

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



**PLANNING &
DEVELOPMENT
DEPARTMENT**

PROPERTY

Address 716 Arlington
 Historic District / Landmark Heights South HCAD # 020253000017
 Subdivision Houston Heights Lot 17 Block 257

DESIGNATION TYPE

- Landmark
 Protected Landmark
 Archaeological Site
 Contributing
 Noncontributing
 Vacant

PROPOSED ACTION

- Alteration or Addition
 Restoration
 New Construction
 Relocation
 Demolition
 Excavation

DOCUMENTS

Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name William & Katie Davis
 Company _____
 Mailing Address 716 Arlington
Houston, TX 77007
 Phone 832-687-6700
 Email [Redacted]
 Signature [Signature]
 Date 8.3.15

APPLICANT (if other than owner)

Name Karen Brasier
 Company Design 3 Studio
 Mailing Address 3108 Houston Ave
 Phone 281 908 9188
 Email [Redacted]
 Signature [Signature]
 Date 8.3.15

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____ Application received: ___/___/___ Application complete: ___/___/___

CERTIFICATE OF APPROPRIATENESS ALTERATION & ADDITON CHECKLIST



PLANNING &
DEVELOPMENT
DEPARTMENT

Well in advance of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable items and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-241 for approval criteria for alteration, rehabilitation, restoration and additions.

PROPERTY ADDRESS: 716 Arlington

BUILDING TYPE

- | | |
|---|--|
| <input checked="" type="checkbox"/> single-family residence | <input type="checkbox"/> garage |
| <input type="checkbox"/> multi-family residence | <input type="checkbox"/> carport |
| <input type="checkbox"/> commercial building | <input type="checkbox"/> accessory structure |
| <input type="checkbox"/> mixed use building | <input type="checkbox"/> other |
| <input type="checkbox"/> institutional building | |

ALTERATION TYPE

- | | |
|--|---|
| <input type="checkbox"/> addition | <input type="checkbox"/> roof |
| <input type="checkbox"/> foundation | <input type="checkbox"/> awning or canopy |
| <input type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign |
| <input type="checkbox"/> windows or doors | <input type="checkbox"/> ramp or lift |
| <input type="checkbox"/> porch or balcony | <input type="checkbox"/> other |

WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work; plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new materials description; attach specification sheets if necessary

PHOTOGRAPHS label photos with description and location

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

DRAWINGS scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

- | | |
|---|--|
| <input checked="" type="checkbox"/> current site plan <i>-survey</i> | <input checked="" type="checkbox"/> demolition plan |
| <input checked="" type="checkbox"/> proposed site plan | <input checked="" type="checkbox"/> current roof plan |
| <input checked="" type="checkbox"/> current floor plans | <input checked="" type="checkbox"/> proposed roof plan |
| <input checked="" type="checkbox"/> proposed floor plans | <input checked="" type="checkbox"/> current elevations (all sides) |
| <input checked="" type="checkbox"/> current window and door schedule | <input checked="" type="checkbox"/> proposed elevations (all sides) |
| <input checked="" type="checkbox"/> proposed window and door schedule | <input checked="" type="checkbox"/> perspective and/or line of sight |

716 Arlington is a 1,387 SF craftsman style bungalow constructed in 1920. A prior addition exists at the rear of the house and will be removed. See photographs and Sanborn maps for identification of original rear wall. A non-contributing accessory structure at the rear of the property will be demolished.

Proposed is a one story addition starting at the rear wall of the original house bringing the total square footage to 2,201. An alley access garage and rear screened porch are also to be constructed.

The existing foundation has sunk below its original height. See attached photographs for documentation. Proposed is to level the foundation and raise the finish floor to 30" above grade from its current 24". The new finish floor at the proposed addition will also be 30".

Non-original steps were at some point added to the side of the front porch. These will be removed and replaced with a railing to match the original. The front wood steps will be rebuilt to accept the new finish floor height and wood handrails matching the original guardrails will be added to the steps for safety.

All window trim on the original house will be restored to match the trim found on the front 2 windows. It is evident that a trim board was added under the existing rafters and original window trim was removed. Also, gutters, downspouts, and a trim board were added covering the original exposed rafter tails. These items will be removed to restore the original rafter tails. See attached photographs for documentation.

There are screen windows attached to the exterior of the original windows which will be removed.

The new addition will be clad in new wood 117 siding and trim details will match the existing.

The attic access on the porch will be enclosed and in-filled with tongue and groove ceiling to match the surrounding and attic access will be provided from the new attic to the original attic.



Attic access at front porch to be in-filled. New attic access from interior.



Remove aluminum screen windows mounted to exterior.



Connection of original house to previous addition.



Remove Gutters and trim boards covering original exposed rafter tails.



Existing Rear Elevation, showing addition to be demolished.



Existing Front elevation to remain.



Note front step is buried due to sunken foundation. Proposed is to raise ff elevation back to 30”.



South Side view of home. Steps to be removed and replace metal railing with wood to match original.



Match all window trim to this original.

1969 Certified Sanborn Map



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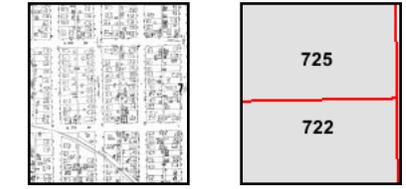
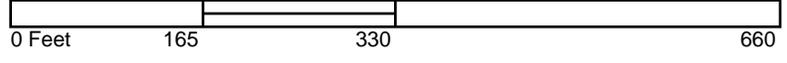
Certification #

6B87-4E8D-A116

Site Name: 716 Arlington Street
 Address: 716 Arlington Street
 City, ST, ZIP: Houston TX 77007
 Client: Billy Davis
 EDR Inquiry: 4156282.1
 Order Date: 12/10/2014 10:08:01 AM
 Certification #: 6B87-4E8D-A116



This Certified Sanborn Map combines the following sheets. Outlined areas indicate map sheets within the collection.



