

EXISTING SITE PLAN
 1/16" = 1'-0"



Morningside Architects

Morningside Architects LLP
 4229A Bellaire Blvd.
 Houston TX 77025-2514
 713.529.2630 Tel
 713.526.6494 Fax
 www.morningsidearchitects.com

Residence
 3618 Burlington
 Houston, Texas 77006

INTERIM REVIEW ONLY

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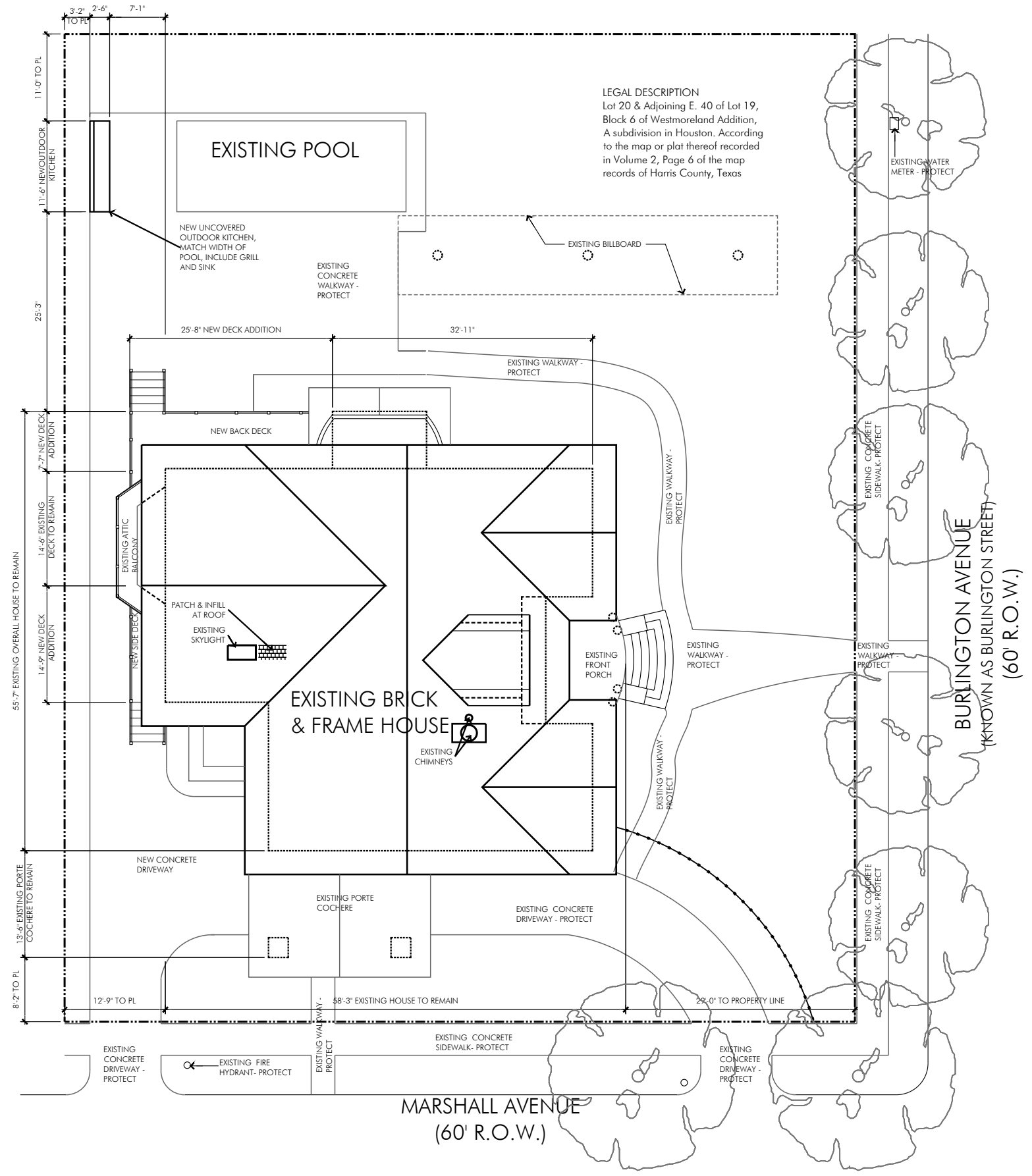
Garil R. Schorre

11042

REGISTRATION NUMBER

07/22/15

DATE



LEGAL DESCRIPTION
 Lot 20 & Adjoining E. 40 of Lot 19,
 Block 6 of Westmoreland Addition,
 A subdivision in Houston. According
 to the map or plat thereof recorded
 in Volume 2, Page 6 of the map
 records of Harris County, Texas

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 1/16" = 1'-0"

