



# CERTIFICATE OF APPROPRIATENESS ALTERATION & ADDITION CHECKLIST

Well in advance of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable items and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-241 for approval criteria for alteration, rehabilitation, restoration and additions.

PROPERTY ADDRESS: 1301 ARLINGTON STREET

## BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- carport
- accessory structure
- other

## ALTERATION TYPE

- addition
- foundation
- wall siding or cladding
- windows or doors
- porch or balcony
- roof
- awning or canopy
- commercial sign
- ramp or lift
- other

## WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work; plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new materials description; attach specification sheets if necessary

## PHOTOGRAPHS

- label photos with description and location
- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

## DRAWINGS

- current site plan
- proposed site plan
- current floor plans
- proposed floor plans
- current window and door schedule
- proposed window and door schedule
- current site plan
- proposed site plan
- current roof plan
- proposed roof plan
- current elevations (all sides)
- proposed elevations (all sides)
- current elevations and/or line of sight
- proposed elevations and/or line of sight
- current site plan
- proposed site plan
- current roof plan
- proposed roof plan
- current elevations (all sides)
- proposed elevations (all sides)
- current elevations and/or line of sight
- proposed elevations and/or line of sight

scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions



# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

**PROPERTY**

Address: 1301 ARLINGTON STREET  
 Historic District / Landmark: HEIGHTS  
 Subdivision: HEIGHTS  
 HCAD #: 020164000012  
 Lot 11 + 12 Block 168

**DESIGNATION TYPE**

- Archaeological Site
- Protected Landmark
- Landmark
- Contributing
- Noncontributing
- Vacant

**PROPOSED ACTION**

- Alteration or Addition
- Relocation
- Demolition
- Excavation
- New Construction

**DOCUMENTS**

Application checklist for each proposed action and all applicable documentation listed within are attached

**OWNER**

Name: JASON SCHUREN  
 Company: [REDACTED]  
 Mailing Address: 1301 ARLINGTON ST  
 HOUSTON, TX 77008  
 Phone: 713 598-8479  
 Email: [REDACTED]  
 Signature: [Signature]  
 Date: 06/23/2015

**APPLICANT (if other than owner)**

Name: AARON MENDIAS  
 Company: CUSMANO ARCHITECT  
 Mailing Address: 4511 NETT ST.  
 HOUSTON, TX 77007  
 Phone: 713-858-2126  
 Email: [REDACTED]  
 Signature: Aaron Mendias  
 Date: 6-23-2015

**ACKNOWLEDGEMENT OF RESPONSIBILITY**

**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Deed Restrictions:** You have verified that the work does not violate applicable deed restrictions.

**Public Records:** If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

**Compliance:** If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

## 1301 Arlington Street Project Details

- Shape/Mass:** The existing structure measures 49'-7" deep by 40'-3" wide which includes a wraparound porch that extends 6'-8" off the south and east walls. The existing ridge measures 28'-7" and the eave measures 13'-11". The attic is currently converted to a second floor loft space with the master bedroom and bathroom. The addition will be directly above the existing sunroom and kitchen at the rear of the building and will not be increasing the footprint of the building.
- Setbacks:** The existing residence is set back 43'-4" from Arlington St. to the east and 28'-1" from E 13<sup>th</sup> St. to the south. It is 4'-4" from the north property line and 52'-0" from the west property line.
- Foundation:** The existing house features a pier and beam foundation with a finished floor height of 3'-1". The addition will not be increasing the foundation of the house.
- Windows/Doors:** The existing house features wood single hung 1/1 windows, wood single pane fixed windows, and metal single hung 1/1 windows which will be retained. The house also features non-original metal single pane fixed windows located which will be replaced. These windows were used to enclose a screen porch. The house features a wood and glass front door with a transom window which will be retained. The rear door is wood and glass and will be replaced with a wood and glass door with transom to match the front door.
- Exterior Materials:** The existing residence features 117 wood siding to be retained. The addition will match and tie into the existing siding. The new soffit on the second story addition will match and tie into the existing.

- Roof: The existing roof features cross hip terminating in gable on the East and South Elevations. There is also a gable in the middle of the North Elevation. The roof is a 11/12 pitch clad in composition shingles. A low slope hip covers the front porch. Another low slope hip covers the rear sun room (originally rear porch). The addition will feature a 4/12 slope hip that will tie into the existing main roof below the ridge line.
- Front Elevation (East): The existing structure features a projecting wall with three windows under a gable with one window. The southern portion of the wall is inset under the porch roof and features one door with transom and two windows. The porch extends 4'-8" South of the main body of the house and features original columns, railing, and wood flooring. **We are going to replace the metal window in the gable end with an identical size/shaped wood window.**
- Side Elevation (North): Not visible from right of way. See elevations. The existing structure features 12 windows all of which shall be retained. The structure features a second story gable located in the middle of the house which has 4 double hung window units with two quarter arch fixed transom units. The west side of the North elevation shall have the existing 1 story roof removed for the addition to be located directly above the first floor portion. The addition will match the siding and continue up to a second floor soffit that will tie into the centrally located gable. Two new windows will be in this second floor addition. A 4: 12 hip roof coving the addition will tie into the existing roof below the roof line.