Volume 7, Sheet 722
 Volume 7, Sheet 725



1950 Certified Sanborn Map



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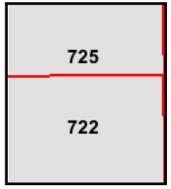
Certification #

6B87-4EBD-A116

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 City, ST, ZIP: Houston TX 77007
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 Order Date: 12/10/2014 10:08:01 AM
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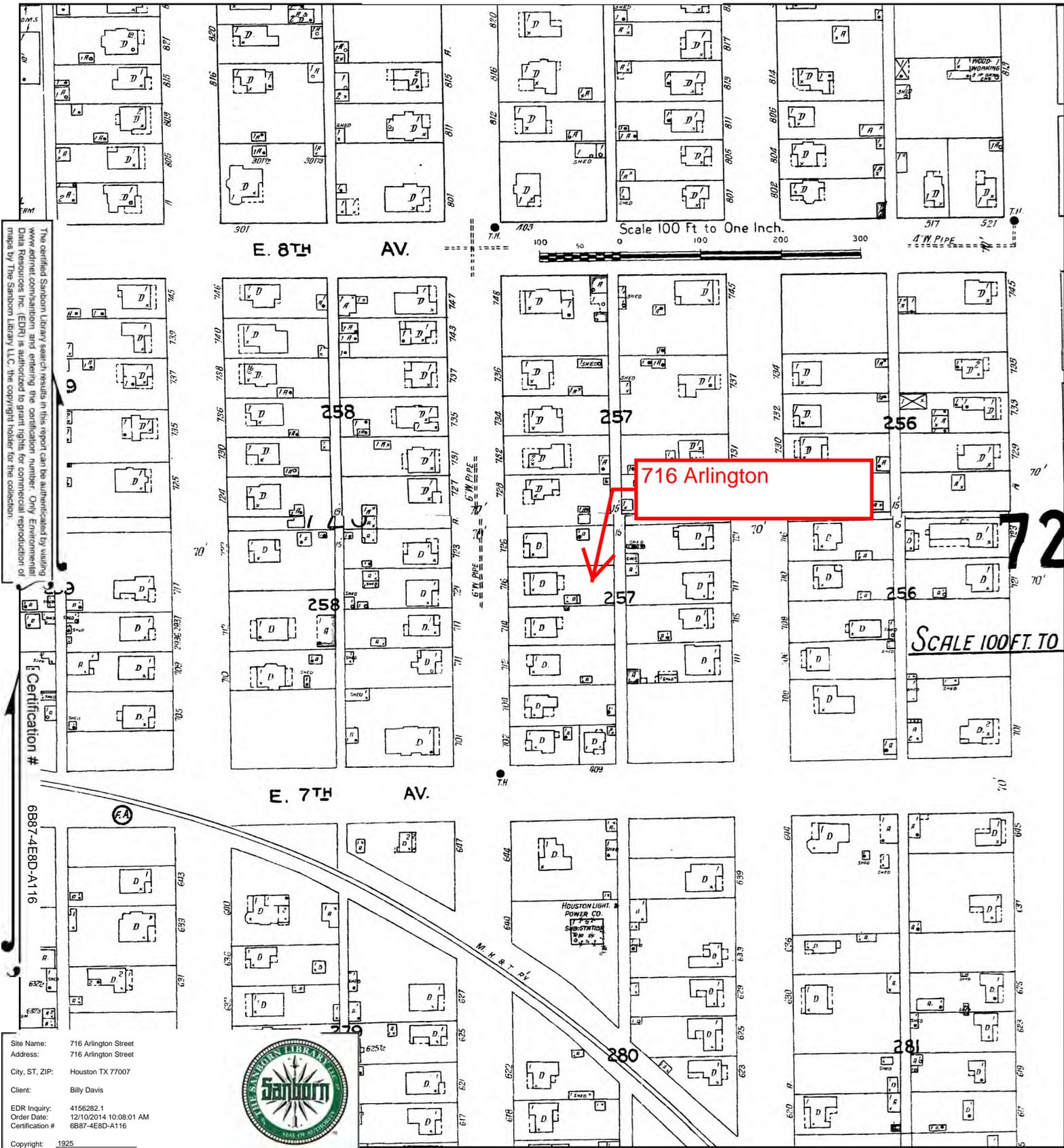


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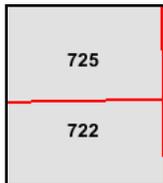
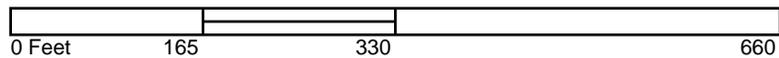


Volume 7, Sheet 725
 Volume 7, Sheet 722

1925 Certified Sanborn Map



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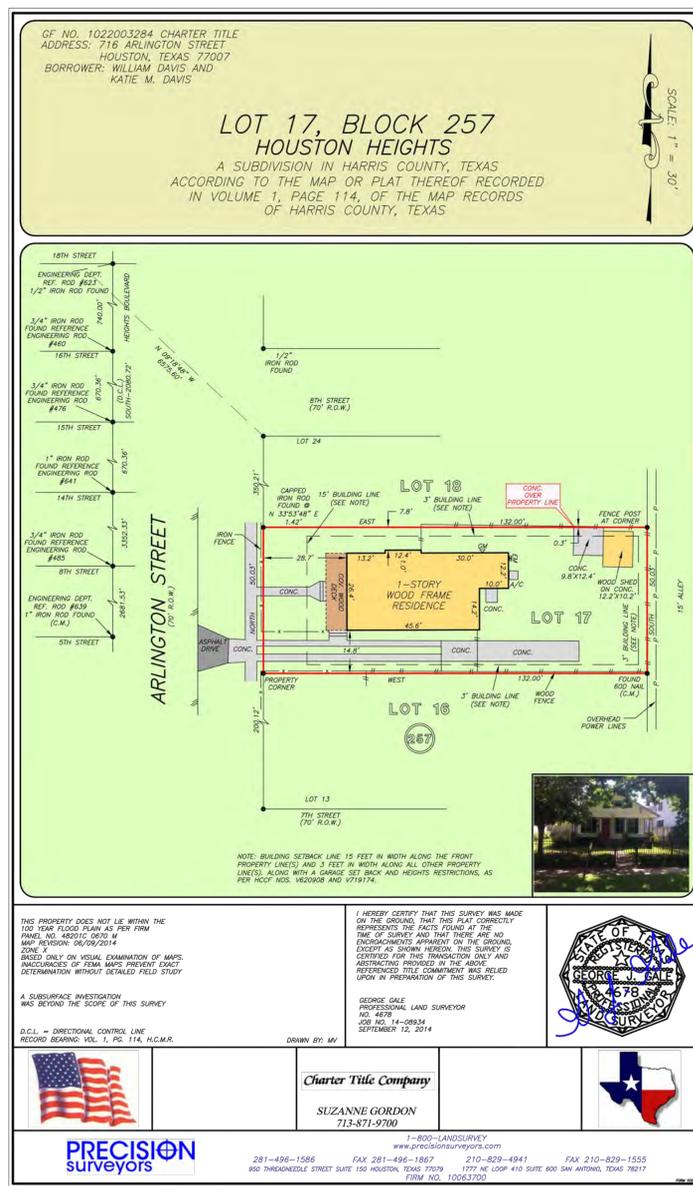