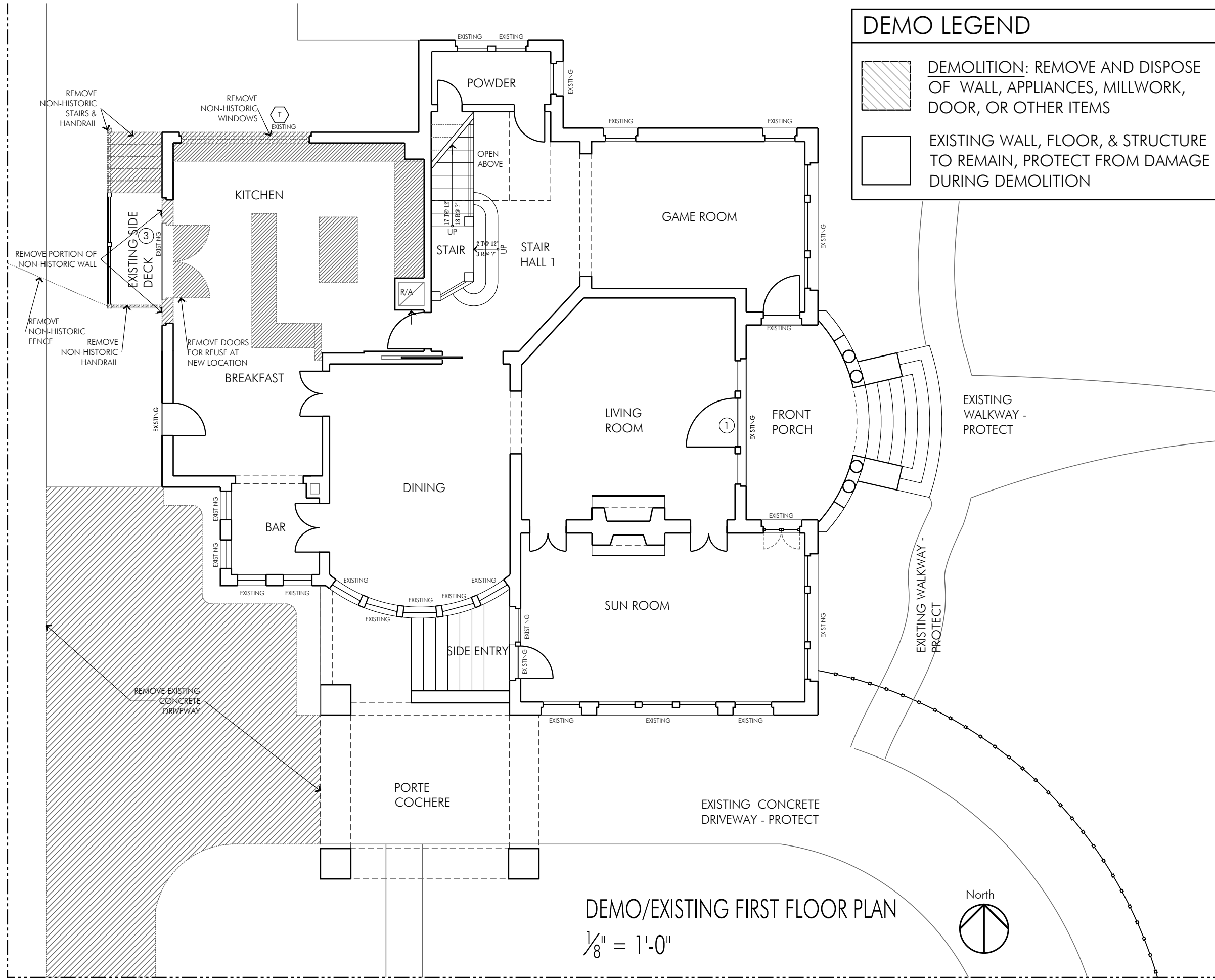


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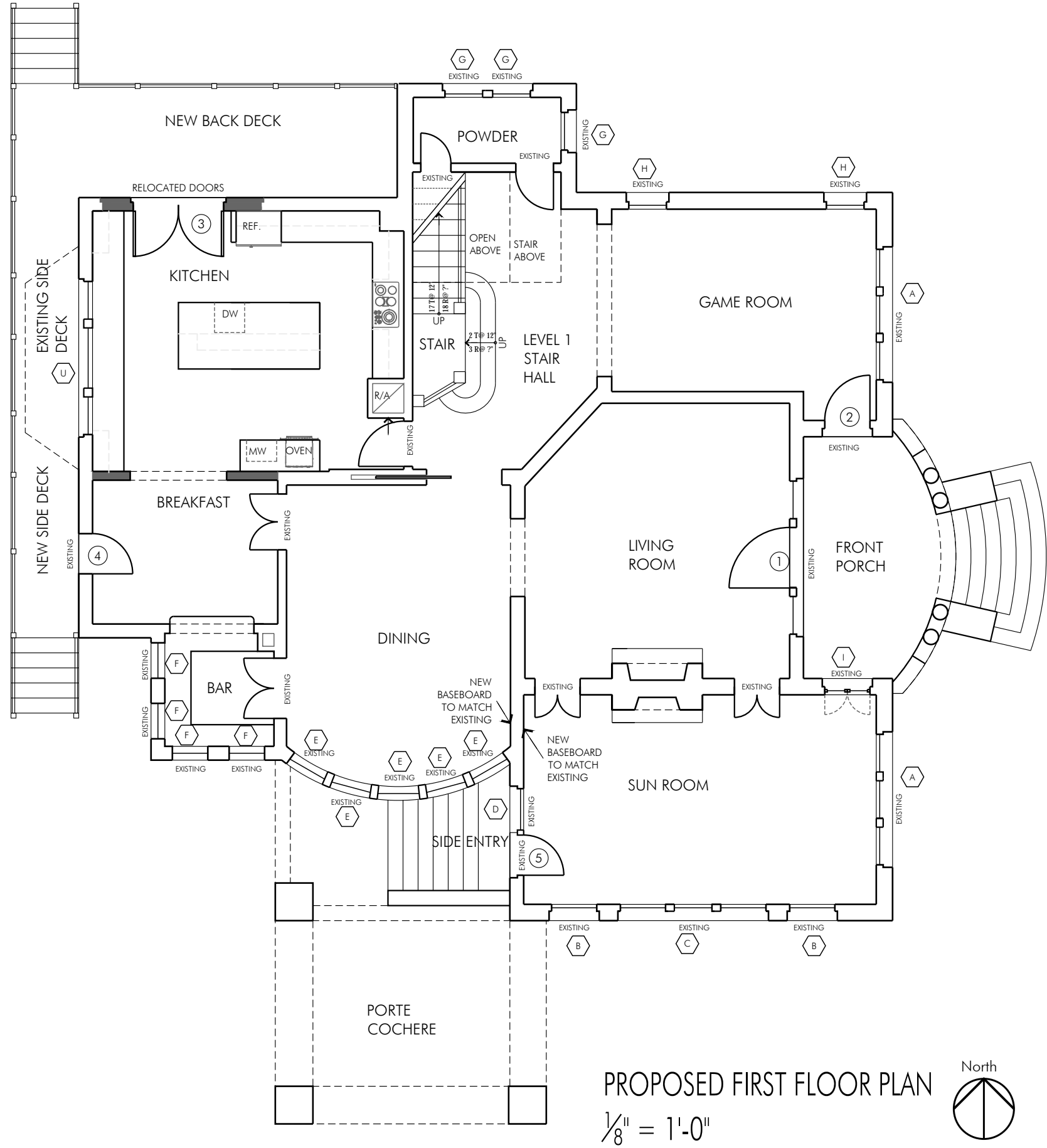
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PROPOSED FIRST FLOOR PLAN