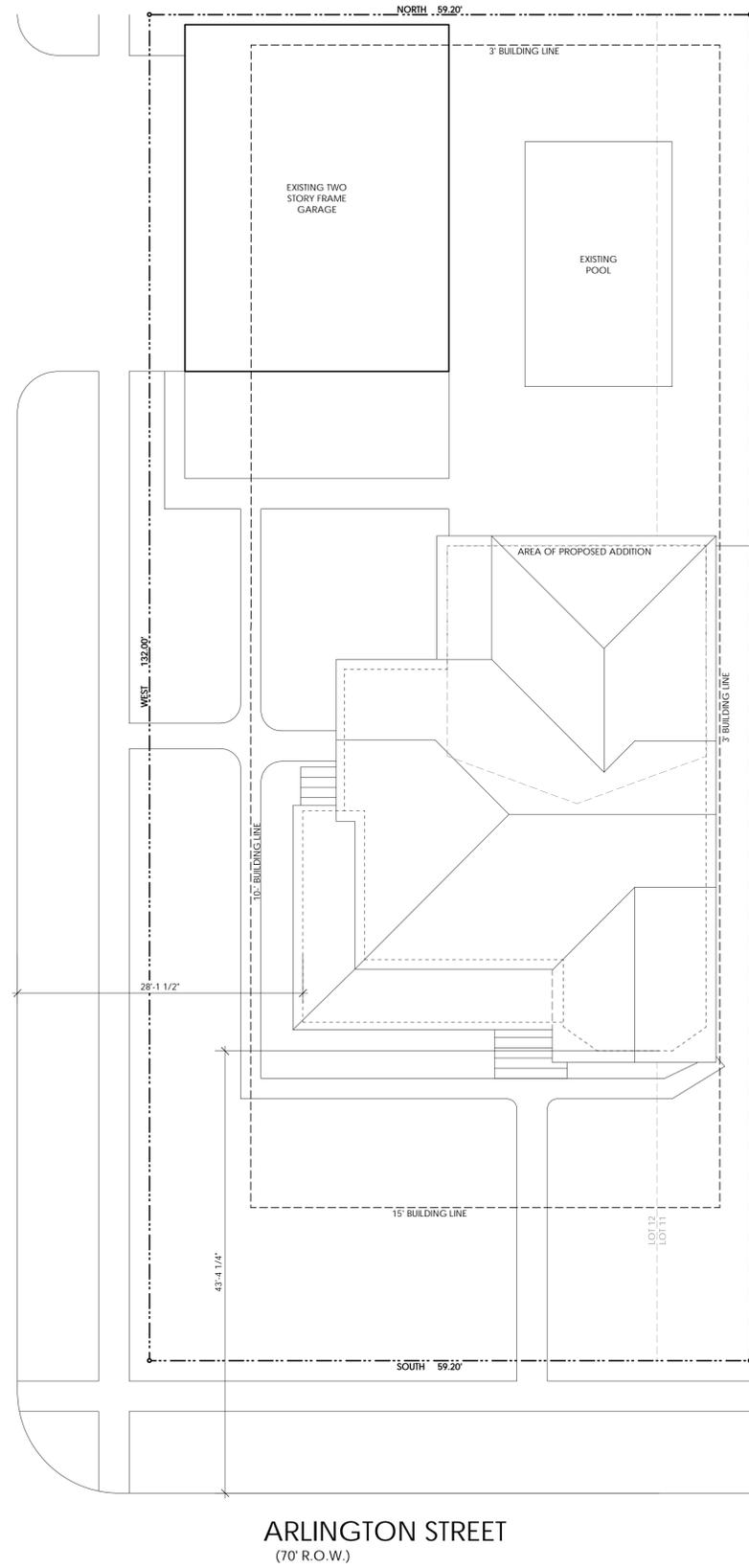
Side Elevation (South):

The existing structure features a west of center projecting wall with two windows under a gable with one metal window located west of center. The Eastern portion of the wall is inset under the porch roof with four windows. The porch features original columns, railing, and wood flooring. The Western portion of the South elevation includes an original screened in porch which has been enclosed with non original plate glass metal windows under a low sloped roof. The addition will remove these non-original windows and replace them with windows to match the other original windows on the first floor. The Western first floor roof over the sun room and kitchen will be removed so that the ceiling may be raised in the sun room to match the rest of the house and a second floor may be added. The second floor shall include three windows to match the first floor windows. The soffit will turn into the existing hip roof and the new roof shall terminate below the ridge line of the existing roof. The siding will tie into and match the existing. **We are going to replace the metal window in the gable end with an identical size/ shaped wood window.**

Rear Elevation (West):

Not visible from right of way. See Elevations. The existing structure features a projection wall with one window on the North side under a hip roof and a single door adjacent to a combined 3 unit non-original plate glass fixed unit under a low sloping partial hip roof. An inset wall on the South side has one window and sits under the side of a gable end facing South. The steps to the porch can be seen beyond on the far South. The addition will involve removing the hip roof covering the North portion as well as the low slop roof covering the sun room (originally screened porch). The ceiling will be raised in the sun room and a second floor will be added on top of the two parts. The second story addition will include four new windows to match the existing on the house. The roof will be a 4/12 pitch and will tie into the existing roof below the ridge line.

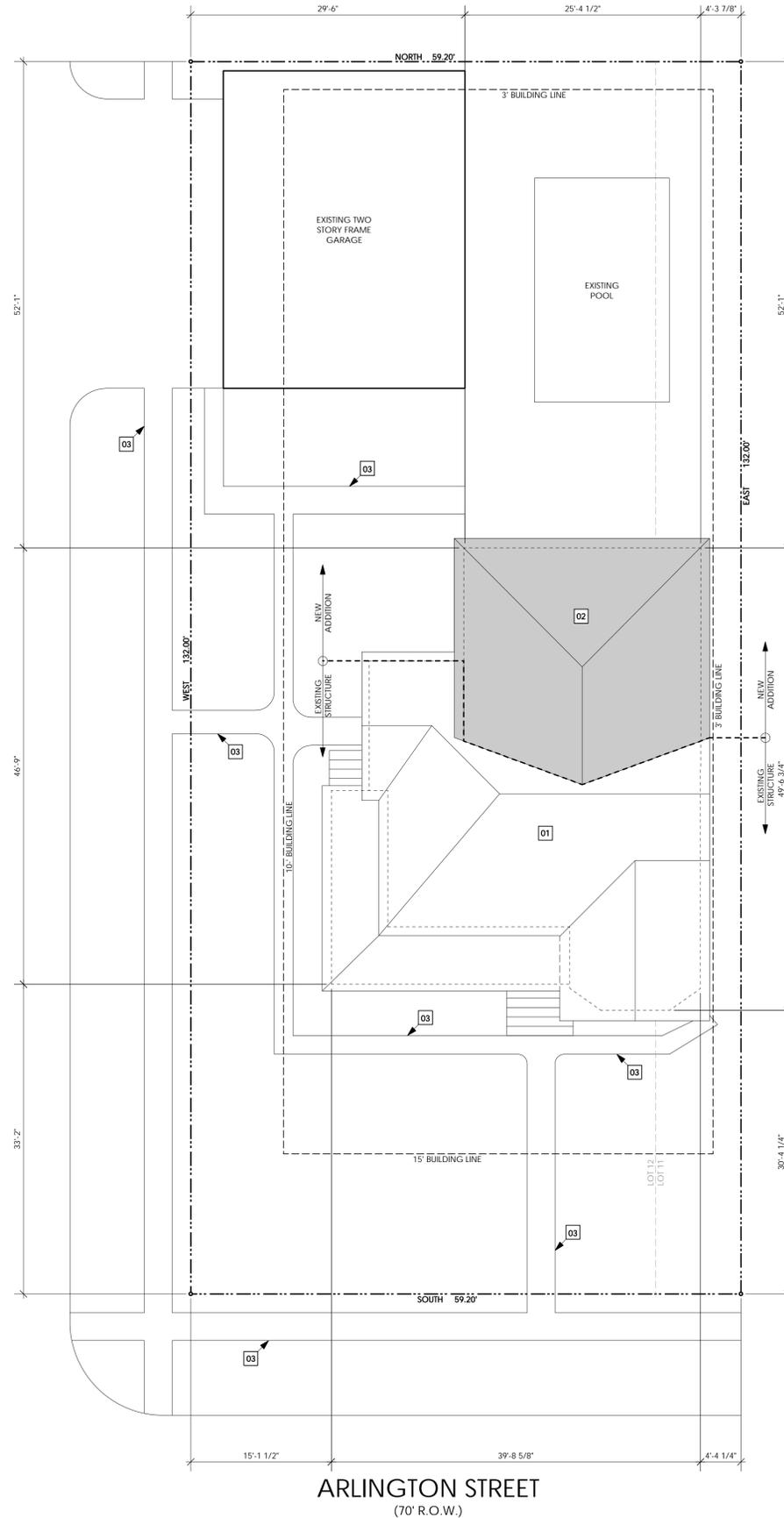
EAST 13TH STREET  
(70' R.O.W.)



