

# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



PLANNING &  
DEVELOPMENT  
DEPARTMENT

## PROPERTY

Address 401 Sul Ross / 3900 Bute Street, Houston, TX 77006

Historic District / Landmark First Montrose Commons Historic District

HCAD # 0082680000003

Subdivision Montrose

Lot 3,4,&5

Block 18

## DESIGNATION TYPE

- Landmark  
 Protected Landmark  
 Archaeological Site  
 Contributing  
 Noncontributing  
 Vacant

## PROPOSED ACTION

- Alteration or Addition  
 Restoration  
 New Construction  
 Relocation  
 Demolition  
 Excavation

## DOCUMENTS

- Application checklist for each proposed action and all applicable documentation listed within are attached

## OWNER

Name Chris Vandewater

Company \_\_\_\_\_

Mailing Address 1717 West Webster Unit A

Houston, TX 77019

Phone 713-863-8659

Email [REDACTED]

Signature 

Date 07/20/2015

## APPLICANT (if other than owner)

Name Spencer Howard

Company Spencer Howard Design + Construction Management

Mailing Address 1122 Wyatt Street

Houston, TX 77023

Phone 713-470-9896

Email [REDACTED]

Signature 

Date 07/20/2015

## ACKNOWLEDGEMENT OF RESPONSIBILITY

**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Deed Restrictions:** You have verified that the work does not violate applicable deed restrictions.

**Public Records:** If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

**Compliance:** If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: \_\_\_\_\_ Application received: \_\_\_/\_\_\_/\_\_\_ Application complete: \_\_\_/\_\_\_/\_\_\_

# CERTIFICATE OF APPROPRIATENESS APPLICATION INSTRUCTIONS



PLANNING &  
DEVELOPMENT  
DEPARTMENT

Well in advance of the COA application deadline contact staff to discuss your project, application requirements, and, if necessary, to make an appointment to meet with staff for a project consultation. Visit the Historic Preservation Web Manual for historic district profiles, project guidance and forms. [www.houstontx.gov/HistoricPreservationManual](http://www.houstontx.gov/HistoricPreservationManual)

Historic Preservation Office	832.393.6556	historicpreservation@houstontx.gov
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## SUBMISSION INSTRUCTIONS

To submit application to Planning Department:

- email documents to historicpreservation@houstontx.gov (attachments must be less than 10MB)
- send a Dropbox shared folder invitation to historicpreservation@houstontx.gov, or
- contact staff to set up an appointment to drop off a disc or flash drive.

## MEETING SCHEDULE

- Applications are due **22 calendar days** in advance of the HAHC meeting by **12 PM (noon)** on the deadline date. Exception: revisions to items deferred or denied at the previous HAHC meeting are due 15 days in advance of the scheduled meeting.
- Application deadlines are firm. All materials must be submitted by the deadline to be considered at the following HAHC meeting. Designs must be final at time of application; revisions will not be accepted after the deadline.
- HAHC will not accept new material or redesigns presented at the HAHC meeting. Deferral until the following month's meeting may be necessary in such cases to allow for adequate review by staff and commissioners.
- HAHC monthly meetings are held at 3:00 PM at City Hall Annex, 900 Bagby Street, City Council Chambers, Public Level.

2015 Meeting Dates (Thursdays unless noted otherwise)	COA Application Deadlines	Demolition / Relocation Posted Sign Deadlines
January 29	January 7	January 19
February 26	February 4	February 16
March 26	March 4	March 16
April 23	April 1	April 13
May 21	April 29	May 11
June 18	May 27	June 8
July 22 (Wednesday)	June 30	July 12
August 27	August 5	August 17
September 24	September 2	September 14
October 22	September 30	October 12
November 19	October 28	November 9
December 16 (Wednesday)	November 24	December 6

# CERTIFICATE OF APPROPRIATENESS APPLICATION PART I – GENERAL FORM



PLANNING &  
DEVELOPMENT  
DEPARTMENT

## DEFINITIONS

**Addition:** any expansion to an existing building, structure or object.

**Alteration:** any change to the exterior of a building or structure, including adding, moving, removing or replacing an exterior feature.

**Demolition:** an act or process that destroys in whole, or a majority of, any building, structure, object or site.

**Excavation:** to expose, uncover, or remove by digging, cutting or hollowing out.

**Exterior Feature:** an element of the architectural character and the general arrangement of the external portion of a building, structure or object, including building materials.

**Mandatory Repair:** a repair of a building or structure that is necessary to comply with Article IX, Ch. 10, Houston Code of Ordinances, as evidenced by an order of the hearing official or the building and standards commission or by a citation.

**New Construction:** the erection of a new building, structure, or object, on a lot, site, or other property.

**Relocation:** any change in the location of a building, structure, or object.

**Restoration:** accurately recovering the form and detail of a building, structure, object, or site and its setting as it appeared at a particular period of time by means of the removal of later work, or by the replacement of missing earlier work, or both.

To be completed by  
PLANNING STAFF:

Application received by:  
Accepted as complete by:

Date:

Date:

# CERTIFICATE OF APPROPRIATENESS ALTERATION & ADDITON CHECKLIST



PLANNING &  
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**Well in advance of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.**

Complete all applicable items and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-241 for approval criteria for alteration, rehabilitation, restoration and additions.