1/8" = 1'-0"



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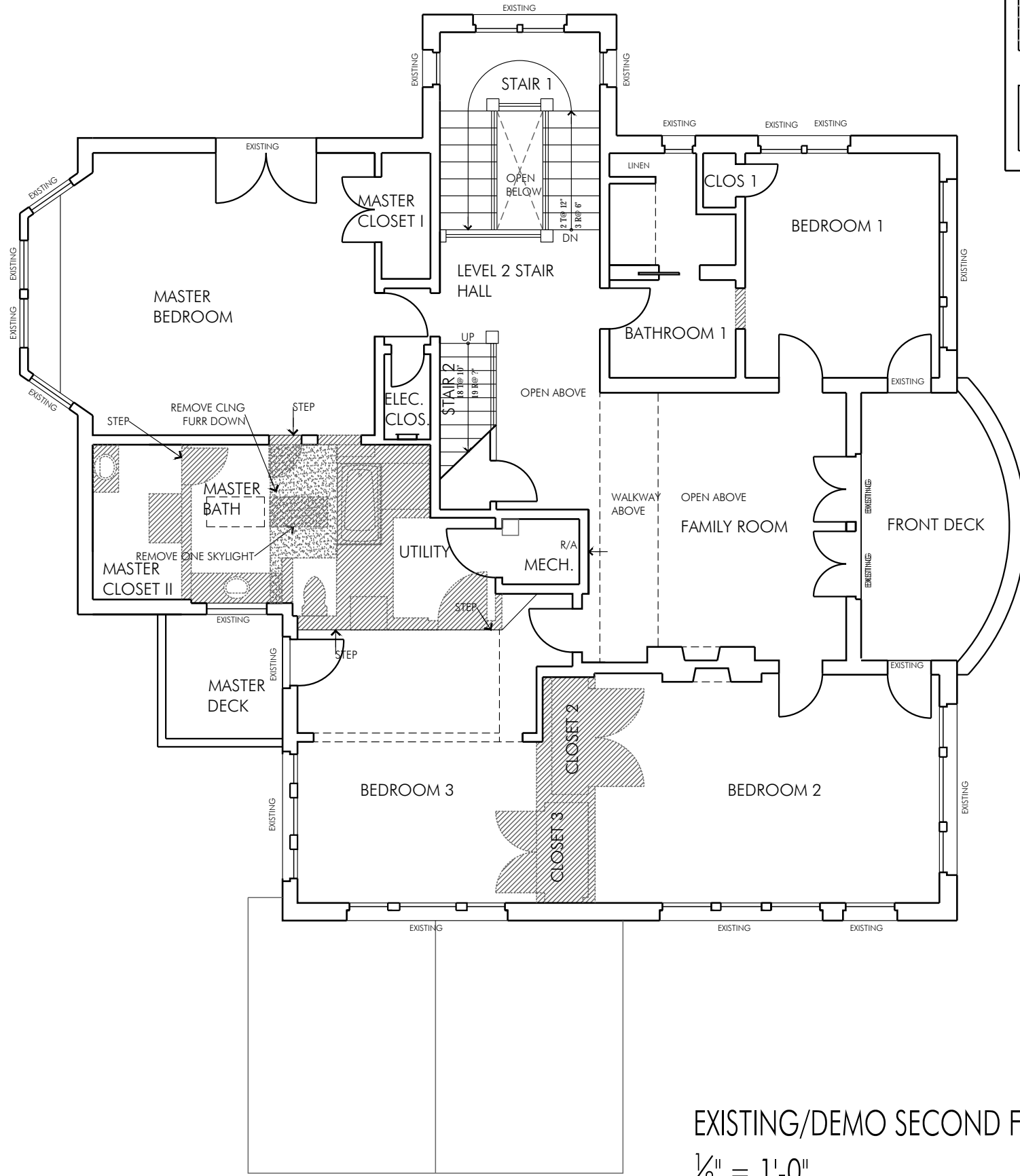
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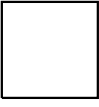
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DEMO LEGEND