Volume 6,7 & 8, Sheet 722
 Volume 6,7 & 8, Sheet 725



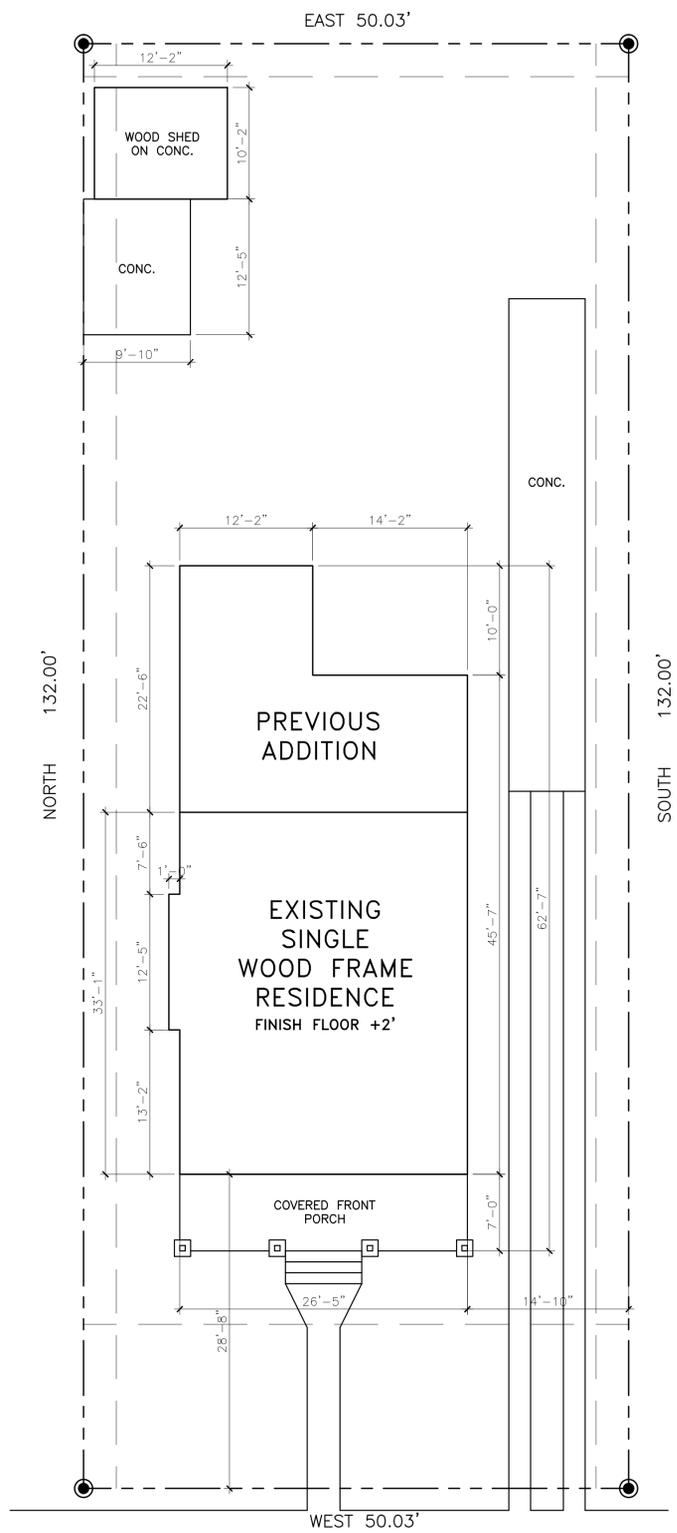
The designs contained herein are the property of DESIGN3 STUDIO, INC. and are subject to all copyright restrictions and are not to be reprinted or resold without the written consent of DESIGN3 STUDIO, INC.
The General Contractor is responsible for conforming to all local jurisdiction codes and regulations.
DESIGN3 STUDIO, INC. is not responsible for Means and Methods. The General Contractor is responsible for all techniques, scheduling and procedures.

CONTRACTOR/DEVELOPER:



SITE NOTES

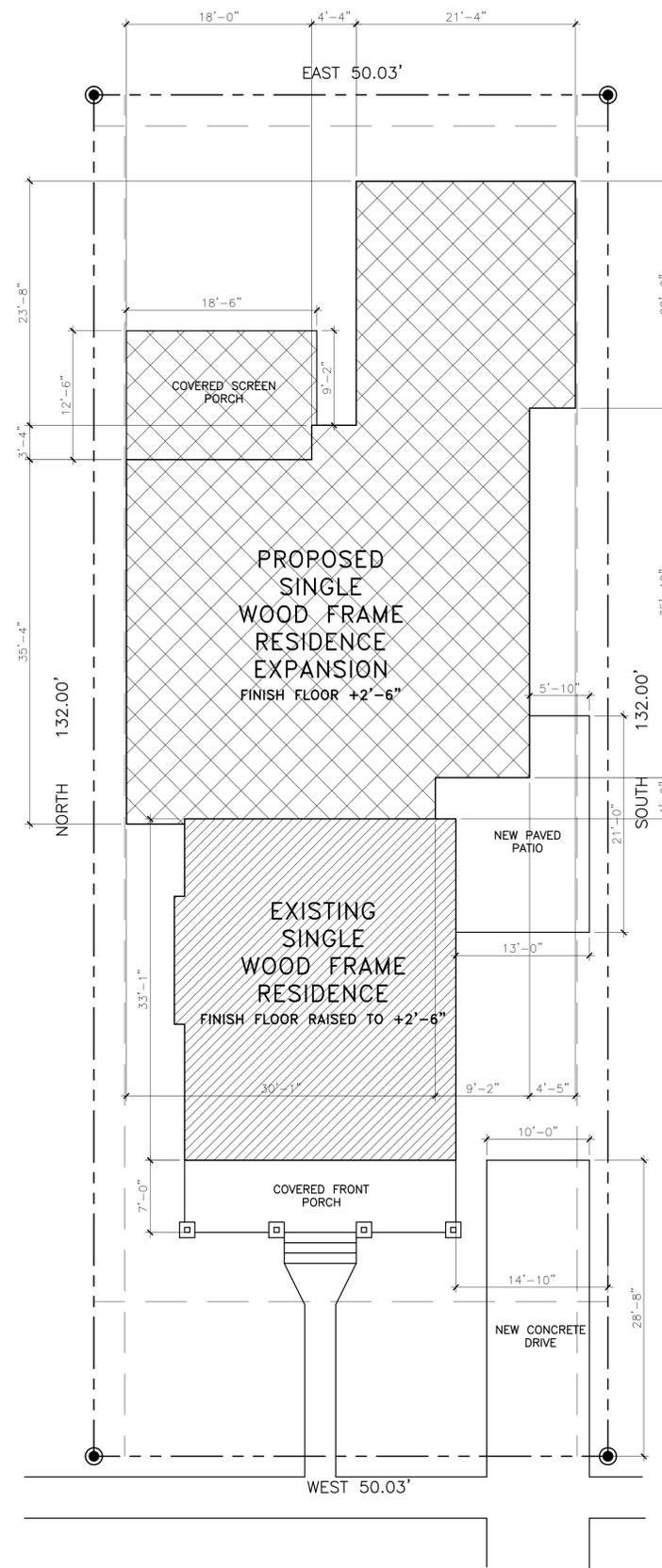
- All drawings presented here reference the IRC 2006 Building Codes, w/ City of Houston amendments.
- Finished floor elevation shall be a minimum of 12" above the top of the nearest sanitary sewer manhole cover. Qualified engineer shall determine final slab elevation, and provide a site grading plan as per local authority.
- Elevation of the nearest sanitary sewer manhole cover is assumed to be 100.0'. Curb elevation (as referenced) taken from top of the curb.
- Builder shall approve location of house on lot and to verify all utility locations, all easements, building, block face and setback lines PRIOR to construction.
- Plumber shall determine location of water meter and contact the local authority to connect. Water pipe to be sch. 40 P.V.C. (or equal).
- Plumber shall connect into existing sanitary sewer. Piping to be sch. 40 P.V.C. (or equal).
- Electrician to run three underground conduits from source pole or transformer to location specified by Contractor for:
 - electrical service,
 - telephone service
 - cable service (at the same location)
- All drainage and runoff shall be collected on site to an underground system or directed on the surface to the street. Drainage and runoff are not allowed to be directed onto adjacent properties. Drain piping shall be sch. 40 P.V.C. (or equal) when area drains are used.
- Provide one qualified tree per 5000 sq. ft. of lot size.
- Contractor will specify location of gas meter, electrical panels and meters. Equipment shall be located where the where the face of the meter is not closer than 36" from the property line. 36" of clear space is required in front of electrical equipment. The clearance must be 20" wide.



716 Arlington
Houston, TX
EXISTING SITE PLAN

Issue/Revision:	
08.06.15	HAHC REVIEW
Drawing Description:	
SITE PLAN	
Dwg. Name:	
Layer mgr:	XX
Scale:	AS NOTED
Drawn by:	
Proj. Mgr.:	KB
Date:	
Sheet No.:	A 1.0

CONTRACTOR/DEVELOPER:



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716 Arlington
Houston, TX
PROPOSED SITE PLAN

Issue/Revision:
08.06.15 HAHC REVIEW

Drawing Description:

SITE PLAN

Dwg. Name:
Layer mgr: XX
Scale: AS NOTED
Drawn by:
Proj. Mgr.: KB
Date:

Sheet No.:
A 1.1

CONTRACTOR/DEVELOPER:



STEPS NOT ORIGINAL TO BE REMOVED

-  PROPOSED NEW 2X4 WALL
-  EXISTING WALL TO REMAIN
-  DEMO EXISTING WALL

716 Arlington
Houston, TX
EXISTING FLOOR PLAN

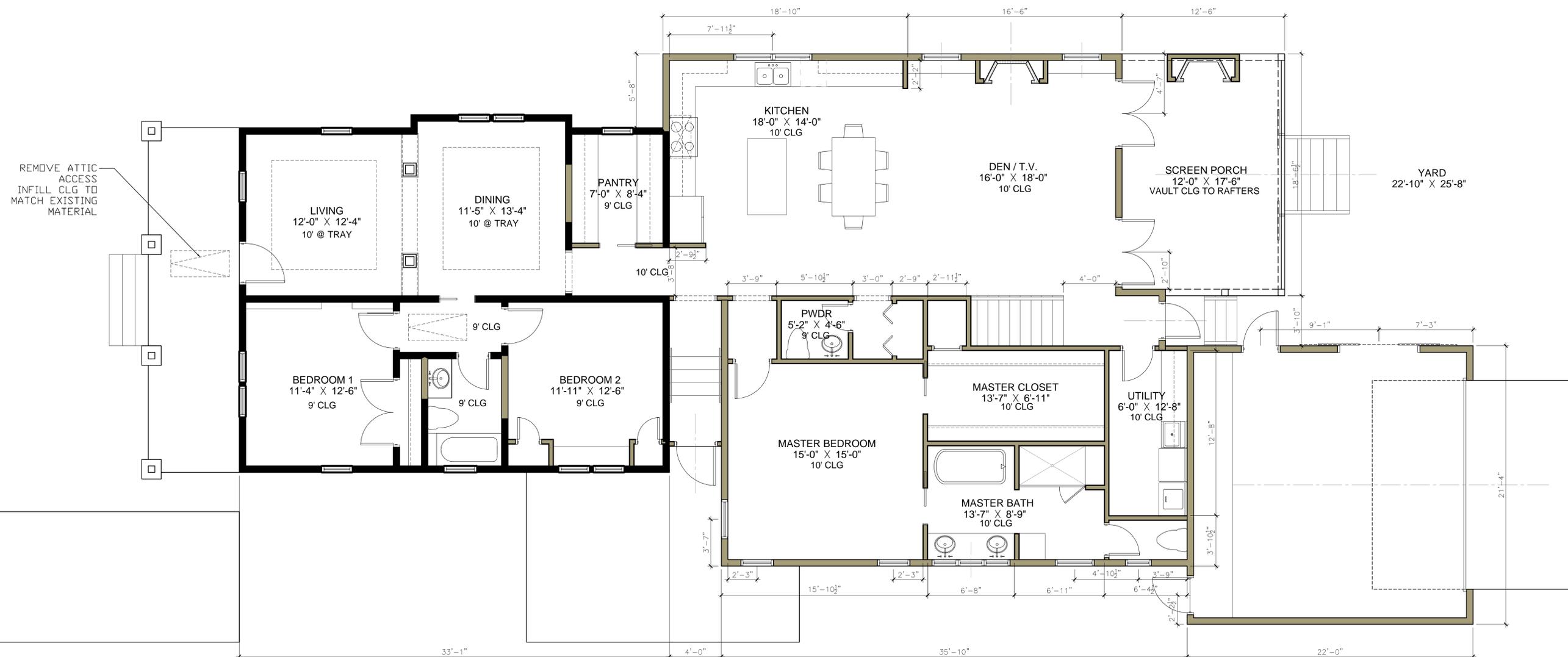
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08.06.15 HAHC REVIEW