**PROPERTY ADDRESS:** 401 Sul Ross / 3900 Bute Street, Houston, TX 77006

## BUILDING TYPE

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> single-family residence | <input type="checkbox"/> garage              |
| <input type="checkbox"/> multi-family residence             | <input type="checkbox"/> carport             |
| <input type="checkbox"/> commercial building                | <input type="checkbox"/> accessory structure |
| <input type="checkbox"/> mixed use building                 | <input type="checkbox"/> other               |
| <input type="checkbox"/> institutional building             |  |

## ALTERATION TYPE

- |   |   |
|---|---|
| <input type="checkbox"/> addition                           | <input type="checkbox"/> roof             |
| <input type="checkbox"/> foundation                         | <input type="checkbox"/> awning or canopy |
| <input checked="" type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign  |
| <input checked="" type="checkbox"/> windows or doors        | <input type="checkbox"/> ramp or lift     |
| <input type="checkbox"/> porch or balcony                   | <input type="checkbox"/> other            |

## WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work; plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new materials description; attach specification sheets if necessary

## PHOTOGRAPHS label photos with description and location

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

## DRAWINGS scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> current site plan                 | <input checked="" type="checkbox"/> demolition plan                 |
| <input checked="" type="checkbox"/> proposed site plan                | <input checked="" type="checkbox"/> current roof plan               |
| <input checked="" type="checkbox"/> current floor plans               | <input checked="" type="checkbox"/> proposed roof plan              |
| <input checked="" type="checkbox"/> proposed floor plans              | <input checked="" type="checkbox"/> current elevations (all sides)  |
| <input type="checkbox"/> current window and door schedule             | <input checked="" type="checkbox"/> proposed elevations (all sides) |
| <input checked="" type="checkbox"/> proposed window and door schedule | <input type="checkbox"/> perspective and/or line of sight           |

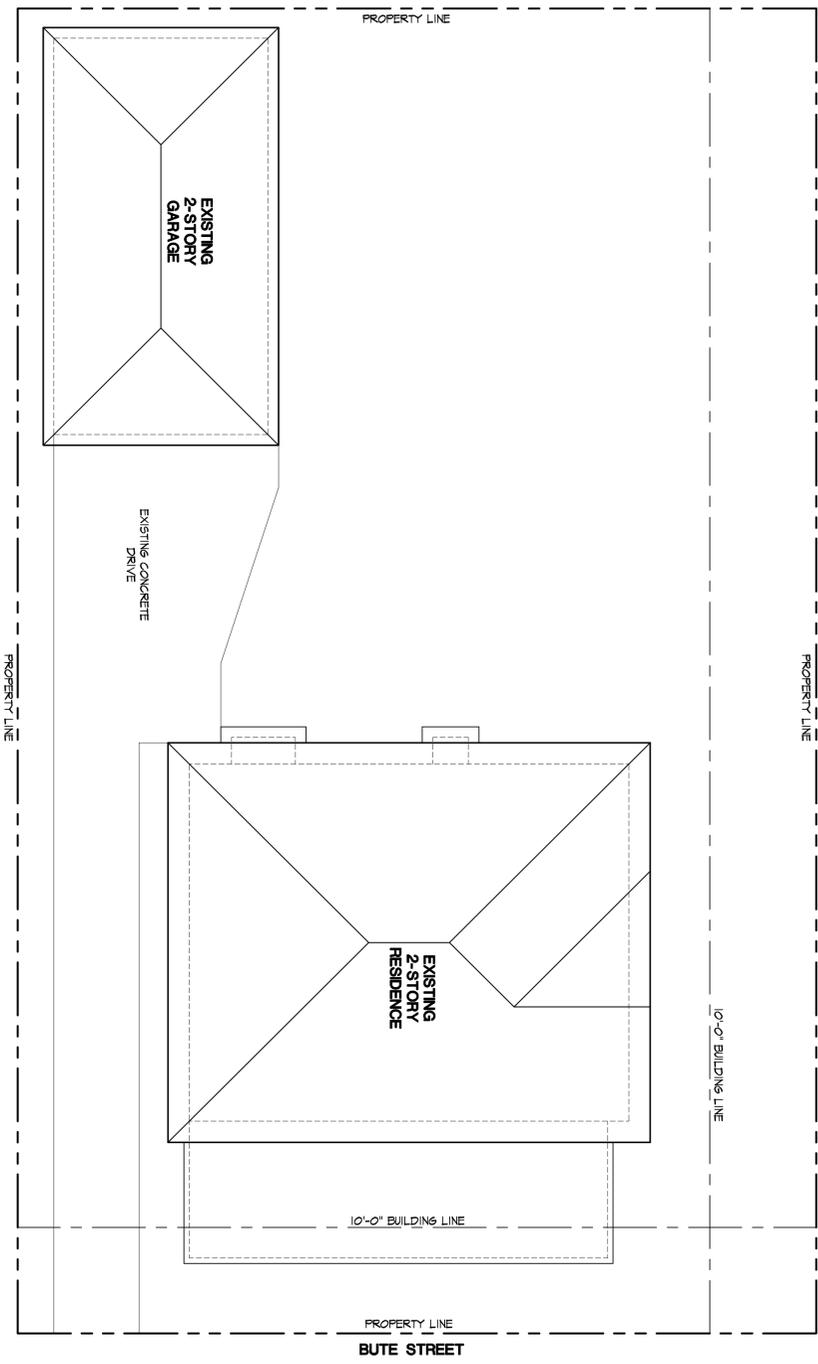
A Renovation For

MS. SOEFFER  
&

MR. VANDEWATER

401 Sul Ross Street  
Houston, Texas  
77006

General Notes to Sheet:



Sheet Contents:

Site Plan  
and  
Roof Plan

Date of Plot: 08/01/2015

Sheet:

Date Issued:

ISSUE FOR HAHIC APPROVAL

08/01/2015

A Renovation For

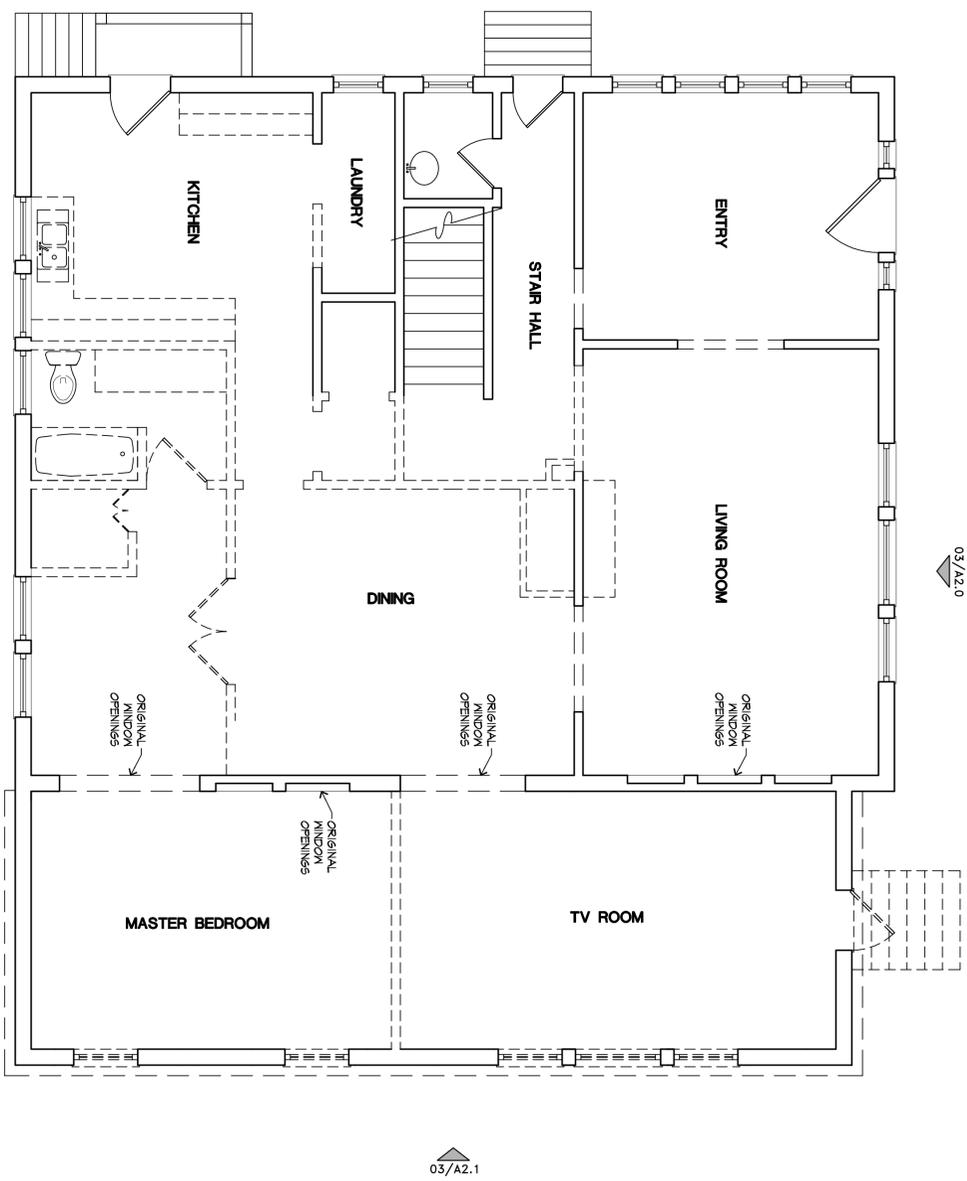
Ms. SOEFER

&

MR. VANDEWATER

401 Sul Ross Street  
Houston, Texas  
77006

General Notes to Sheet:



Existing  
1st Floor  
Plan

**01** FLOOR PLAN  
1/4" = 1'-0"

Date of Plot: 08/01/2015

Sheet:

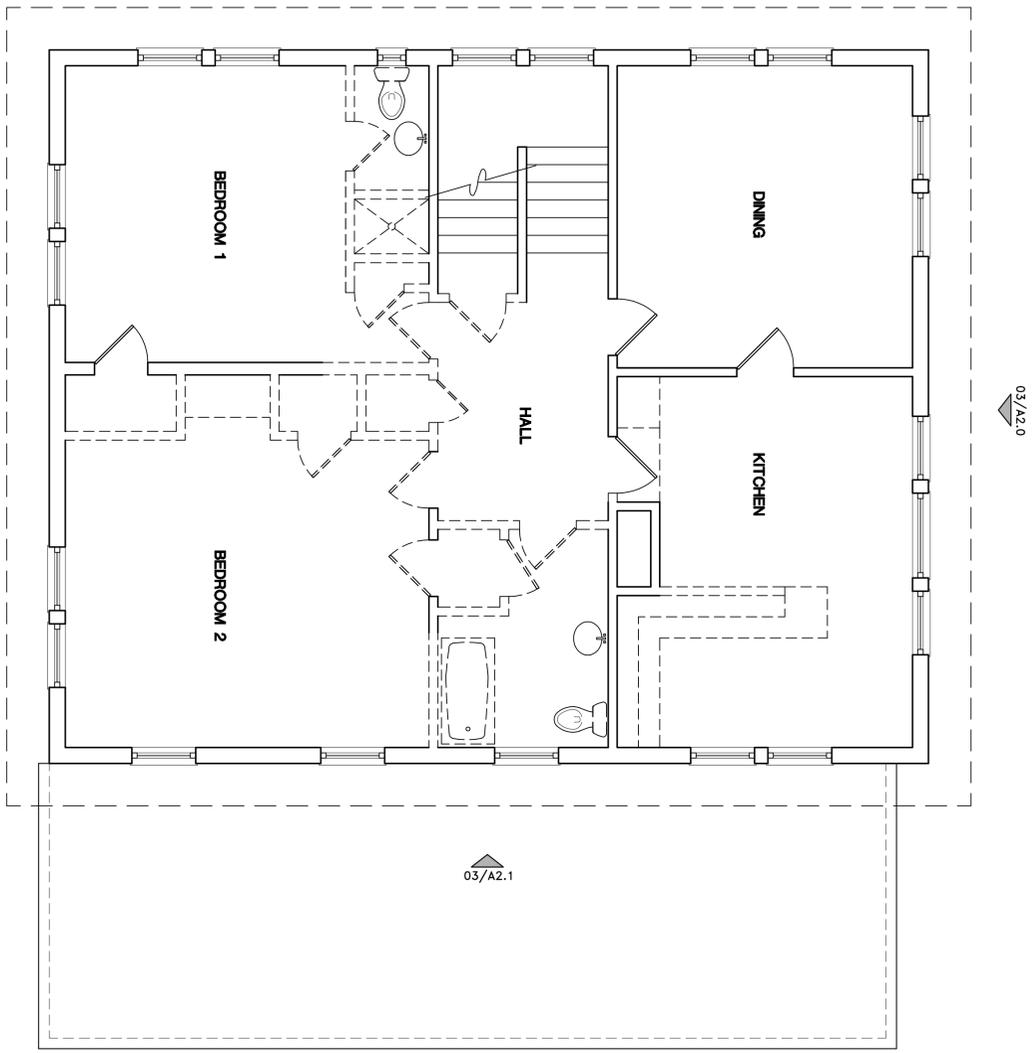
A Renovation For

Ms. SOEFER  
&

MR. VANDEWATER

401 Sul Ross Street  
Houston, Texas  
77006

General Notes to Sheet:



Sheet Contents:

Existing  
2nd Floor  
Plan

Date of Plot: 08/01/2015

Sheet:

01 FLOOR PLAN  
1/4" = 1'-0"

Date Issued:

ISSUE FOR HAAC APPROVAL

08/01/2015

A Renovation For

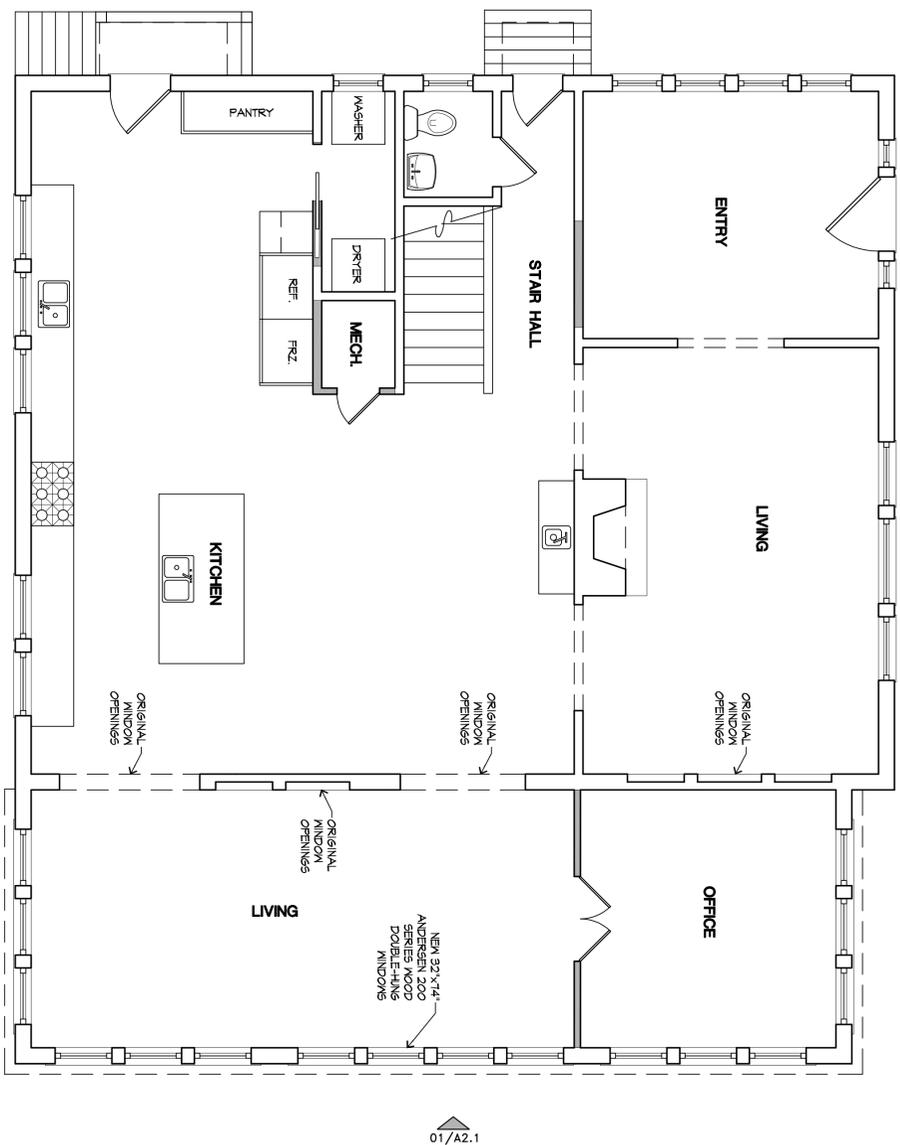
Ms. SOEFER

&

MR. VANDEWATER

401 Sul Ross Street  
Houston, Texas  
77006

General Notes to Sheet:



New  
1st Floor  
Plan

**01** FLOOR PLAN  
1/4" = 1'-0"

Date of Plot: 08/01/2015

Sheet:

**A 1.3**

A Renovation For

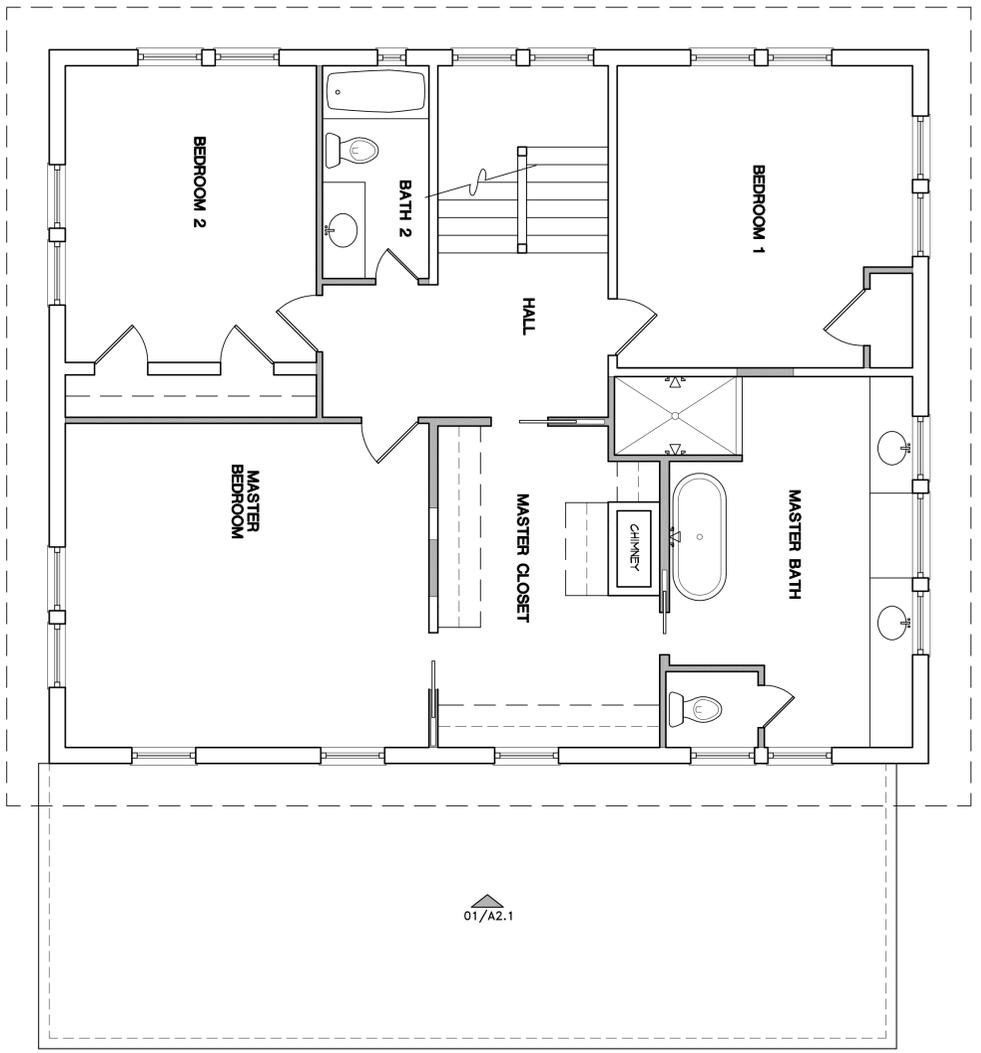
Ms. SOEFLER

&

MR. VANDEWATER

401 Sull Ross Street  
Houston, Texas  
77006

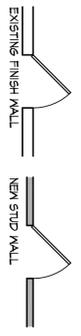
General Notes to Sheet:



01/A2.2

01/A2.0

01/A2.1



**01 FLOOR PLAN**

1/4" = 1'-0"

New  
2nd Floor  
Plan

Date of Plot: 08/01/2015

Sheet:

A Renovation For

Ms. SOEFER  
&

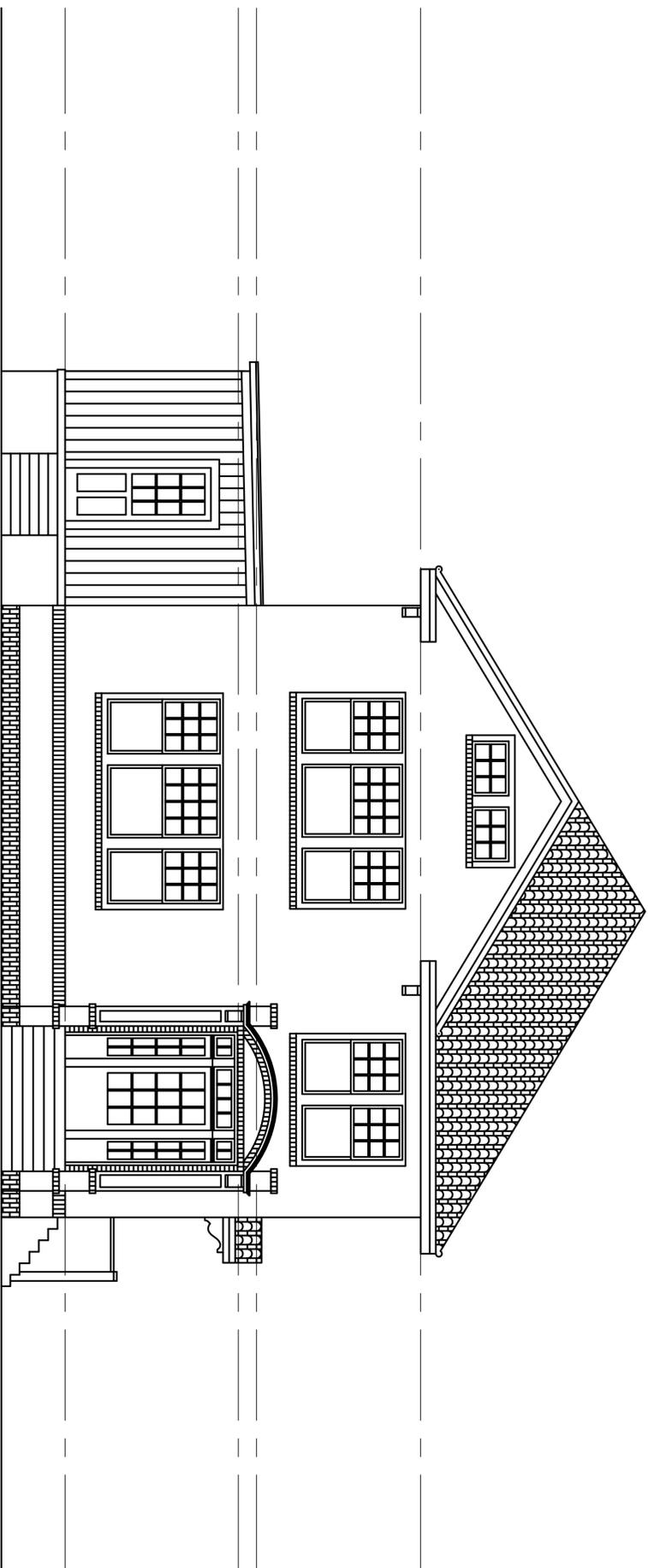
MR. VANDEWATER

401 Sull Ross Street  
Houston, Texas  
77006

General Notes to Sheet:

### 03 EXISTING EXTERIOR

1/4" = 1'-0"



### 01 NEW EXTERIOR

1/4" = 1'-0"

Sheet Contents:

Exterior Elevations

Date of Plot: 08/01/2015

Sheet:



A Renovation For

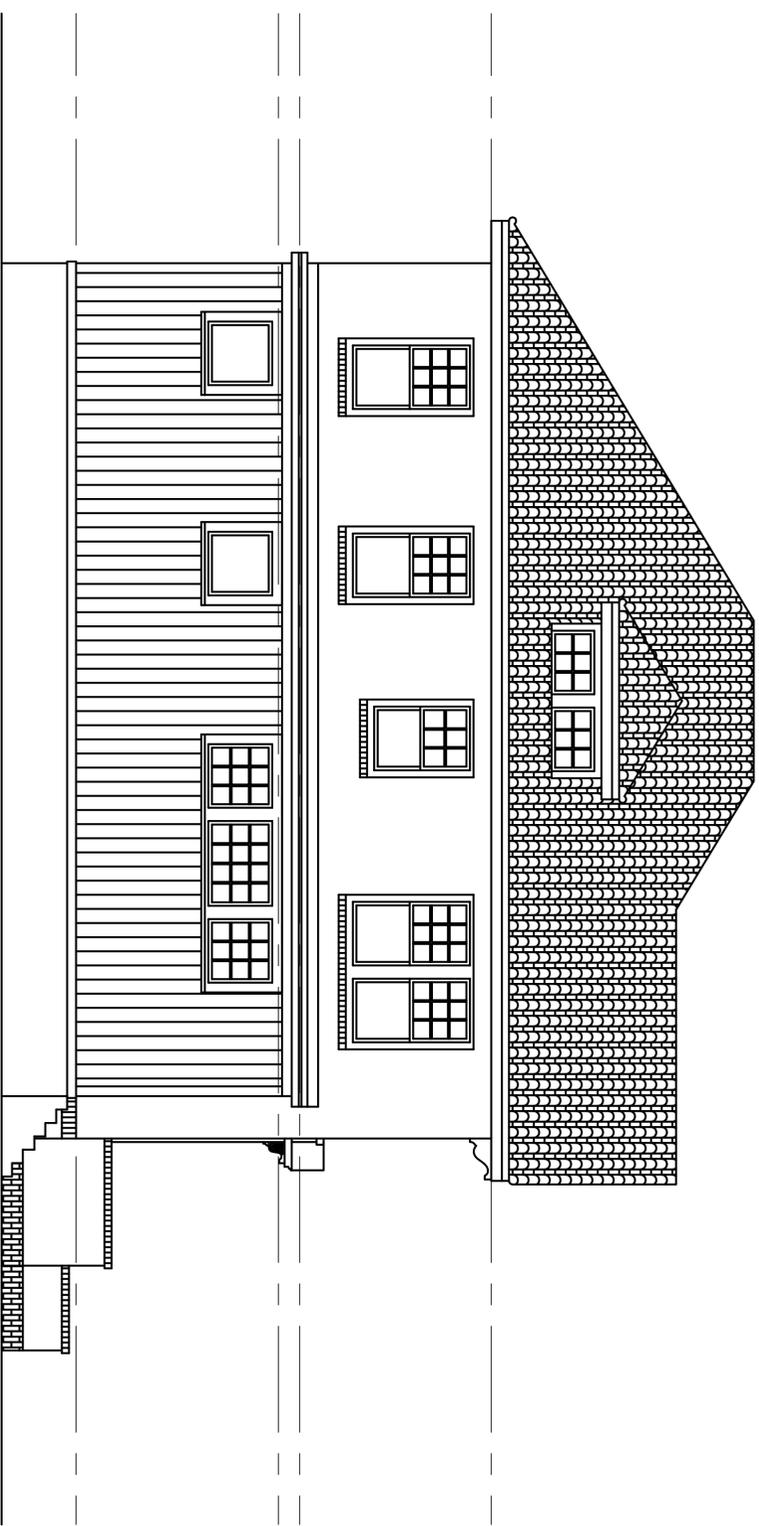
Ms. SOEFLER

&

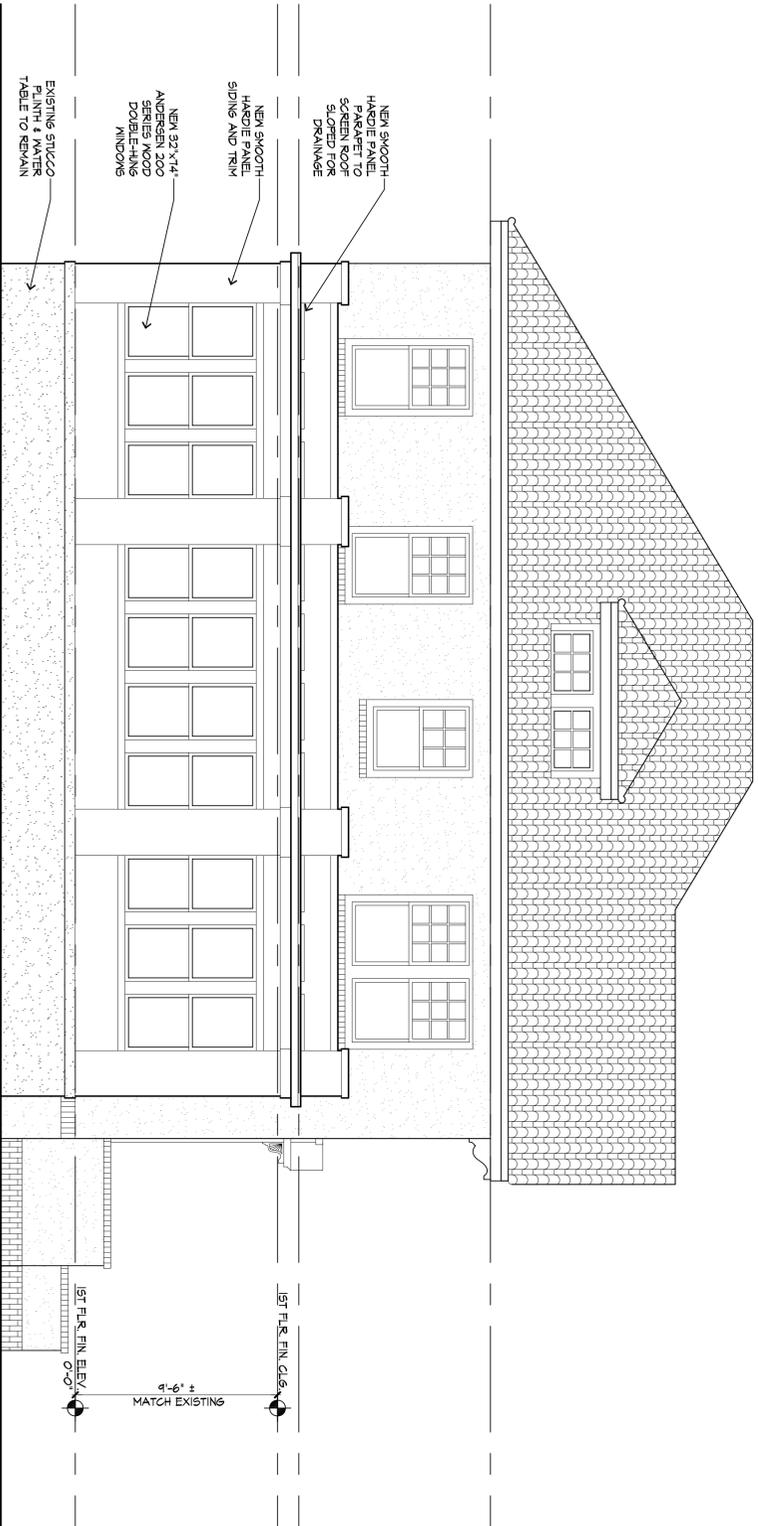
MR. VANDEWATER

401 Sull Ross Street  
Houston, Texas  
77006

General Notes to Sheet:



**03** EXISTING EXTERIOR  
1/4" = 1'-0"



**01** NEW EXTERIOR  
1/4" = 1'-0"

Sheet Contents:

Exterior  
Elevations

Date of Plot: 08/01/2015

Sheet:



Date Issued:

ISSUE FOR HAHIC APPROVAL

08/01/2015

A Renovation For

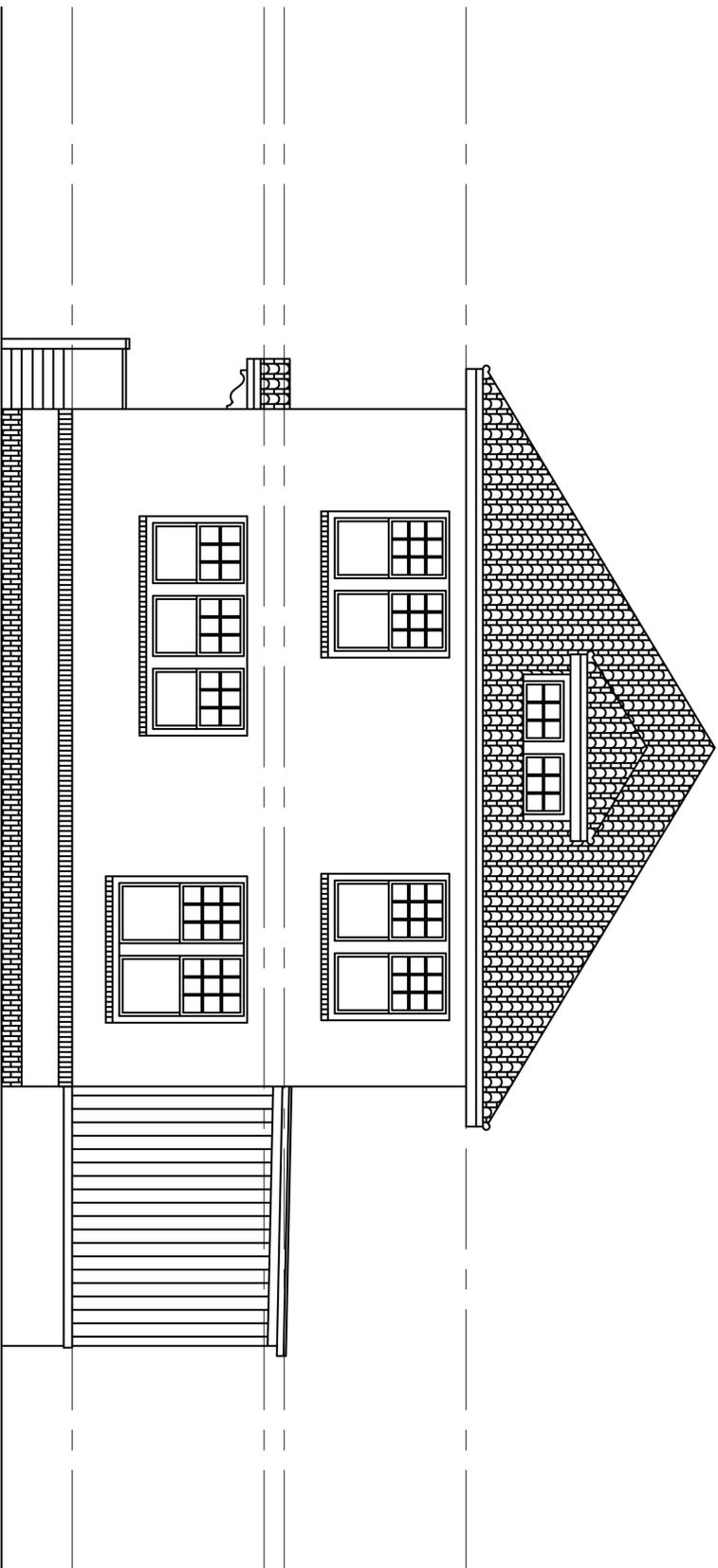
Ms. SOEFER

&

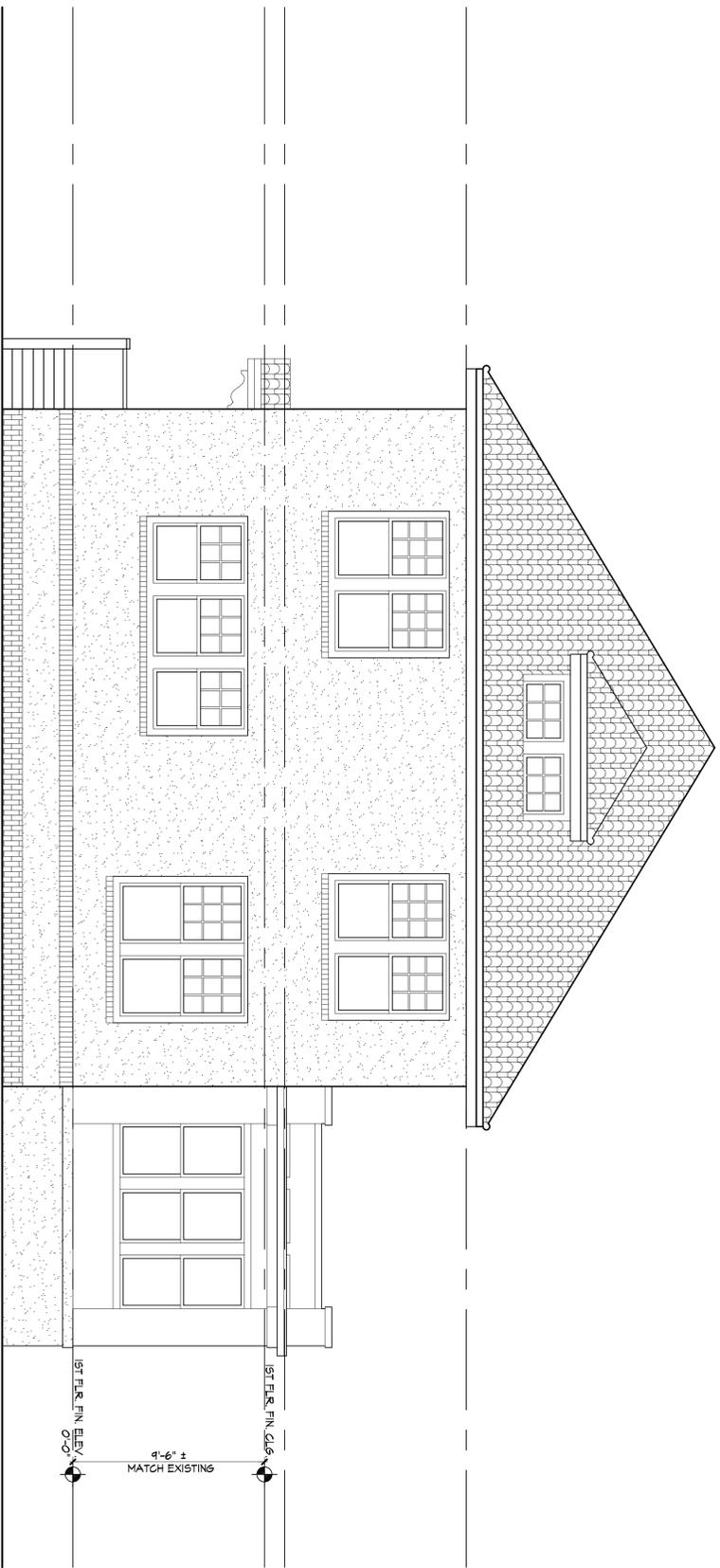
MR. VANDEWATER

401 Sull Ross Street  
Houston, Texas  
77006

General Notes to Sheet:



**03** EXISTING EXTERIOR  
1/4" = 1'-0"



**01** NEW EXTERIOR  
1/4" = 1'-0"

← EXISTING  
ADDITION TO  
TO REMAIN  
BE ALTERED →

Sheet Contents:

Exterior  
Elevations

Date of Plot: 08/01/2015

Sheet:

**Certificate of Appropriateness Application  
ALTERATION  
Written Description**

**RE: 401 Sul Ross Street  
Montrose  
Lot 3, 4, & 5, Block 18**

We request approval of a Certificate of Appropriateness to the proposed alterations at 401 Sul Ross in the First Montrose Commons Historic District.

The residence has 3,976 square feet of interior space with a detached two-car garage. The garage received a COA for demolition in June 2015. The home is a two-story wood and terra cotta block structure with stucco exterior that was built in 1923. At some point, a concrete terrace with French doors and transom windows were added to the east side of the residence facing Bute Street, as was typical of sunroom additions found in the historic district to take advantage of prevailing breezes off the Gulf Coast. Between 1953 and 1962 there was an inappropriate addition built on top of the terrace and the home was subsequently divided into apartments.

The building materials used on the addition are wood frame and vertical plywood siding. The addition features 5 fixed clerestory windows and one door that are not typical of sunroom additions facing south or east in the historic district. The roof has a shallow slope with asphalt material more typically found on Mid-Century Modern flat roofs. Due to inappropriate flashing against the stucco and not a steep enough slope to allow for positive drainage of rainwater, the roof structure has failed from moisture infiltration.

We are proposing to leave the original home's exterior unaltered and to replace the existing windows in the addition with 16 wooden double-hung windows that will be similar to the fenestration that was on the original east elevation before the addition was built and Hardie panel siding instead of stucco to delineate between old and new. To address the moisture infiltration, we are proposing to add a parapet to screen a more appropriate modified bitumen membrane roof in order to not obscure the second floor façade. This change will keep the addition intact, but will be a more cohesive exterior to the home and the historic district than the current plywood siding and inappropriate fenestration.

Spencer Howard, applicant