 DEMOLITION: REMOVE AND DISPOSE OF WALL, APPLIANCES, MILLWORK, DOOR, OR OTHER ITEMS

 EXISTING WALL, FLOOR, & STRUCTURE TO REMAIN, PROTECT FROM DAMAGE DURING DEMOLITION

EXISTING/DEMO SECOND FLOOR PLAN

$\frac{1}{8}'' = 1'-0''$

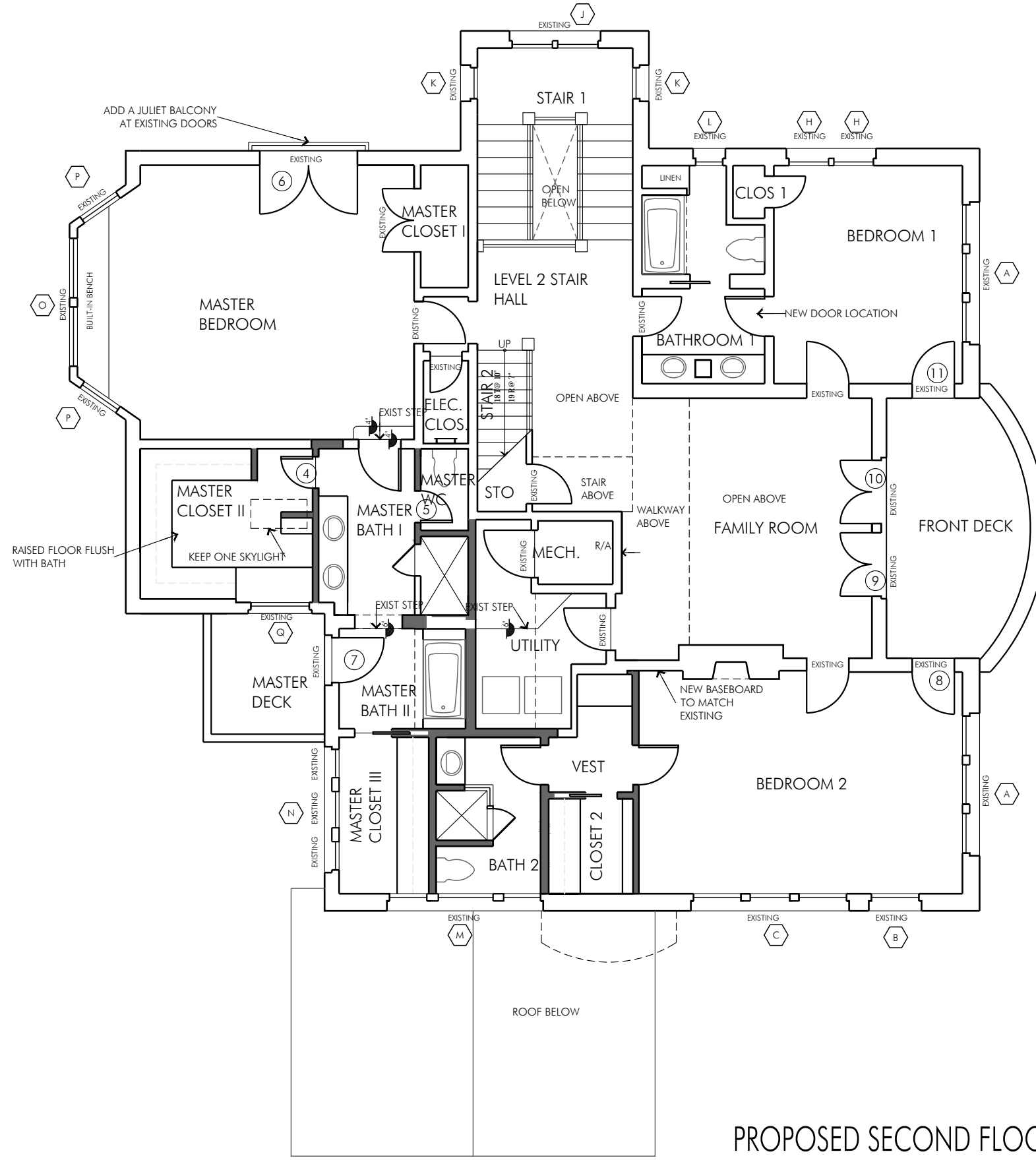


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PROPOSED SECOND FLOOR PLAN

1/8" = 1'-0"

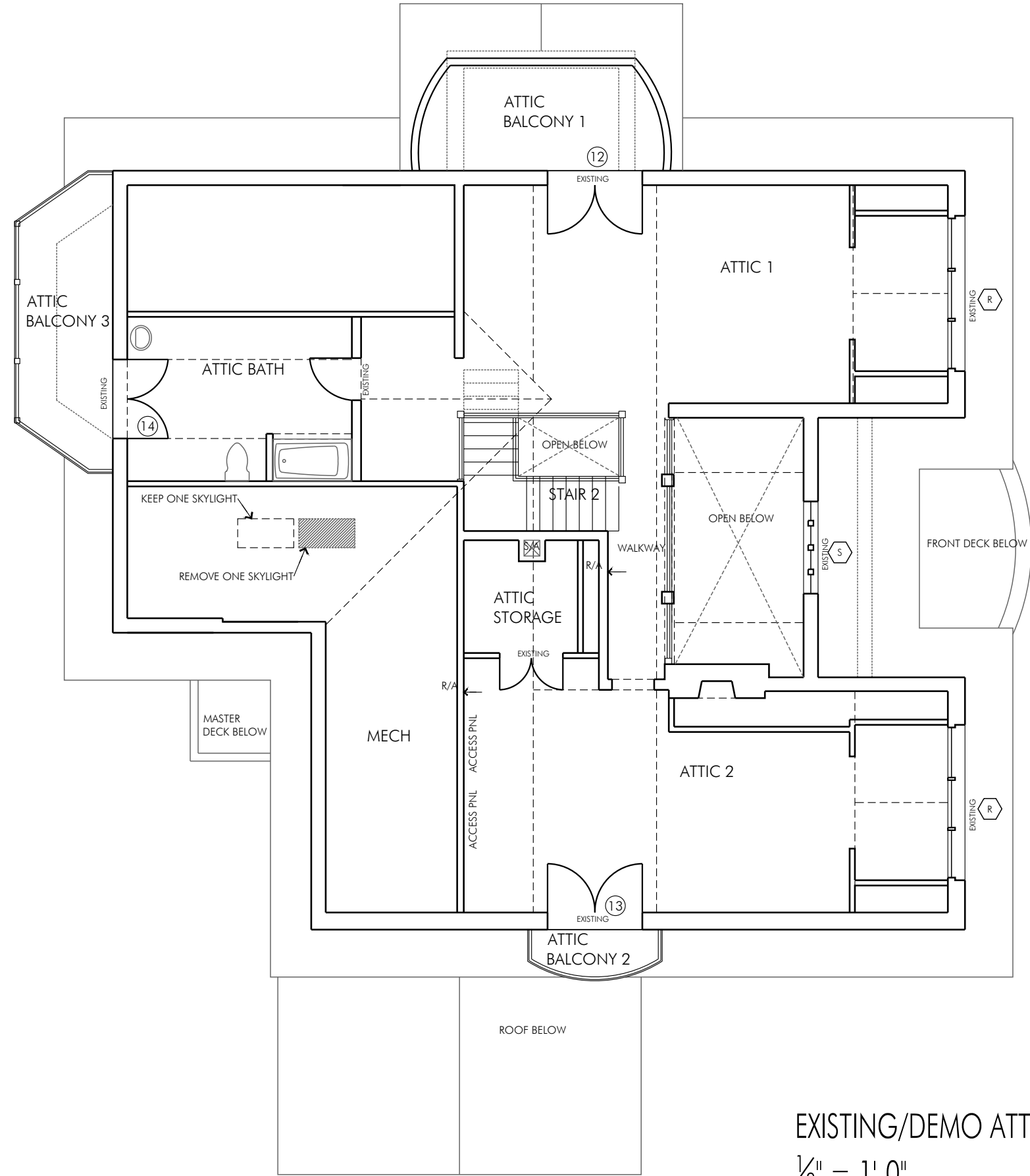


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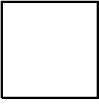
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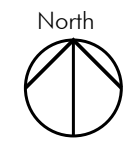
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DEMO LEGEND