Drawing Description:

EXISTING FLOOR PLAN

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Scale: AS NOTED	A 1.01
Drawn by:	
Proj. Mgr.: KB	Date:

CONTRACTOR/DEVELOPER:



- PROPOSED NEW 2X4 WALL
- EXISTING WALL TO REMAIN
- DEMO EXISTING WALL

716 ARLINGTON
EXISTING AREA REMAINING: 827 SF
ADDITION AREA: 1,374 SF
TOTAL: 2,201 SF

716 Arlington
Houston, TX

PROPOSED FLOOR PLAN

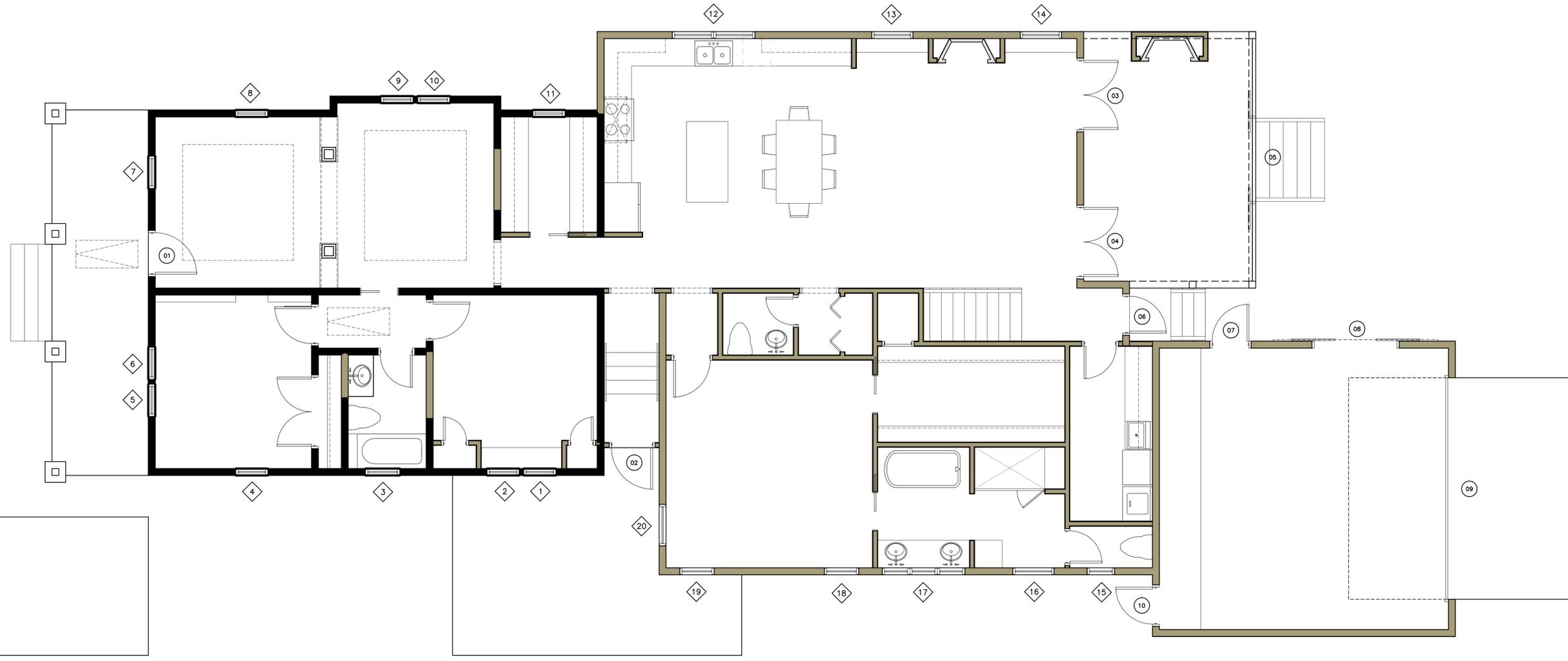
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PROPOSED FLOOR PLAN

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Layer mgr:	XX
Scale:	AS NOTED
Drawn by:	
Proj. Mgr.:	KB
Date:	

Sheet No.:
A 1.1

CONTRACTOR/DEVELOPER:



01 EXISTING FLOOR PLAN

1/4" = 1'-0"

Window/Door Schedule

Windows

1. Existing 2'-4" x 6' dbl hung wood 1/1
2. Existing 2'-4" x 6' dbl hung wood 1/1
3. Replace existing with proposed 2'-6" x 3'-6" dbl hung wood 1/1
4. Existing 2'-4" x 6' dbl hung wood 1/1
5. Existing 2'-4" x 6' dbl hung wood 1/1
6. Existing 2'-4" x 6' dbl hung wood 1/1
7. Existing 2'-4" x 6' dbl hung wood 1/1
8. Existing 2'-4" x 6' dbl hung wood 1/1
9. Existing 2'-4" x 6' dbl hung wood 1/1
10. Existing 2'-4" x 6' dbl hung wood 1/1
11. Existing 2'-4" x 3' dbl hung wood 1/1
12. Proposed (2) 3' x 4' dbl hung wood 1/1
13. Proposed 3' x 4' dbl hung wood 1/1
14. Proposed 3' x 4' dbl hung wood 1/1
15. Proposed 2' x 3' dbl hung wood 1/1
16. Proposed 3' x 4' dbl hung wood 1/1
17. Proposed (3) 2' x 1'-6" dbl hung wood 1/1
18. Proposed 2'-6" x 6' dbl hung wood 1/1
19. Proposed 2'-6" x 6' dbl hung wood 1/1
20. Proposed 3' x 6' dbl hung egress wood 1/1

Doors

1. Existing front door to remain
2. 3' x 8' wood 1 lite
3. (2) 2'-6" x 8' French doors, 1 lite
4. (2) 2'-6" x 8' French doors, 1 lite
5. (2) 3' x 7' Sliding screen doors
6. 2'-8" x 8' wood 1 lite
7. 2'-8" x 8' wood 1 lite
8. (2) 3' x 8' Sliding rail doors
9. 16' overhead garage door
10. 2'-8" x 8' wood 1 lite

