

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



**PLANNING &
DEVELOPMENT
DEPARTMENT**

PROPERTY

Address 828 W. COTTAGE ST. HOUSTON, TX 77009
 Historic District / Landmark EAST NORTH HILL HCAD # 0621350000083
 Subdivision HEIGHTS, BROOKSMITH, NORTH HILL AREAS Lot 3 Block 221

DESIGNATION TYPE

- Landmark
- Protected Landmark
- Archaeological Site
- ^{POTENTIALLY} Contributing
- Noncontributing
- Vacant

PROPOSED ACTION

- Alteration or Addition
- Restoration
- New Construction
- Relocation
- Demolition
- Excavation

DOCUMENTS

Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name LAUREN "ASHLEY" OLMSTED
 Company _____
 Mailing Address 828 W COTTAGE ST.
HOUSTON, TX 77009
 Phone 337-842-8878
 Email [REDACTED]
 Signature [Signature]
 Date AUG 5, 2015

APPLICANT (if other than owner)

Name N/A
 Company _____
 Mailing Address _____
 Phone _____
 Email _____
 Signature _____
 Date _____

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____ Application received: ___/___/___ Application complete: ___/___/___

CERTIFICATE OF APPROPRIATENESS ALTERATION & ADDITON CHECKLIST



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Well in advance of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable items and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-241 for approval criteria for alteration, rehabilitation, restoration and additions.

PROPERTY ADDRESS: 828 W. COTTAGE ST HOUSTON, TX 77009

BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- carport
- accessory structure
- other

ALTERATION TYPE

- addition
- foundation
- wall siding or cladding
- windows or doors
- porch or balcony
- roof
- awning or canopy
- commercial sign
- ramp or lift
- other

WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
 - proposed work; plans to change any exterior features, and/or addition description
 - current building material conditions and originality of any materials proposed to be repaired or replaced
 - proposed new materials description; attach specification sheets if necessary
- Columns are confirmed unoriginal*

PHOTOGRAPHS label photos with description and location

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work — *none are available*

DRAWINGS scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

- | | |
|---|--|
| <input checked="" type="checkbox"/> current site plan | <input type="checkbox"/> demolition plan <i>N/A</i> |
| <input checked="" type="checkbox"/> proposed site plan | <input type="checkbox"/> current roof plan <i>N/A</i> |
| <input type="checkbox"/> current floor plans <i>N/A</i> | <input type="checkbox"/> proposed roof plan <i>N/A</i> |
| <input type="checkbox"/> proposed floor plans <i>N/A</i> | <input checked="" type="checkbox"/> current elevations (all sides) |
| <input type="checkbox"/> current window and door schedule <i>N/A</i> | <input checked="" type="checkbox"/> proposed elevations (all sides) |
| <input type="checkbox"/> proposed window and door schedule <i>N/A</i> | <input checked="" type="checkbox"/> perspective and/or line of sight |

Ashley Olmsted
337-842-8878

House I'm buying.
828 W. Cottage St.

Proposal: Exterior Alterations, Renovations and Rehabilitations to properties that are either a Landmark, a Protected Landmark or located inside a Historic District

Non-original,
puny columns.

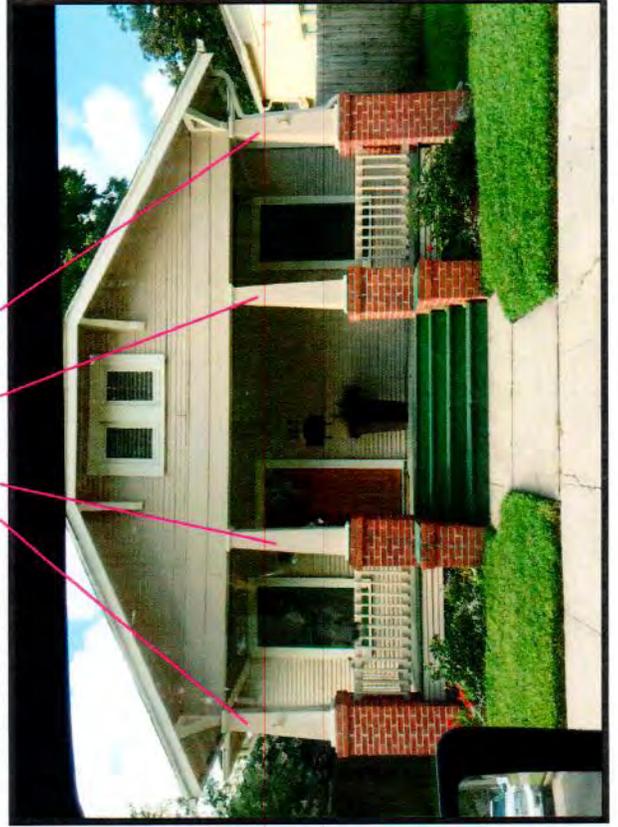
A rendering of the final plan....