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-  EXISTING WALL, FLOOR, & STRUCTURE TO REMAIN, PROTECT FROM DAMAGE DURING DEMOLITION

EXISTING/DEMO ATTIC FLOOR PLAN
 $\frac{1}{8}'' = 1'-0''$



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EXISTING WEST ELEVATION

$\frac{1}{8}'' = 1'-0''$



EXISTING SOUTH ELEVATION

$\frac{1}{8}'' = 1'-0''$

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EXISTING EAST ELEVATION

$\frac{1}{8}'' = 1'-0''$



EXISTING NORTH ELEVATION

$\frac{1}{8}'' = 1'-0''$

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PROPOSED WEST ELEVATION

$\frac{1}{8}'' = 1'-0''$



PROPOSED SOUTH ELEVATION

$\frac{1}{8}'' = 1'-0''$

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PROPOSED EAST ELEVATION

$\frac{1}{8}'' = 1'-0''$



PROPOSED NORTH ELEVATION

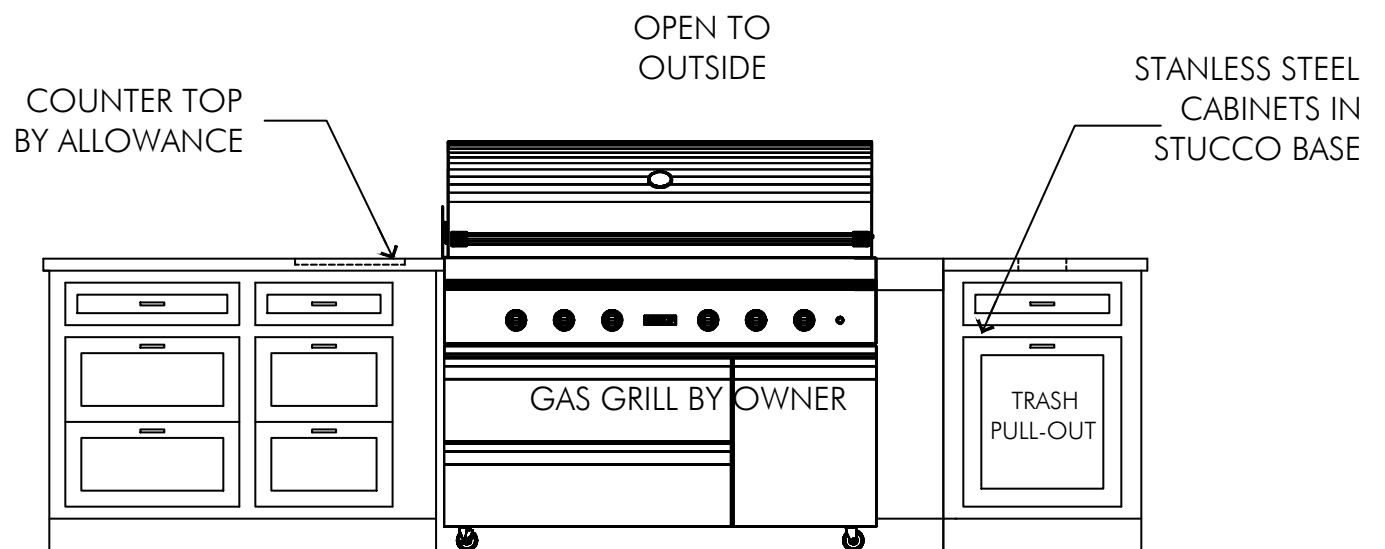
$\frac{1}{8}'' = 1'-0''$

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PROPOSED OUTDOOR KITCHEN
 1/2" = 1'-0"