01 WINDOW/DOOR SCHEDULE

716 Arlington
Houston, TX

WINDOW/DOOR SCHEDULE

Issue/Revision:

08.06.15 HAHC REVIEW

Drawing Description:

WINDOW/DOOR SCHEDULE

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Layer mgr: XX

Scale: AS NOTED

Drawn by:

Proj. Mgr.: KB

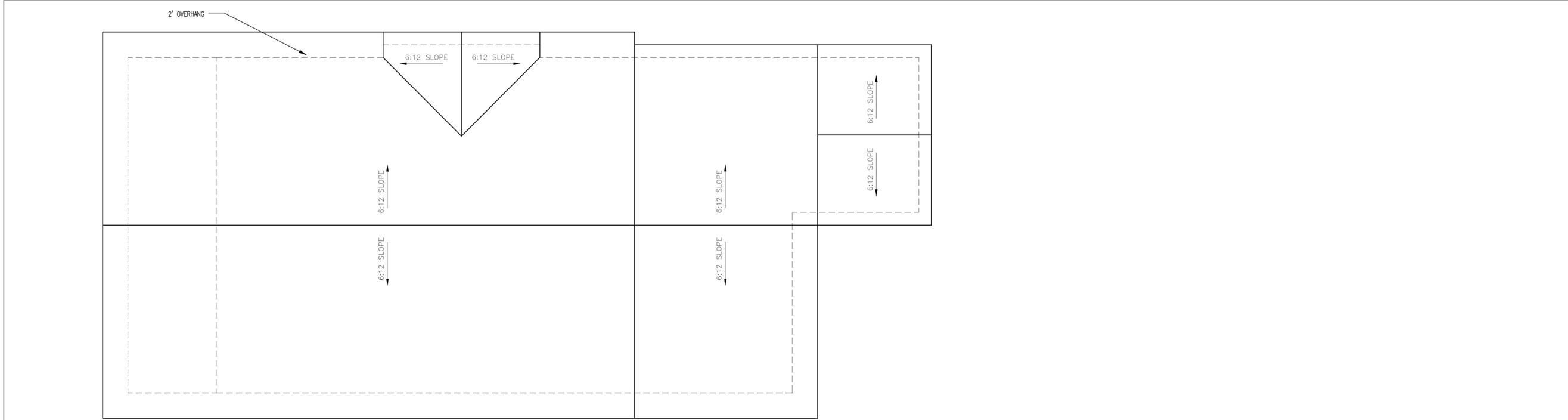
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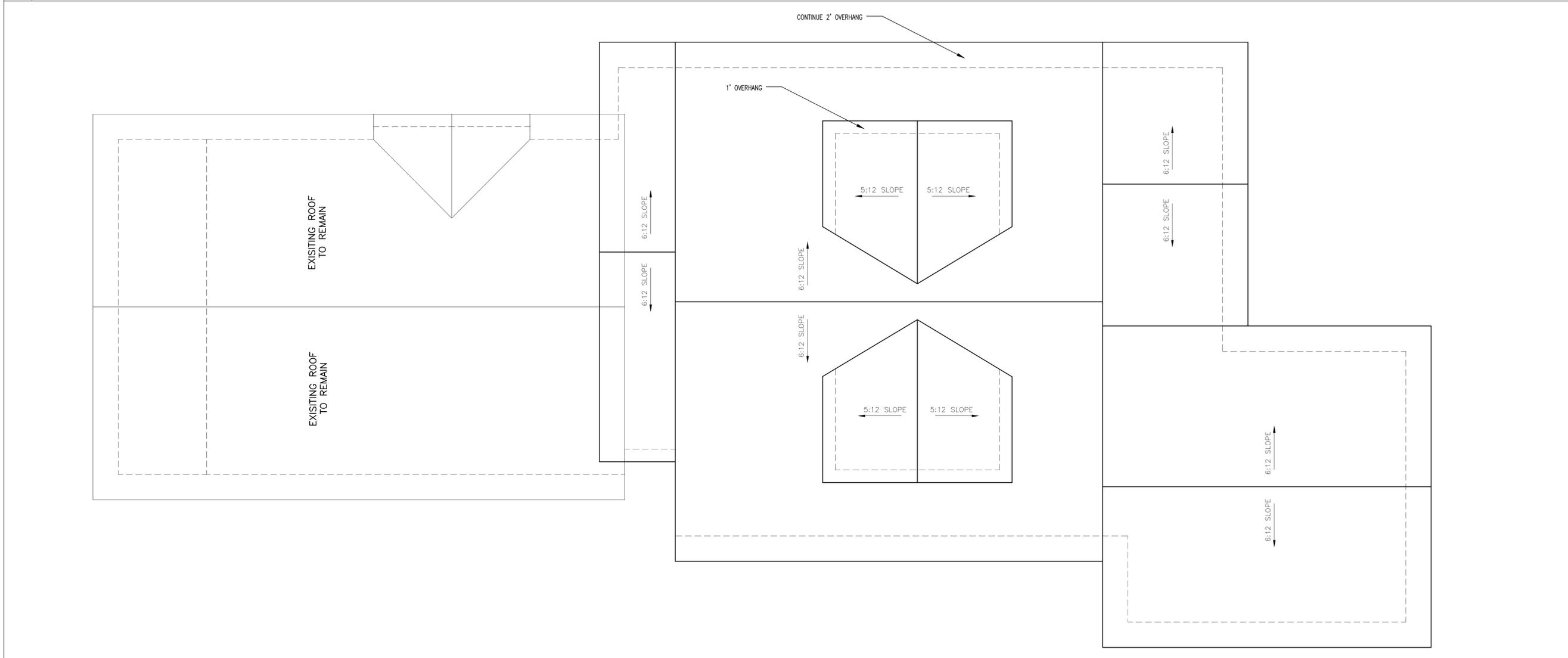
DATE PLOTTED

CONTRACTOR/DEVELOPER:



01 EXISTING ROOF PLAN

1/4" = 1'-0"



01 PROPOSED ROOF PLAN

1/4" = 1'-0"

716 Arlington
Houston, TX
ROOF PLAN

Issue/Revision:
08.06.15 HAHC REVIEW

Drawing Description:
ROOF PLAN

Dwg. Name:		Sheet No.:	
Layer mgr:	XX	Scale:	AS NOTED
Drawn by:		Proj. Mgr.:	KB
Date:			A 1.2