ARLINGTON STREET  
(70' R.O.W.)

**10** SITE PLAN - EXISTING  
SCALE: 1/8" = 1'-0"

EAST 13TH STREET  
(70' R.O.W.)



ARLINGTON STREET  
(70' R.O.W.)

**04** SITE PLAN - PROPOSED  
SCALE: 1/8" = 1'-0"

**LEGAL DESCRIPTION**

LOT 12 & THE ADJOINING 9.2' OF LOT 11, BLOCK 168,  
HOUSTON HEIGHTS,  
AS RECORDED IN VOL. 1, PAGE 114 OF THE MAP RECORDS  
OF HARRIS COUNTY, TEXAS

**KEYED NOTES**

- 01. EXISTING 2 STORY FRAME RESIDENCE WITH PORCH
- 02. NEW SECOND STORY 251 S.F. ADDITION
- 03. EXISTING CONCRETE SIDEWALK

**RELATION OF SPECIFICATIONS AND DRAWINGS**

THE DRAWINGS AND SPECIFICATIONS ARE CORRELATIVE AND HAVE EQUAL AUTHORITY AND PRIORITY. SHOULD THEY DISAGREE IN THEMSELVES, OR WITH EACH OTHER, BASE THE BIDS ON THE MOST EXPENSIVE COMBINATION OF QUALITY AND QUANTITY OF WORK INDICATED. THE ARCHITECT WILL CLARIFY THE PROJECT REQUIREMENTS IN THE EVENT OF THE ABOVE MENTIONED DISAGREEMENTS.

- 01. DRAWINGS SHALL NOT BE SCALED.
- 02. LARGE SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE DETAILS.
- 03. ARCHITECTURAL DRAWINGS TAKE PRECEDENCE IN REGARD TO DIMENSIONS, WHEN IN CONFLICT WITH MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL DRAWINGS, EXCEPT FOR THE SIZE OF THE STRUCTURAL MEMBERS.
- 04. ANY CALLS FOR DIMENSIONAL ALIGNMENT TAKE PRECEDENCE OVER ANY CONFLICTING NUMERICAL DIMENSIONS. NOTIFY ARCHITECT OF ANY CONFLICTS.
- 05. SPECIFICALLY TITLED DRAWINGS TAKE PRECEDENCE OVER INDICATION OF THE ITEM IN A COLLATERAL WAY.
- 06. IN RENOVATION AND ADDITION WORK EXISTING CONDITIONS TAKE PRECEDENCE OVER DRAWING DIMENSIONS.
- 07. ALL DETAILS SUGGESTING MEANS AND METHODS OF CONSTRUCTION ILLUSTRATE ARCHITECTURAL INTENT ONLY. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION AND SHALL ENSURE ALL EXECUTED WORK MEETS LOCAL BUILDING CODES. IF THE GENERAL CONTRACTOR IS CONCERNED OR IN DISAGREEMENT WITH ANY DETAILS IN THE CONSTRUCTION SET OF DRAWINGS, IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION.