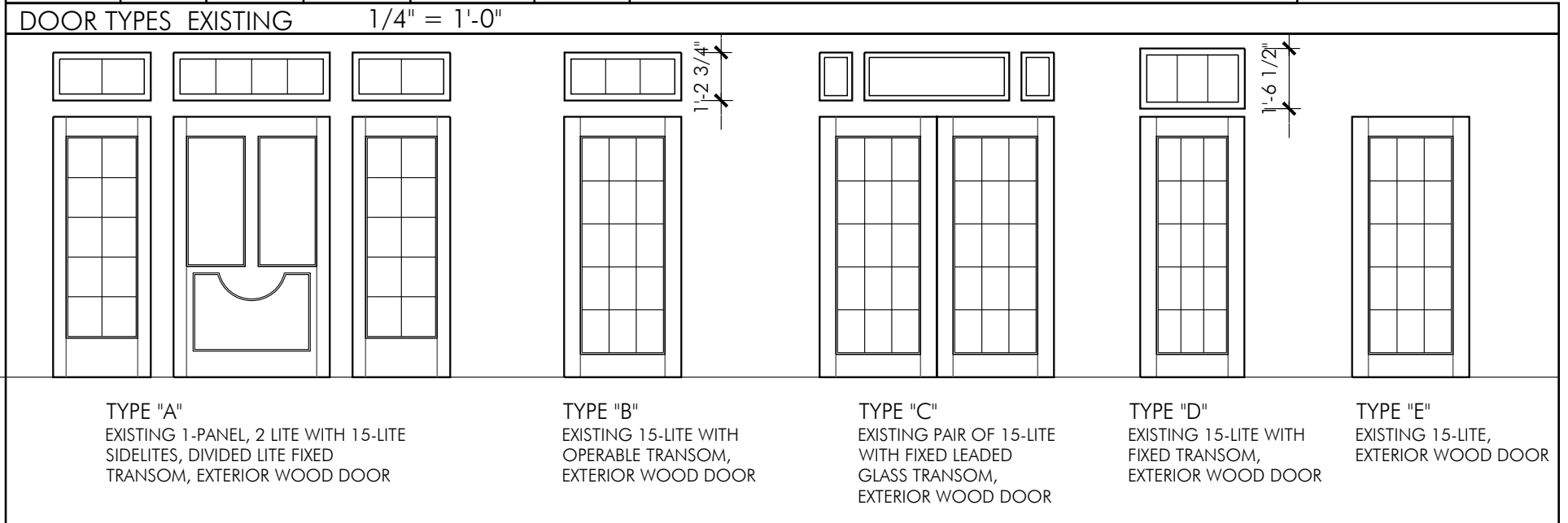
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DOOR SCHEDULE EXISTING						
DOOR NUMBER	DOOR TYPE	WIDTH	HEIGHT	MATERIAL	FINISH	REMARKS
1	A	4'-0"	6'-8"	Wood	Paint	
2	B	3'-0"	6'-8"	Wood	Paint	
3	C	PR 3'-0"	6'-8"	Wood	Paint	
4	D	2'-8"	6'-8"	Wood	Paint	
5	B	2'-8"	6'-8"	Wood	Paint	
6	E	PR 3'-0"	6'-8"	Wood	Paint	
7	B	2'-10"	6'-8"	Wood	Paint	
8	B	2'-8"	6'-8"	Wood	Paint	
9	E	PR 2'-0"	6'-8"	Wood	Paint	
10	E	PR 2'-0"	6'-8"	Wood	Paint	
11	B	2'-8"	6'-8"	Wood	Paint	
12	E	PR 3'-0"	6'-8"	Wood	Paint	
13	E	PR 3'-0"	6'-8"	Wood	Paint	
14	E	PR 2'-6"	6'-8"	Wood	Paint	



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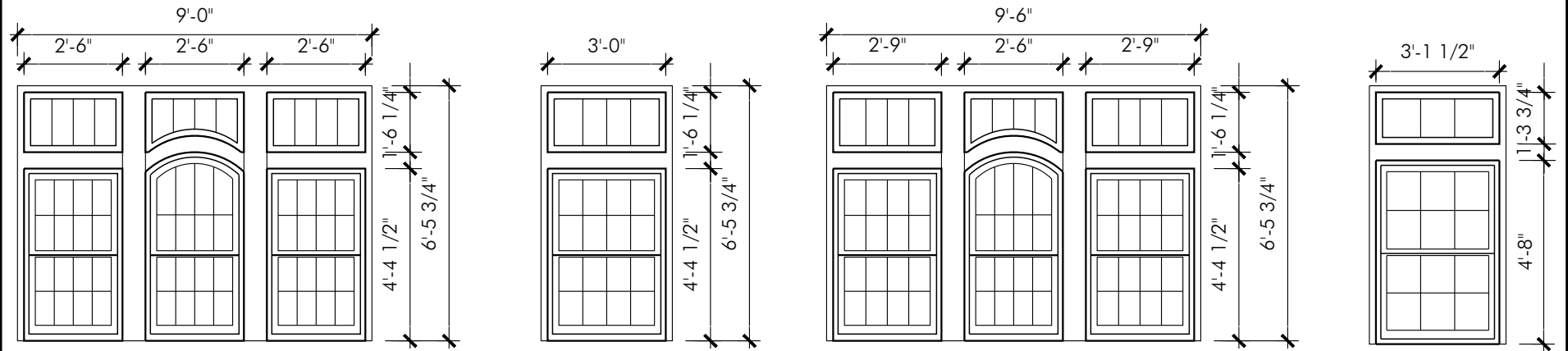
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WINDOW TYPES EXISTING

1/4" = 1'-0"