REMOVE EXISTING SCREENS

STEPS NOT ORIGINAL TO BE REMOVED

EXISTING FF @ + 2'-0"

01 FRONT ELEVATION 1/4" = 1'-0"



PREVIOUS ADDITION TO BE REMOVED

EXISTING WOOD SLATS TO BE REPLACED

EXISTING FF @ + 2'-0"

04 LEFT ELEVATION 1/4" = 1'-0"



WINDOW TO BE REPLACED

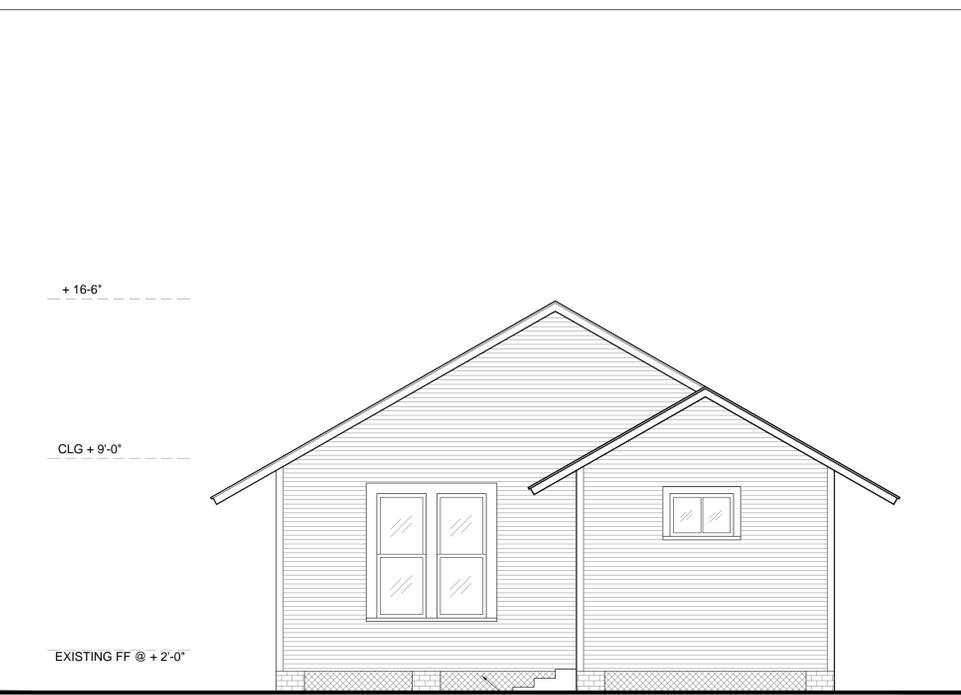
STEPS NOT ORIGINAL TO BE REMOVED/NEW RAILING TO MATCH EXISTING

EXISTING WOOD SLATS TO BE REPLACED

PREVIOUS ADDITION TO BE REMOVED

EXISTING FF @ + 2'-0"

04 RIGHT SIDE ELEVATION 1/4" = 1'-0"



EXISTING WOOD SLATS TO BE REPLACED

EXISTING FF @ + 2'-0"

04 RIGHT SIDE ELEVATION 1/4" = 1'-0"

CONTRACTOR/DEVELOPER:

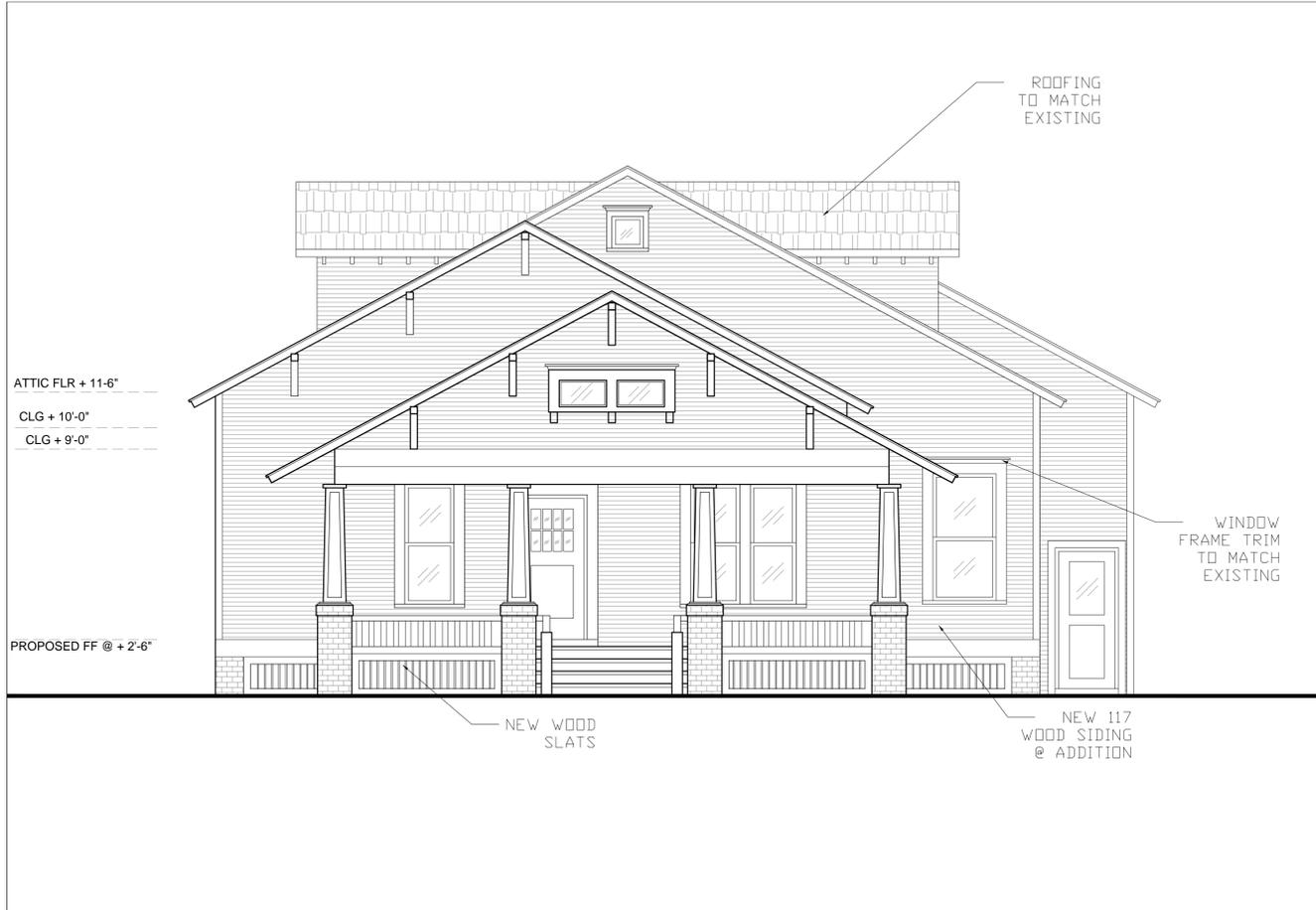
716 Arlington
Houston, TX

EXISTING ELEVATIONS

Issue/Revision:
08.06.15 HAHC REVIEW

Drawing Description:
ELEVATIONS

Dwg. Name:	Sheet No.:
Layer mgr: XX	A 3.0
Scale: AS NOTED	
Drawn by:	
Proj. Mgr.: KB	
Date:	