**CUSIMANO**  
ARCHITECT

Kelly Grl Cusimano, AIA 832.465.0419 kelly@cusimano-architect.com

1301 ARLINGTON STREET

**PROJECT:**  
REMODEL / ADDITION FOR  
JASON & NATALIE SCHUREN  
1301 ARLINGTON STREET  
HOUSTON, TX 77008

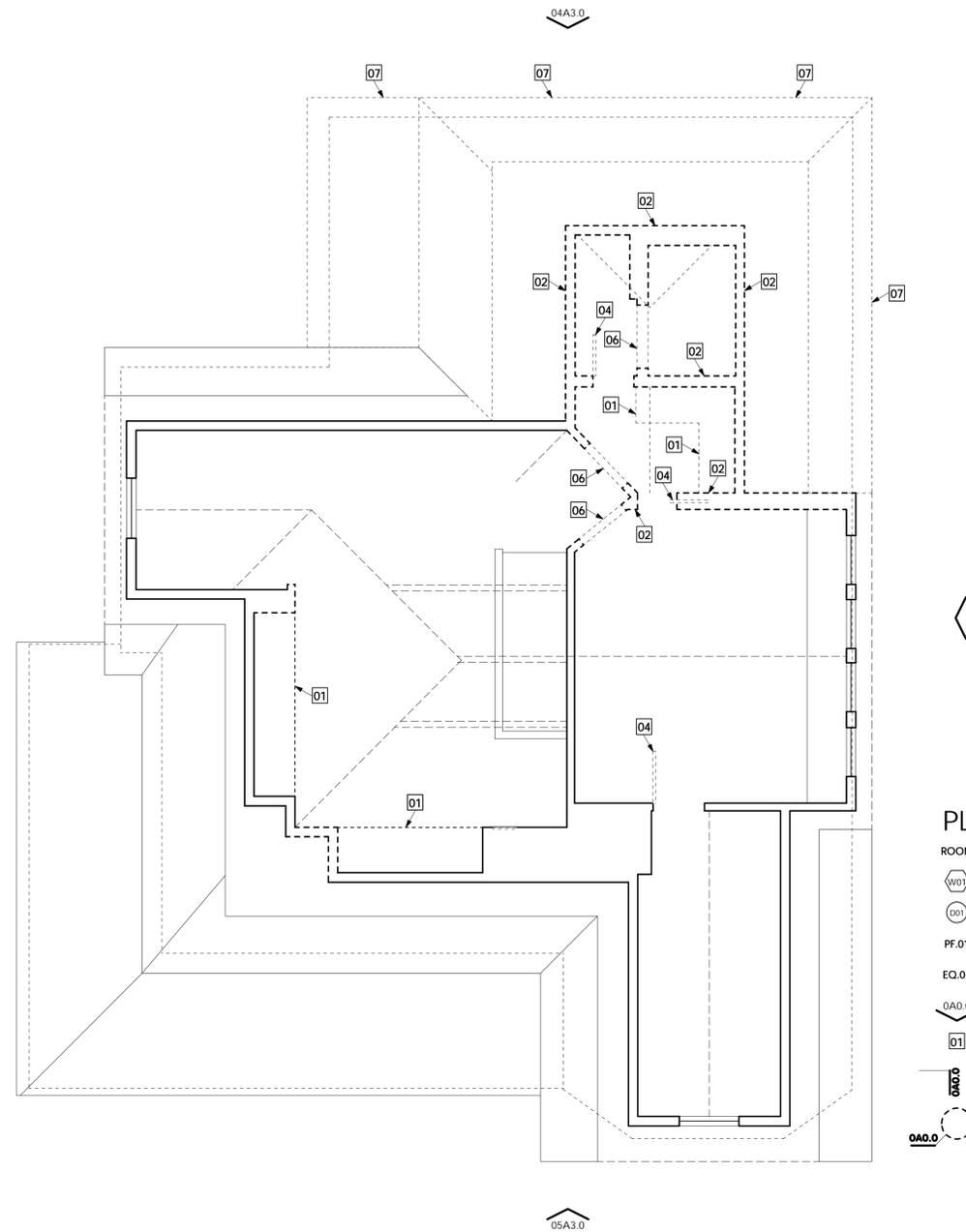
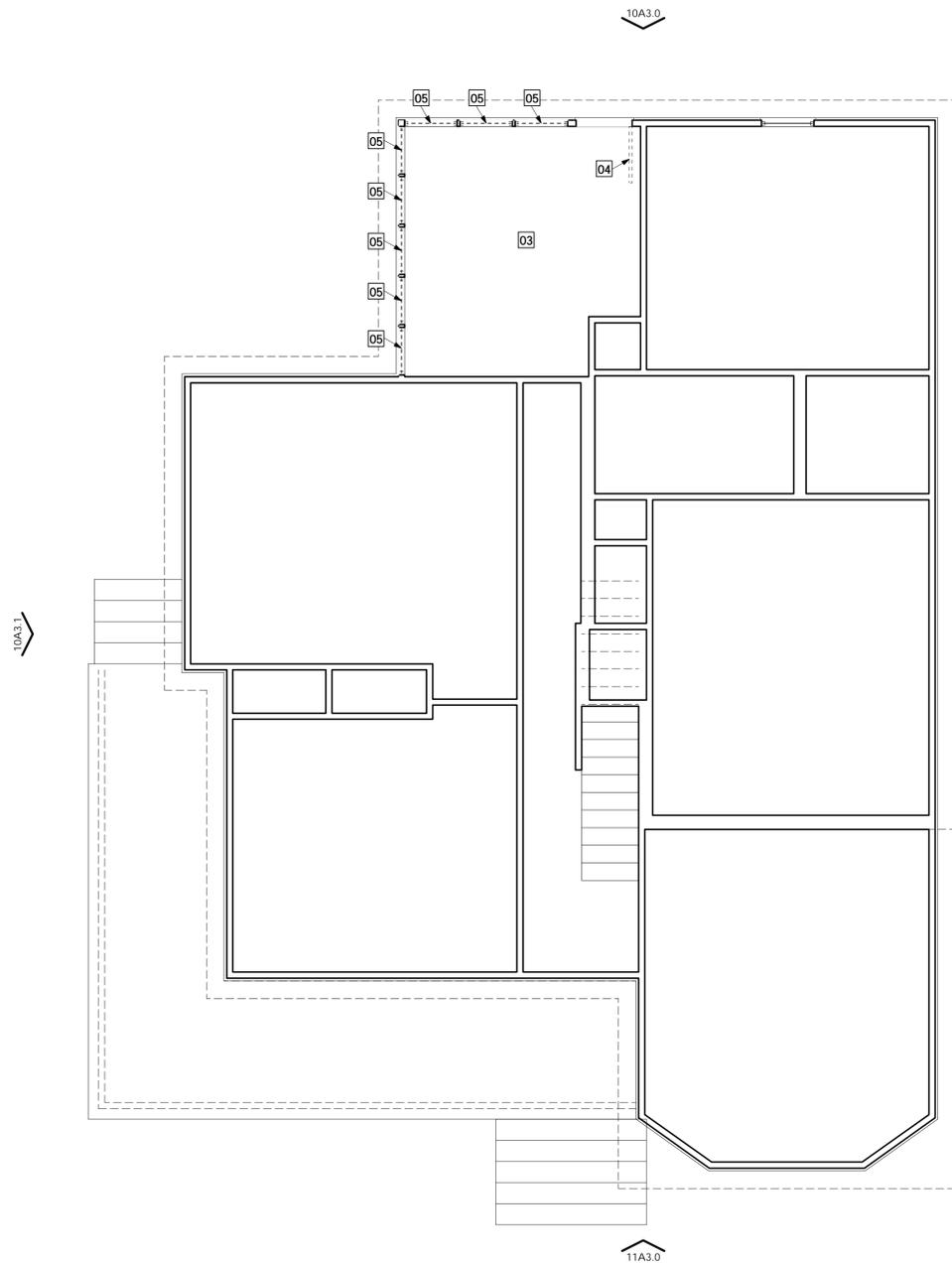
**ISSUED:**  
For HAHC Review  
29 October 2014

NOT FOR  
CONSTRUCTION

**A1.0**

**DEMO KEYED NOTES:**

- 01. REMOVE EXISTING CABINERY/MILLWORK
- 02. REMOVE EXISTING STUD WALL
- 03. REMOVE EXISTING CEILING / JOISTS. PREPARE FOR NEW. SEE PLAN
- 04. REMOVE DOOR
- 05. REMOVE WINDOW
- 06. REMOVE CASED OPENING
- 07. REMOVE EXISTING ROOF



**PLAN KEYS:**

- ROOM ROOM KEY
- W01 WINDOW KEY
- D01 DOOR KEY
- PF.01 PLUMBING FIXTURE KEY
- EQ.01 EQUIPMENT KEY
- 04A3.0 INTERIOR ELEVATION KEY
- 01 NOTE KEY
- 04A3.0 SECTION KEY
- 04A3.0 DETAIL KEY