A

WINDOW TYPE "A"
EXISTING DOUBLE HUNG
WITH FIXED TRANSOM
WOOD FRAME WINDOW

B

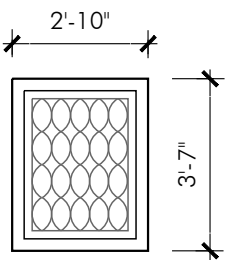
WINDOW TYPE "B"
EXISTING DOUBLE HUNG
WITH OPERABLE TRANSOM
WOOD FRAME WINDOW

C

WINDOW TYPE "C"
EXISTING DOUBLE HUNG
WITH FIXED TRANSOM
WOOD FRAME WINDOW

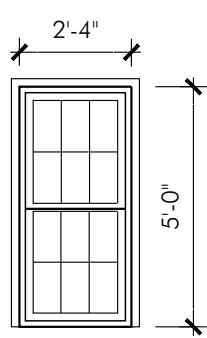
D *

WINDOW TYPE "D"
EXISTING DOUBLE HUNG
WITH FIXED TRANSOM
WOOD FRAME WINDOW
*EGRESS



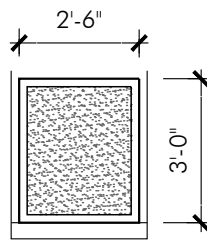
E

WINDOW TYPE "E"
EXISTING OPERABLE
STAINED GLASS WOOD
FRAME WINDOW



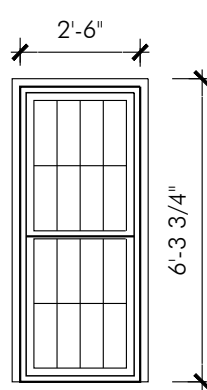
F

WINDOW TYPE "F"
EXISTING DOUBLE HUNG
VINYL FRAME WINDOW



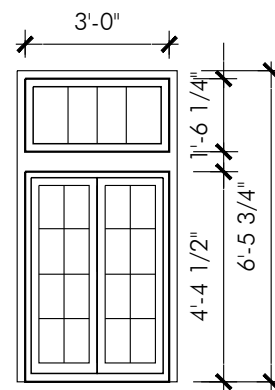
G

WINDOW TYPE "G"
EXISTING OPERABLE
TEXTURED GLASS
WOOD FRAME WINDOW



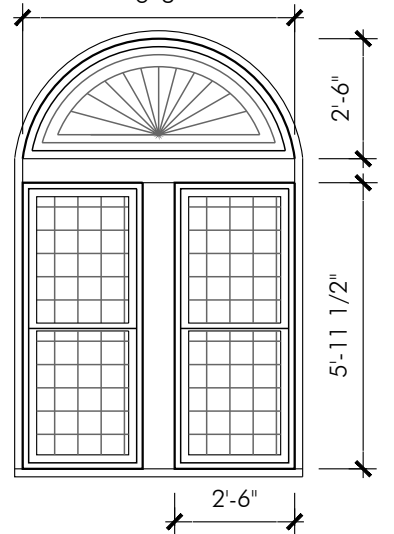
H *

WINDOW TYPE "H"
EXISTING DOUBLE HUNG
WOOD FRAME WINDOW
*EGRESS



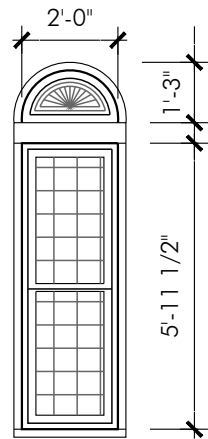
I

WINDOW TYPE "I"
EXISTING CASEMENT
WITH OPERABLE TRANSOM
WOOD FRAME WINDOW



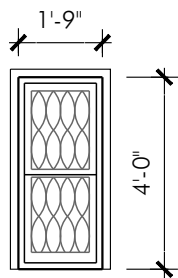
J *

WINDOW TYPE "J"
EXISTING DOUBLE HUNG
STAINED GLASS WOOD WITH FIXED
TRANSOM, WOOD FRAME WINDOW
*EGRESS



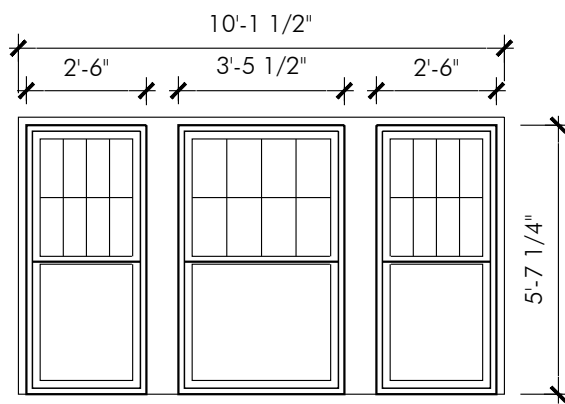
K

WINDOW TYPE "K"
EXISTING DOUBLE HUNG
STAINED GLASS WOOD
WITH FIXED TRANSOM
WOOD FRAME WINDOW



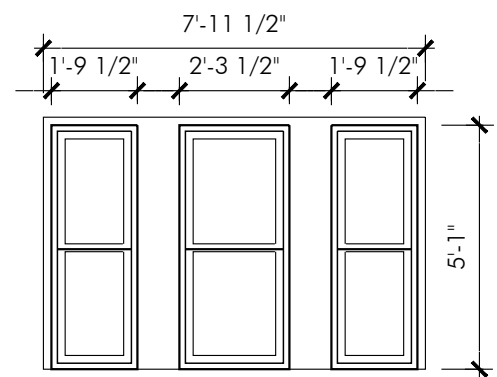
L

WINDOW TYPE "L"
EXISTING DOUBLE HUNG
STAINED GLASS WOOD
FRAME WINDOW



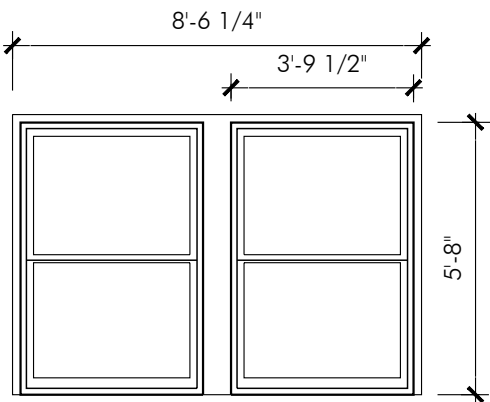
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WINDOW TYPE "M"
EXISTING DOUBLE HUNG
WOOD FRAME WINDOW