01 FRONT ELEVATION 1/4" = 1'-0"



02 RIGHT SIDE ELEVATION 1/4" = 1'-0"

CONTRACTOR/DEVELOPER:

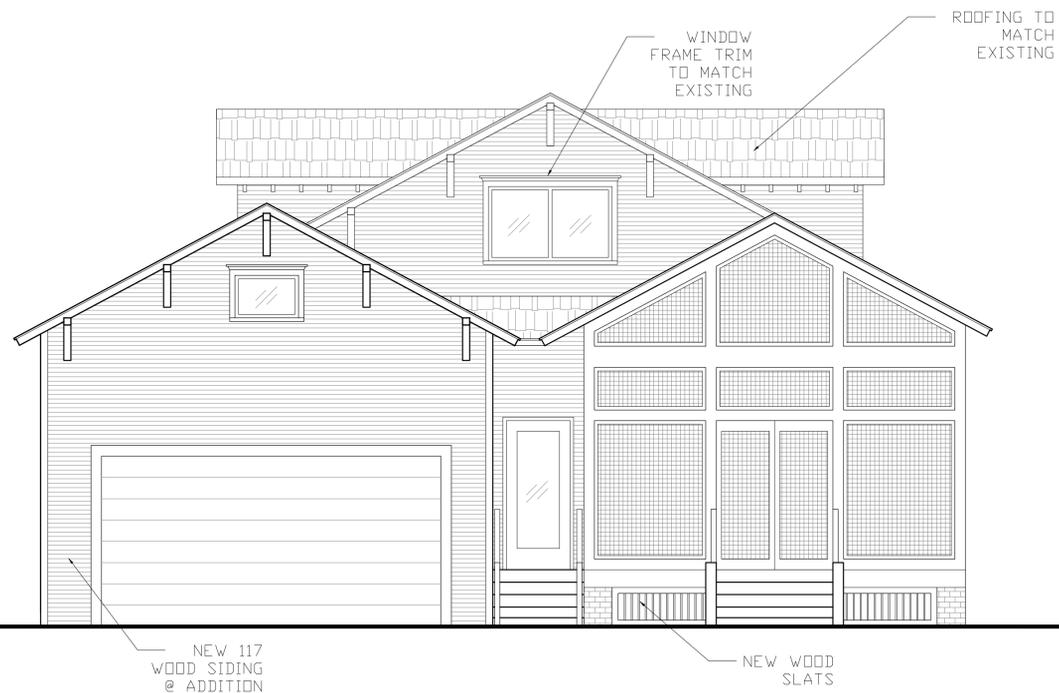
716 Arlington
Houston, TX
PROPOSED ELEVATIONS

Issue/Revision:
08.06.15 HAHC REVIEW

Drawing Description:
ELEVATIONS

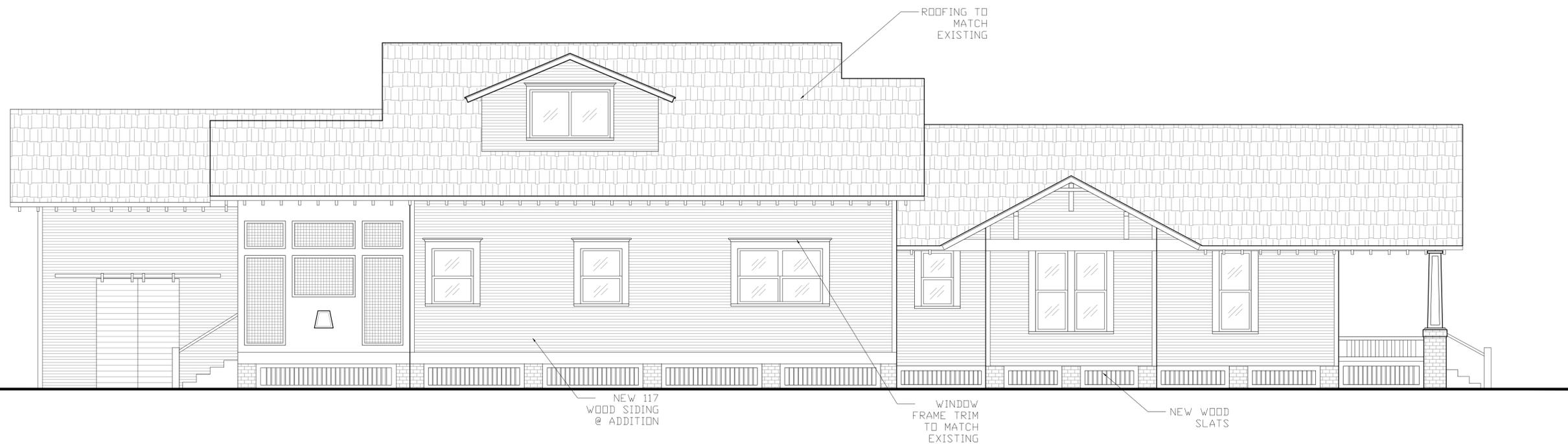
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Drawn by:		
Proj. Mgr.:	KB	
Date:		<small>PLEASE CHECK</small>

CONTRACTOR/DEVELOPER:



01 FRONT ELEVATION

1/4" = 1'-0"



02 RIGHT SIDE ELEVATION

1/4" = 1'-0"

716 Arlington
Houston, TX

PROPOSED ELEVATIONS

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Drawing Description:

ELEVATIONS

Dwg. Name:

Layer mgr: XX

Scale: AS NOTED

Drawn by:

Proj. Mgr.: KB

Date:

Sheet No.:

A 3.2

DATE