**N10** FIRST FLOOR DEMO PLAN  
SCALE: 1/4" = 1'-0"

**N04** SECOND FLOOR DEMO PLAN  
SCALE: 1/4" = 1'-0"

**PROJECT:**  
REMODEL / ADDITION FOR  
JASON & NATALIE SCHUREN  
1301 ARLINGTON STREET  
HOUSTON, TX 77008

**ISSUED:**  
For Client Review  
07 October 2014  
For Client Review  
27 October 2014  
For HAHC Review  
29 October 2014

**NOT FOR  
CONSTRUCTION**

**A2.0**

**FIRST FLOOR DOOR SCHEDULE**

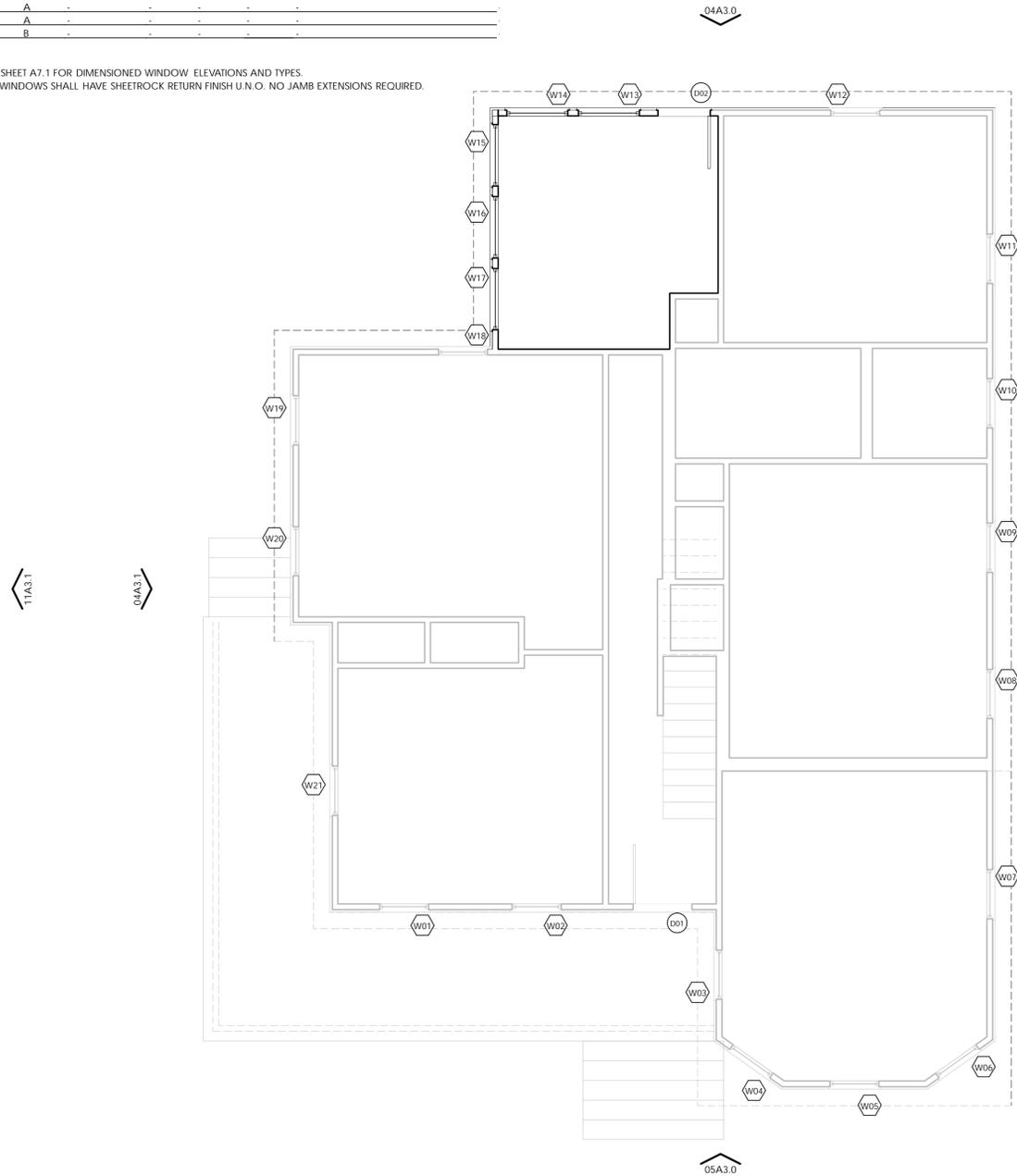
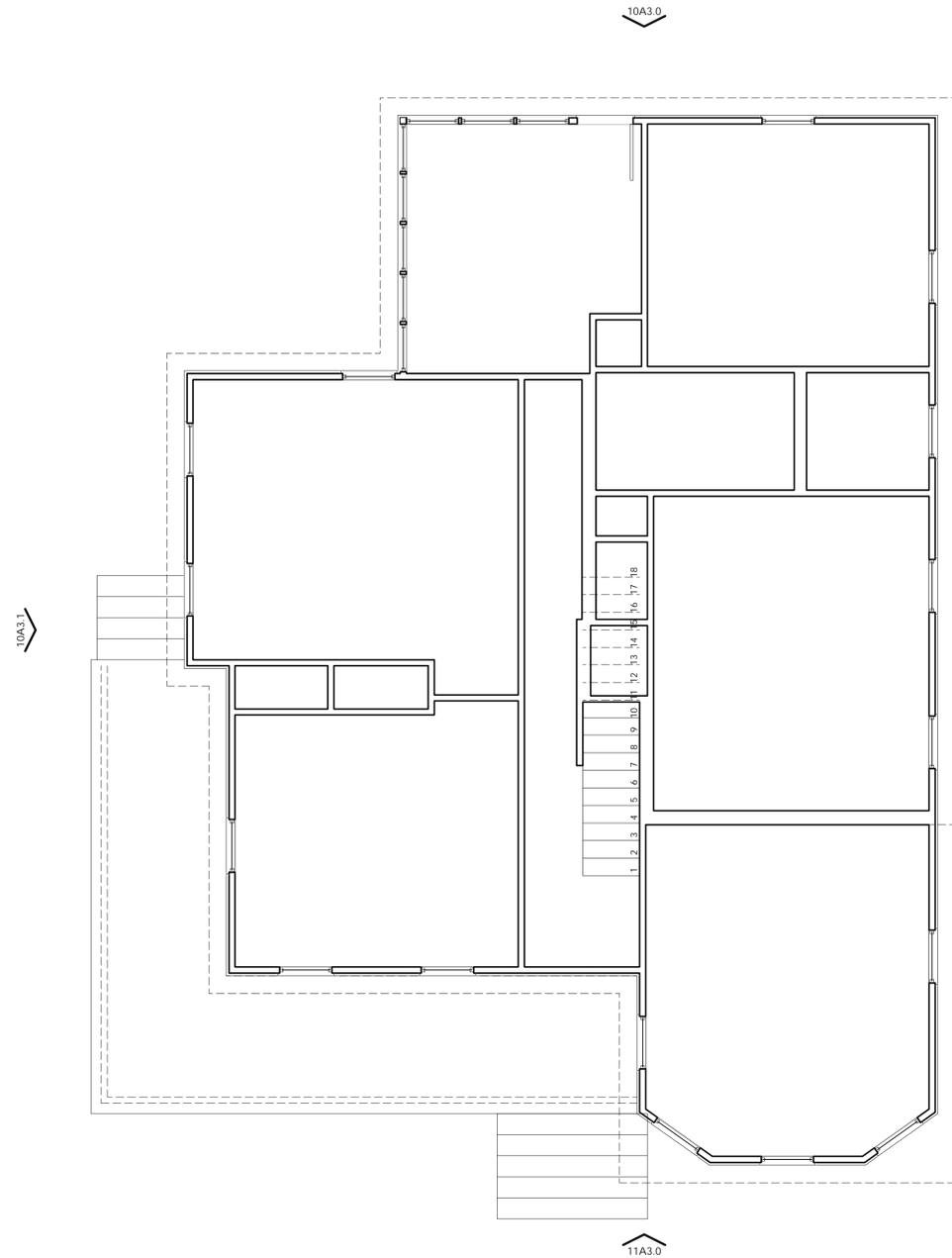
DOOR #	TYPE	WIDTH	HEIGHT	HINGE	HEAD	JAMB	THRESHOLD	COMMENTS
D01	1							
D02	3							REPLACES EXISTING DOOR TYPE 2