Brick/tapered column look I want to create.
(Another house in the East Norhill Historic District).



TA-DA!

My happy pup,
Winnie. .)





EXAMPLE OF COLUMN "PERSISTAL"
I WILL ADD IN ADDITION TO
NEW COLUMNS

ELEVATION LEFT VIEW:



ELEVATION RIGHT VIEW:



CITY OF HOUSTON, HARRIS COUNTY BUILDING ASSESSMENT

ACN 026-240-00-003-8

OWNER BETHEA JACK A R
 ADDRESS 828 COTTAGE W
 DESCRP. LOT 3 BLK 221 E NORHILL

LAND VALUE 2700
 IMPROVEMENTS 4980

FAIR

COUNTY ACCOUNT NO.				
SEQUENCE NO.	VOL.	PG.	SUB.	ITEM
	62	135	0	3
<i>55</i>				
<i>revalued</i>				
<i>1978 New Val</i>				
DATE				VALUE <i>3430</i>
NEW OWNER				

No. Stories	FOUNDATION	ROOF TYPE	GARAGE
Sngl. Family	Concr. Slab	Gable	Walls
Duplex	Beam & Piers	Hipped	Roof
Gar. Apt.	Concr. Blks	Flat	Floor
Fnsht. Attic			Celled
Basement	FLOORING	ROOFING	Doors
SIDING	Pine	Wd. Shngls	
Brick V	Hardwood	Comp. Shgs	
Stone V	Terrazzo	Tar & Gravel	CARPORT
Asbestos	Vinyl		Roof
Stucco	WtoW Cpts	INTERIOR FNISH	Floor
Lumber		S/L & Paper	
	HEATING & COOLING	Sheetrock	
No. Bdrms	A/C,C/H, Dual	Wd. Panels	
No. Baths		Plaster	
No. F'places			

Perm 026-240-00-003-8 1977 01/24/77 I
 5800 185.00 10730 53%

Rendered in name of

MARKET VALUE 100%

5800

(FROM REVERSE)

APPRAISER CODE

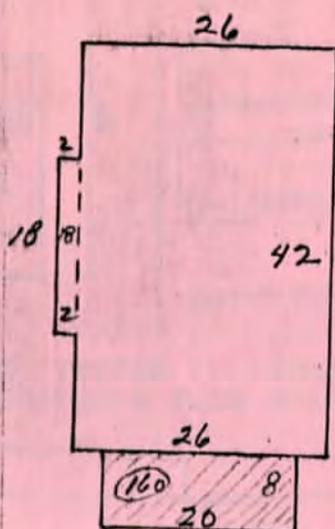
DATE

12/18/77

12/18/77



17
GAR
18
252
14



EXISTING APPRAISALS, if any -
100% Value - without depreciation - \$ _____
Dep. - Ph. 40% & Fu. \$ Ec. \$ \$

1128	\$ 6.40	\$ 7220
160	1.60	260
257	3.20	810
		8290
less 40% Dep.		3320
		4970

factor $5800 \times 1.85 = 10,730 = 100\%$

Appraiser's name & date
R. W. ...
TOTAL VALUE \$ 4
FOR 10 69 hrs \$ 15
837-2640

CLASS _____ Yr. Built _____ Dep. _____ %
Base Unit @ \$ _____ A/C&C/H @ \$ _____ Total Unit @ \$ _____
SF @ \$ 8290 \$ X. 7 = \$

