide appropriate test criteria to the local authority.
- Provide safety glazing in all hazardous locations listed in IRC sect.308.4.1-10 excluding only listed exceptions.
- See S1.5 for guard rail notes.
- Roof plate heights are taken from nominal finished floor elevation unless otherwise noted.
- Distance of gas vent pipes through an exterior wall perpendicular to a property line or common wall shall be a minimum of 3'-0" from the property line or common wall.
- All vent terminals shall be no less than 4' horiz or vert from any window or gravity air inlet or 1' above any door. Sec M1804.2.1-2.6
- All glazing to be double paned and low-E.
- Roofing to be installed according to manufacturer's instructions and IRC Ch 9. Re: Contractor for specs and color.

05 GENERAL NOTES

1/4" = 1'-0"

1/4" = 1'-0"

3324 Morrison Addition
Houston, TX 77009
PROPOSED GARAGE ELEVATIONS

Issue/Revision:
07.15.15 FOR PERMIT
07.30.15 PROPOSED REVISION HAHC

Drawing Description:

GARAGE ELEVATIONS

Dwg. Name:
Layer mgr: XX Sheet No.:
Scale: AS NOTED
Drawn by:
Proj. Mgr.:
Date:
A 3.3
Jul 30, 2015 - 11:19am