- NOTES:**  
 01. SEE SHEET A7.0 FOR DIMENSIONED DOOR ELEVATIONS AND TYPES.  
 02. DIMENSIONS GIVEN FOR WIDTH AND HEIGHT ARE NOMINAL U.N.O.  
 03. DIMENSIONS GIVEN FOR WIDTH AND HEIGHT FOR "CASED" TYPE UNITS ARE FINISHED CLEAR MEASUREMENTS.  
 04. ALL DOORS ARE PAINT GRADE U.N.O.

**FIRST FLOOR WINDOW SCHEDULE**

WINDOW TYPE	HINGE	HEAD	JAMB	SILL	COMMENTS
W01	A				
W02	A				
W03	A				
W04	A				
W05	B				
W06	A				
W07	A				
W08	A				
W09	A				
W10	C				
W11	A				
W12	C				
W13	I				REPLACES EXISTING WINDOW TYPE D
W14	I				REPLACES EXISTING WINDOW TYPE D
W15	I				REPLACES EXISTING WINDOW TYPE F
W16	I				REPLACES EXISTING WINDOW TYPE F
W17	I				REPLACES EXISTING WINDOW TYPE F
W18	A				
W19	A				
W20	A				
W21	B				

- NOTES:**  
 01. SEE SHEET A7.1 FOR DIMENSIONED WINDOW ELEVATIONS AND TYPES.  
 02. ALL WINDOWS SHALL HAVE SHEETROCK RETURN FINISH U.N.O. NO JAMB EXTENSIONS REQUIRED.



- PLAN KEYS:**
- ROOM ROOM KEY
  - W01 WINDOW KEY
  - D01 DOOR KEY
  - PF.01 PLUMBING FIXTURE KEY
  - EQ.01 EQUIPMENT KEY
  - 0A0.0 INTERIOR ELEVATION KEY
  - 01 NOTE KEY
  - 0A0.0 SECTION KEY
  - 0A0.0 DETAIL KEY

**N10** EXISTING FIRST FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

**N04** PROPOSED FIRST FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

**CUSIMANO**  
 ARCHITECT

1301 ARLINGTON STREET

PROJECT:  
 REMODEL / ADDITION FOR  
 JASON & NATALIE SCHUREN  
 1301 ARLINGTON STREET  
 HOUSTON, TX 77008

ISSUED:  
 For Client Review  
 07 October 2014  
 For Client Review  
 27 October 2014  
 For HAHC Review  
 29 October 2014