Total 100% Value \$ 5800
For 19. 72

$0.32\% = 3430$

HARRIS COUNTY BUILDING ASSESSMENT

Map No. 2A Acct. No. 26-290-00-003
 Permit No. EVALUED Date 4-25-68
 Owner Betha Jack
 Street No. 528 W. Cottage
 Addition East Washhill Section _____
 Lot No. 3 Block No. 221

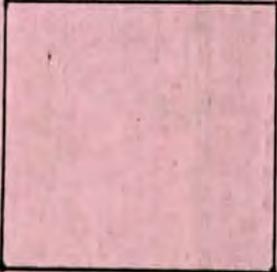
COUNTY ACCOUNTING			
SEQUENCE NO.	VOL.	PG.	SUB. ITEM
020605000	62	135	3

113

No. Stories	ROOF TYPE	INTERIOR	EXTRA FEATURES
1	<input checked="" type="checkbox"/> Gable	S/L & Paper	Finished Attic
	<input type="checkbox"/> Hip	<input checked="" type="checkbox"/> Sheetrock	Basement
		Wood Panels	CARPORT
		Plaster	Roof
			Floor
	<input checked="" type="checkbox"/> Comp. Shingles	2 No. Bedrooms	
	<input type="checkbox"/> Tar & Gravel	1 No. Baths	DE GARAGE
		Tile	Walls
			Roof
	<input type="checkbox"/> Pine	HEATING & COOLING	Comp
	<input checked="" type="checkbox"/> Hardwood	A/C, C/H or Dual	Floor
	<input type="checkbox"/> Asphalt Tile		slab
	<input type="checkbox"/> WtoW Carpets	No. Fireplaces	UN Ceiled
			<input checked="" type="checkbox"/> Doors

re-val
 1969 New Val 990.
 DATE VALUE
 NEW OWNER
 Betha Jack

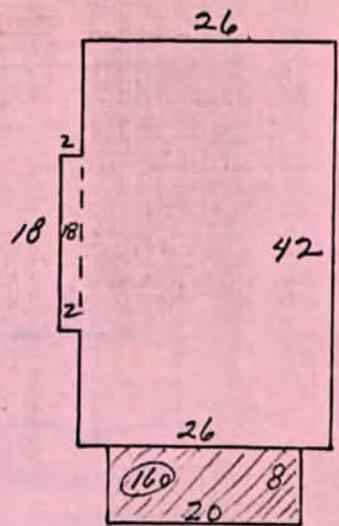
CLASS (Base Unit \$ 6.40)
 (A/C C/H \$ -)
 (Total Unit \$ 6.40)
 EXISTING ASSESSMENTS ON BLOCK BOOK
 Land - Assmt. \$ 550
 Impro. - Assmt. \$ 1820
 PERMIT VALUE \$ _____



rendered in name of
Same



DWG
 1092
 36
 1128



EXISTING APPRAISALS, if any -
 100% Value - without depreciation- \$ _____ \$
 Dep.-Ph. 40% Fu. _____ % Ec. _____ % \$ _____ \$
 NEW APPRAISALS

DWG - 1128	SPR \$ 6.40	\$ 7220
O.P. - 160	1.60	260
GAR - 252	3.20	810
		8290
Less 40% Dep.		-3320
		4970

Appraiser's name & date
 R. J. West
 8-28-68

TOTAL VALUE \$ 4970
 FOR 19 69 40% \$ 1990 = city
 537. 2640 = school

Co. 20% = 990.

26-240.0-3

Harris County
BUILDING ASSESSMENT
Houston, Texas

2060500

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Permit No. city
Inspector _____

Date _____ 19____

Owner _____

No. 828 W Cottage Street

Survey or Addition East Park Hill

Abst. _____ Lot or Tr. 3 Blk. 221

Type _____ Residential _____ Commercial _____

Industrial _____ Pre-Fab _____

Exterior: drop siding Permastone — Rock — Brick Veneer — Frame — Stucco — Concrete Tile — Claytile — Cedar Shakes — Composition — Shingle — Redwood.

Interior: etc Sheetrock — Plastered — Paneled — Celotex — Plywood — None.

Floors: Oak — Plywood — Cement — Tile — Pine — Asrock — Higgins — Terrazo — None.