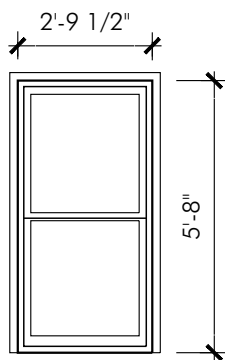
N

WINDOW TYPE "N"
EXISTING DOUBLE HUNG
WOOD FRAME WINDOW



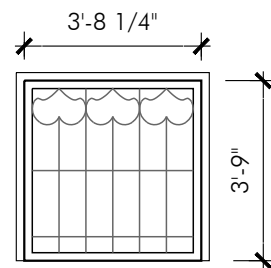
O *

WINDOW TYPE "O"
EXISTING DOUBLE HUNG
WOOD FRAME WINDOW



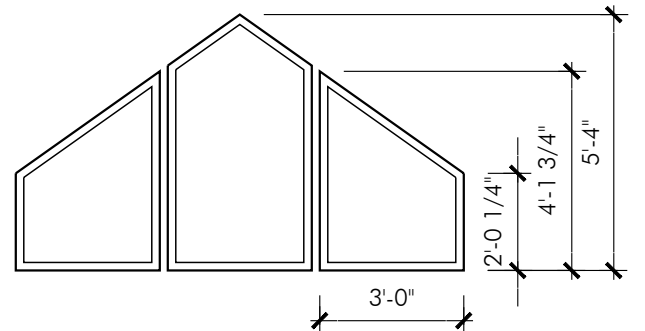
P *

WINDOW TYPE "P"
EXISTING DOUBLE HUNG
WOOD FRAME WINDOW



Q

WINDOW TYPE "Q"
EXISTING SINGLE HUNG
STAINED GLASS



R

WINDOW TYPE "R"
EXISTING FIXED WOOD
FRAME WINDOW

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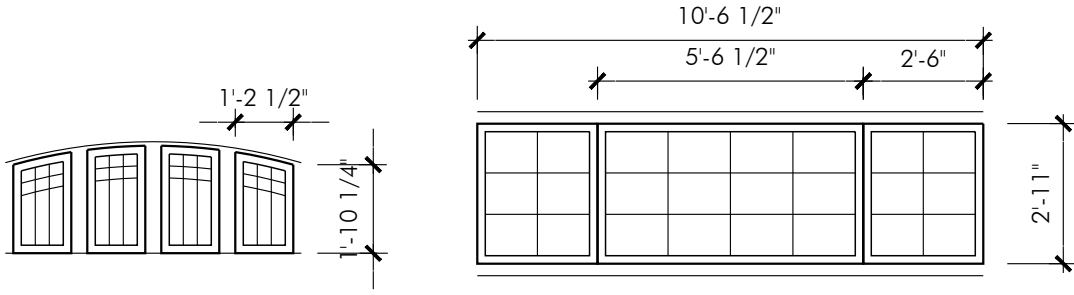
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WINDOW TYPES EXISTING

1/4" = 1'-0"



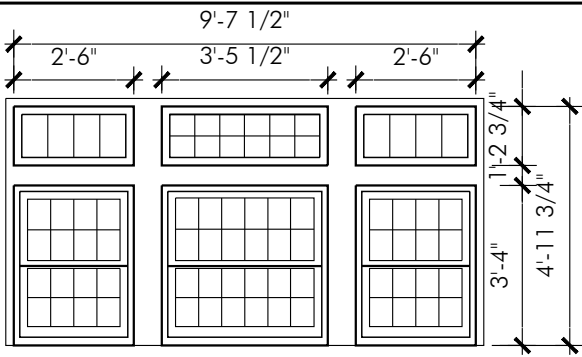
WINDOW TYPE "S"
EXISTING CASEMENT
WOOD FRAME WINDOW



WINDOW TYPE "T"
EXISTING SLIDING VINYL
FRAME WINDOW

WINDOW TYPES PROPOSED

1/4" = 1'-0"



WINDOW TYPE "U"
DOUBLE HUNG WITH
FIXED TRANSOM WOOD
FRAME WINDOW

CERTIFICATE OF APPROPRIATENESS ALTERATION & ADDITON CHECKLIST



PLANNING &
DEVELOPMENT
DEPARTMENT

Well in advance of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable items and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-241 for approval criteria for alteration, rehabilitation, restoration and additions.

PROPERTY ADDRESS: _____

BUILDING TYPE

- | | |
|---|---|
| <input checked="" type="checkbox"/> single-family residence | <input type="checkbox"/> garage |
| <input type="checkbox"/> multi-family residence | <input type="checkbox"/> carport |
| <input type="checkbox"/> commercial building | <input checked="" type="checkbox"/> accessory structure |
| <input type="checkbox"/> mixed use building | <input type="checkbox"/> other |
| <input type="checkbox"/> institutional building | |

ALTERATION TYPE

- | | |
|---|---|
| <input type="checkbox"/> addition | <input type="checkbox"/> roof |
| <input type="checkbox"/> foundation | <input type="checkbox"/> awning or canopy |
| <input checked="" type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign |
| <input checked="" type="checkbox"/> windows or doors | <input type="checkbox"/> ramp or lift |
| <input checked="" type="checkbox"/> porch or balcony | <input type="checkbox"/> other |

WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work; plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new materials description; attach specification sheets if necessary

PHOTOGRAPHS label photos with description and location

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

DRAWINGS scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

- | | |
|---|--|
| <input checked="" type="checkbox"/> current site plan | <input checked="" type="checkbox"/> demolition plan |
| <input checked="" type="checkbox"/> proposed site plan | <input checked="" type="checkbox"/> current roof plan |
| <input checked="" type="checkbox"/> current floor plans | <input checked="" type="checkbox"/> proposed roof plan |
| <input checked="" type="checkbox"/> proposed floor plans | <input checked="" type="checkbox"/> current elevations (all sides) |
| <input checked="" type="checkbox"/> current window and door schedule | <input checked="" type="checkbox"/> proposed elevations (all sides) |
| <input checked="" type="checkbox"/> proposed window and door schedule | <input checked="" type="checkbox"/> perspective and/or line of sight |

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



PLANNING &
DEVELOPMENT
DEPARTMENT

PROPERTY

Address 3618 Burlington Street
Historic District / Landmark Westmoreland HCAD # 0370340000019
Subdivision Westmoreland Addition Lot 20 & 1/2 of 19 Block 6

DESIGNATION TYPE

- Landmark
 Protected Landmark
 Archaeological Site
 Contributing
 Noncontributing
 Vacant

PROPOSED ACTION

- Alteration or Addition
 Restoration
 New Construction
 Relocation
 Demolition
 Excavation

DOCUMENTS

Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name Luigi Major
Company Major Farina Investments, LLC
Mailing Address 1207 Genesee Street
Houston, Texas 77019
Phone 214-629-1135
Email [REDACTED]
Signature [Signature]
Date 07/30/15

APPLICANT (if other than owner)

Name Gail Schorre
Company Morningside Architects
Mailing Address 4229A Bellaire Blvd
Phone 713-529-2630
Email [REDACTED]
Signature [Signature]
Date 07/30/15

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____ Application received: ___/___/___ Application complete: ___/___/___

East (Facing Burlington St) Elevation/Perspective View



South (Facing Marshall St) Elevation



West Elevation



North Elevation



Material Detail



Original wood doors and transom within cementitious shake shingle infill



Doors at second floor with no existing landing available.

Vinyl windows within cementitious shake shingle infill.