KELLY GRI CUSIMANO, AIA 832.465.0419 kelly@cusimano-architect.com

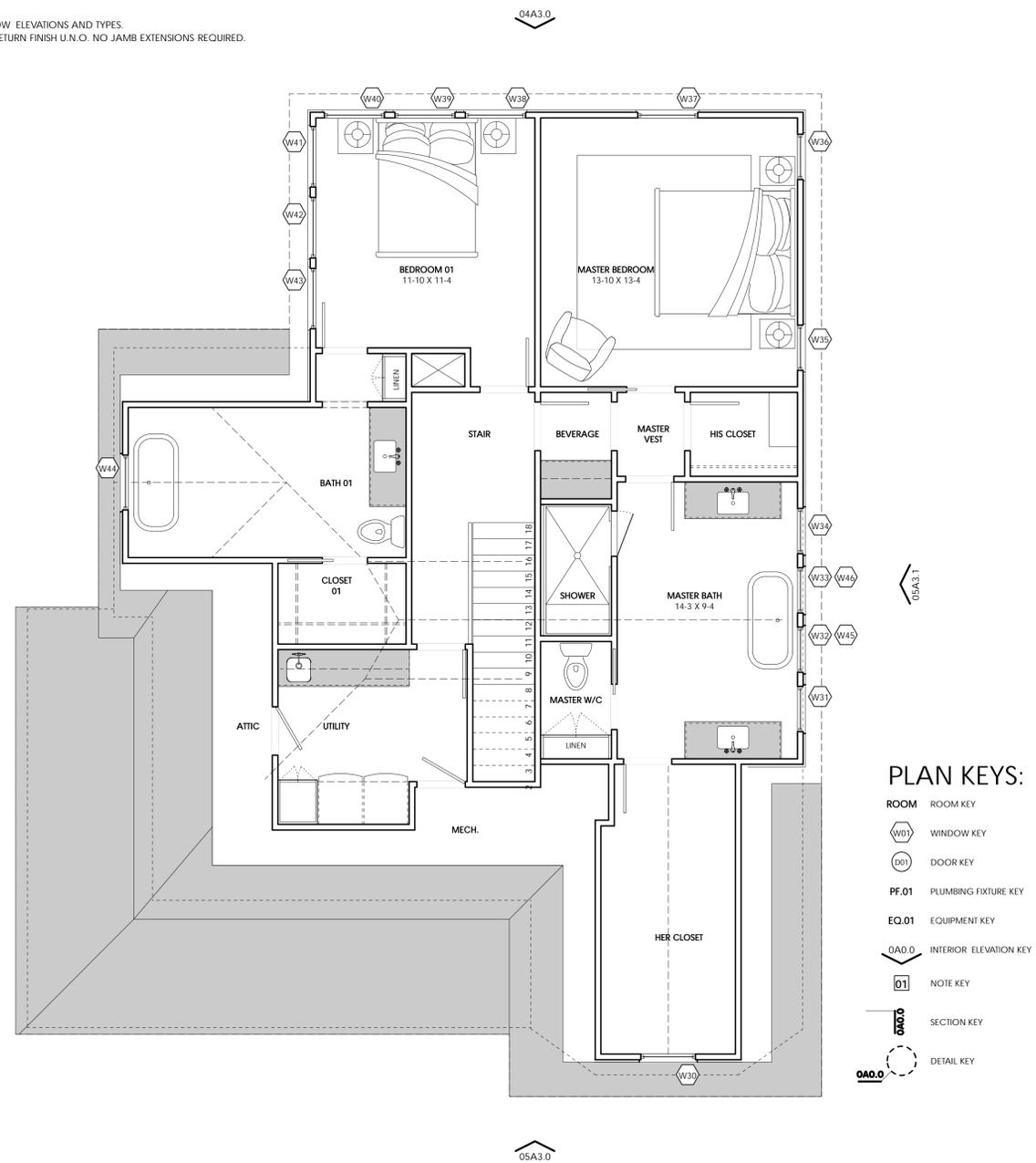
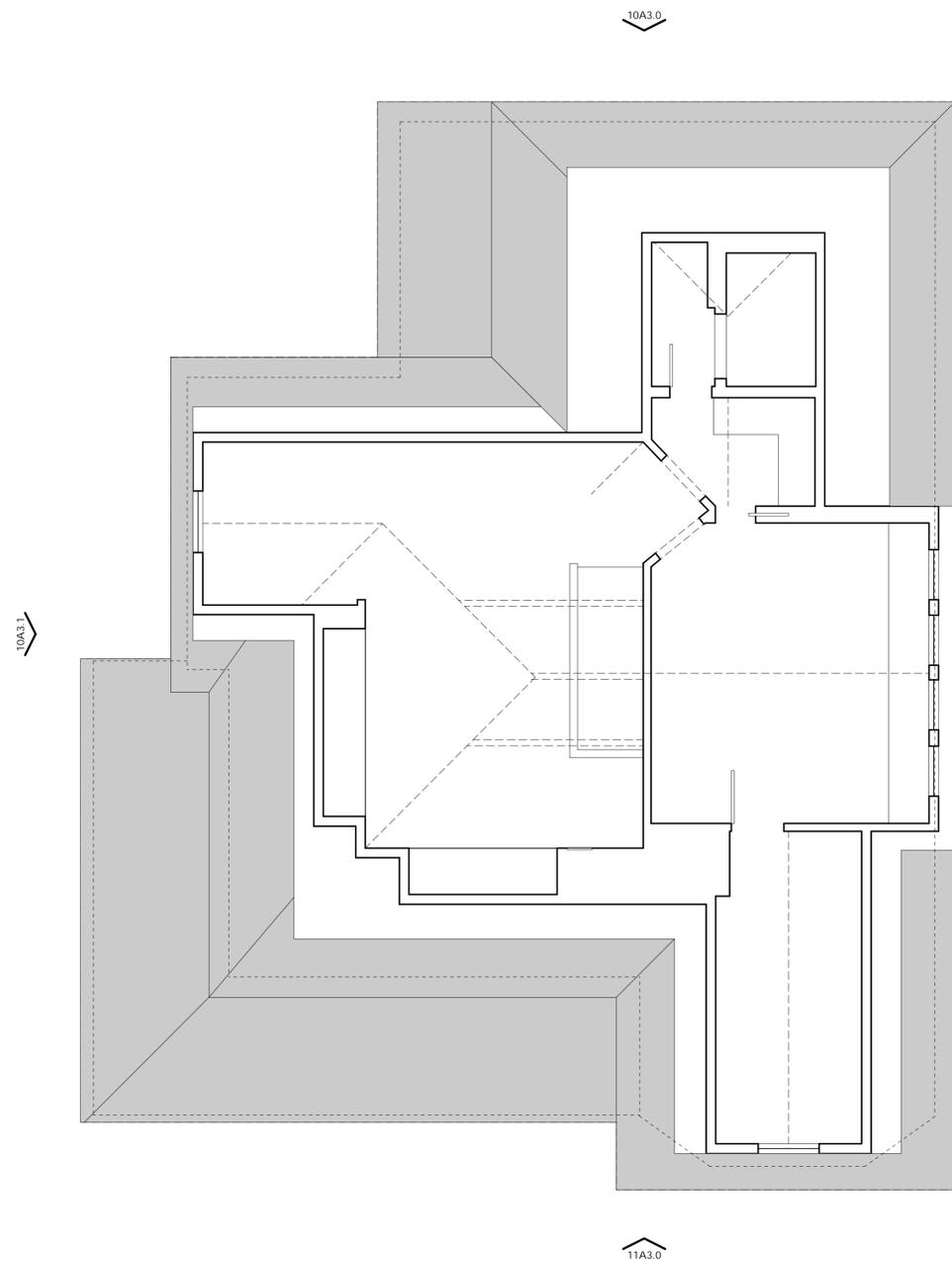
**NOT FOR CONSTRUCTION**

**A2.1**

**SECOND FLOOR WINDOW SCHEDULE**

WINDOW TYPE	HINGE	HEAD	JAMB	SILL	COMMENTS
W30	F	-	-	-	-
W31	G	-	-	-	-
W32	G	-	-	-	-
W33	G	-	-	-	-
W34	G	-	-	-	-
W35	J	-	-	-	-
W36	J	-	-	-	-
W37	K	-	-	-	EGRESS
W38	K	-	-	-	EGRESS
W39	K	-	-	-	EGRESS
W40	K	-	-	-	EGRESS
W41	K	-	-	-	EGRESS
W42	K	-	-	-	EGRESS
W43	K	-	-	-	EGRESS
W44	F	-	-	-	EGRESS
W45	H	-	-	-	-
W46	H	-	-	-	-

**NOTES:**  
 01. SEE SHEET A7.0 FOR DIMENSIONED WINDOW ELEVATIONS AND TYPES.  
 02. ALL WINDOWS SHALL HAVE SHEETROCK RETURN FINISH U.N.O. NO JAMB EXTENSIONS REQUIRED.