Roofing: Shingle — Asbestos — Terra-Cotta — Tile — Composition — Slate — Copper — C-Iron, Tar and Gravel.

Foundation: 150 Concrete Slab — Piers — Blocks — Beams — Brick — Piers — Wood.

Plumbing: 1 Tile — 2 Tile — 3 Tile — Other: None.

Climatizers: Dual Temp. Ac — Tons, Attic Ventilation — Central Heat Unit — Gas Stoves — None.

Electrical Equipment: Part — All — Sprinklers. Walden

Condition: New — Good — Fair — Poor — Obsolete.

Permit Val. _____

Year Built _____

Remarks: 1128 @ 280 = 3160

160 @ .60 = 100

gar 252 @ .50 = 130

3390

Moved here _____ From 1020

No. Sq. Ft. less 30% Per Sq. Ft. 3390

No. Sq. Ft. 1.2 .58 Per Sq. Ft. _____

1459 new lot Assessed Value of Building 950

Bethel Jack

INVESTIGATE

Map

160

6/19/30

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May 10th 1933

, 19

~~Mowry, S. C.~~

Bethea, Jas C

Owner

Lot

3

Block

221

East Norhill

Addition

REMARKS:

Frame Shingles

26 x 42 - 109 2 x 1 1/2

819-81 = 740 net

County Value

\$

1190

Owner's Value

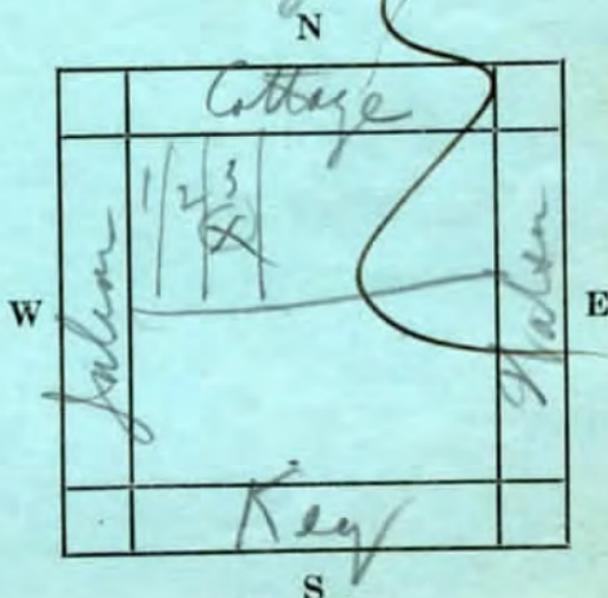
\$

880

No.

828 Cottage

Street



Map No. _____ Addition E Northside
 Block 221 Lot 3
 OWNER Betha Jack
 ADDRESS 828 Cottage
 TYPE OF PROPERTY Res OCCUPIED VACANT
 BASEMENT, Whole Part _____
 FOUNDATION, Concrete, Stone, Brick, Piers, Posts. _____
 WALLS, Brick _____ Stone _____
 Hollow Tile, Stucco, Metal, Concrete Blocks, Box Weatherboard _____
 ROOF CONS., Concrete, Steel, Wood Truss _____
 ROOF, Hip, Gable, Mansard, Flat _____
 ROOFING, Composition, Metal, Slate, Wood, Shingles, Tile, Asbestos _____
 EXTERIOR TRIM, Stone, Terra Cotta, Metal, Wood, Marble, Granite _____
 FLOORING, Pine, Hardwood, Cement, Tile, Marble, Dirt _____
 INTERIOR TRIM, Plaster, Hardwood, Marble, Metal, Built-in Features _____
 HEATING, Furnace, Stoves, Fireplace, Chimneys, Gas _____
 LIGHTING, Electricity _____
 PLUMBING, Sewer, Water, Baths _____
 ELEVATORS _____
 CONDITION, Good, Fair, Bad, Obsolete _____

IMPROVEMENTS			
No. Sq. Ft.	124 ✓	Price Per Sq. Ft.	2.20
		\$	2730
		Percent Good	80
		Other Bldgs.	100
		Total All Bldgs.	2280

LAND VALUE			
Front x Depth	Unit Value	Factor	Front Ft. Value - - \$
TOTAL			



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