- PLAN KEYS:**
- ROOM ROOM KEY
  - W01 WINDOW KEY
  - D01 DOOR KEY
  - PF.01 PLUMBING FIXTURE KEY
  - EQ.01 EQUIPMENT KEY
  - QAD.0 INTERIOR ELEVATION KEY
  - 01 NOTE KEY
  - SECTION KEY
  - 0A0.0 DETAIL KEY

**N 10** EXISTING SECOND FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

**N 04** PROPOSED SECOND FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

**SECOND FLOOR PLUMBING FIXTURE SCHEDULE**

FIXTURE #	TYPE	ROOM	ACCESSORIES	COMMENTS
PF.01	SINK			
PF.02	TUB			
PF.03	SINK			
PF.04	LAV			
PF.05	SHOWER			
PF.06	SINK			
PF.07	LAV			
PF.08	TUB			
PF.09	SINK			

NOTES:  
01. ALL FIXTURES NOT SPECIFIED SHALL BE PRICED ON AN ALLOWANCE BASIS.

**SECOND FLOOR EQUIPMENT SCHEDULE**

EQUIP #	TYPE	ROOM	MODEL	ACCESSORIES	COMMENTS
EQ.01	WASHER				
EQ.02	DRYER				

NOTES:  
01. ALL EQUIPMENT NOT SPECIFIED SHALL BE PRICED ON AN ALLOWANCE BASIS.

**SECOND FLOOR WINDOW SCHEDULE**

WINDOW TYPE	HINGE	HEAD	JAMB	SILL	COMMENTS
W30	L				
W31	G				
W32	G				
W33	G				
W34	G				
W35	J				
W36	J				
W38	K				EGRESS
W39	K				EGRESS
W40	K				EGRESS
W41	K				EGRESS
W42	K				EGRESS
W43	K				EGRESS
W44	L				
W45	H				
W46	H				

NOTES:  
01. SEE SHEET A7.0 FOR DIMENSIONED WINDOW ELEVATIONS AND TYPES.

**SECOND FLOOR DOOR SCHEDULE**

DOOR #	TYPE	WIDTH	HEIGHT	THROAT	HINGE	HEAD	JAMB	THRESHOLD	COMMENTS
D10		4	2-8	6-8					SEE PLAN
D11	CASED	2'-8 1/4"	6'-9"						N/A
D12	CASED	2'-8 1/4"	6'-9"						N/A
D13	CASED	2'-8 1/4"	6'-9"						TEMPERED SHOWER DOOR
D14		6	2-8	6-8					POCKET
D15		(2) 1-4	6-7						SEE PLAN
D16		7	2-0	6-8					SEE PLAN
D17		6	2-8	6-8					N/A
D18		4	2-8	6-8					SEE PLAN
D19		8	2-4	6-8					SEE PLAN
D20	CASED	2'-4 1/4"	6'-9"						N/A
D21		8	2-4	6-8					SEE PLAN
D22		4	2-8	6-8					SEE PLAN
D23		9	2-8		CONFIRM				SEE PLAN
D24		9	2-8		CONFIRM				SEE PLAN
D25		10	(2) 2-8	6-8					SEE PLAN

NOTES:  
01. SEE SHEET A7.0 & 7.1 FOR DIMENSIONED DOOR ELEVATIONS AND TYPES.  
02. DIMENSIONS GIVEN FOR WIDTH AND HEIGHT ARE NOMINAL U.N.O.  
03. DIMENSIONS GIVEN FOR WIDTH AND HEIGHT FOR "CASED" TYPE UNITS ARE FINISHED CLEAR MEASUREMENTS.  
04. ALL DOORS ARE PAINT GRADE U.N.O.  
05. ALL DOOR, POCKET DOOR AND CASED OPENING HEAD HEIGHTS SHALL ALIGN

**GENERAL NOTES:**

- ALL NEW WALLS SHOWN IN PLAN ARE TO BE 2 X 4 WOOD STUDS AT 16" O.C. UNLESS OTHERWISE NOTED.
- ALL AREAS ARE CALCULATED TO OUTSIDE FACE OF STUD. ALL STAIRS ARE INCLUDED IN THE LOWER FLOOR AREA CALCULATION. STAIRS ARE NOT INCLUDED IN THE UPPER FLOOR AREA CALCULATION.
- INTERIOR WALL AND CEILING FINISH SHALL BE PAINTED 1/2" THICK GYP. BOARD UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. IF DIMENSIONAL CLARIFICATION IS REQUIRED, CONSULT ARCHITECT. DO NOT SCALE DRAWINGS.
- ALL FLOOR HEIGHTS CALLED OUT IN PLAN ARE TO TOP OF FINISH FLOOR. SEE BUILDING SECTIONS FOR MATERIAL THICKNESS.
- PRECISE LOCATION OF ALL SWITCHES, PUGS, JACKS, LIGHTING, PLUMBING FIXTURES, AIR GRILLS, ETC. IS ABSOLUTELY CRITICAL. COORDINATION BETWEEN ARCHITECTURAL SHEETS AND STRUCTURAL SHEETS IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. DIMENSIONS AND SPACING ON THE STRUCTURAL SHEETS ARE GENERAL RECOMMENDATIONS AND SHALL BE ADJUSTED TO ACHIEVE ARCHITECTURAL INTENT.
- ALL ELECTRICAL, GAS, AND WATER SUPPLIES FOR ALL EQUIPMENT AND FIXTURES SHALL BE LOCATED ACCORDING TO MANUFACTURER RECOMMENDATIONS UNLESS OTHERWISE NOTED.
- PLUMBING VENTS ARE TO BE GANGED WHERE POSSIBLE AND LOCATED OUT OF VIEW FROM ARLINGTON STREET AND 13TH STREET. VERIFY FINAL LOCATION OF ANY JACKS THAT PENETRATE THE ROOF WITH THE ARCHITECT PRIOR TO INSTALLATION.
- FLOOR MATERIAL TRANSITIONS SHALL OCCUR UNDER THE CENTERLINE OF DOORS UNLESS OTHERWISE NOTED.
- ALL SHEAR WALLS STUDS SHALL BE RIPPED AS NECESSARY TO YIELD INTENDED THICKNESS. CONSULT WITH ARCHITECT.

**KEYED NOTES:**

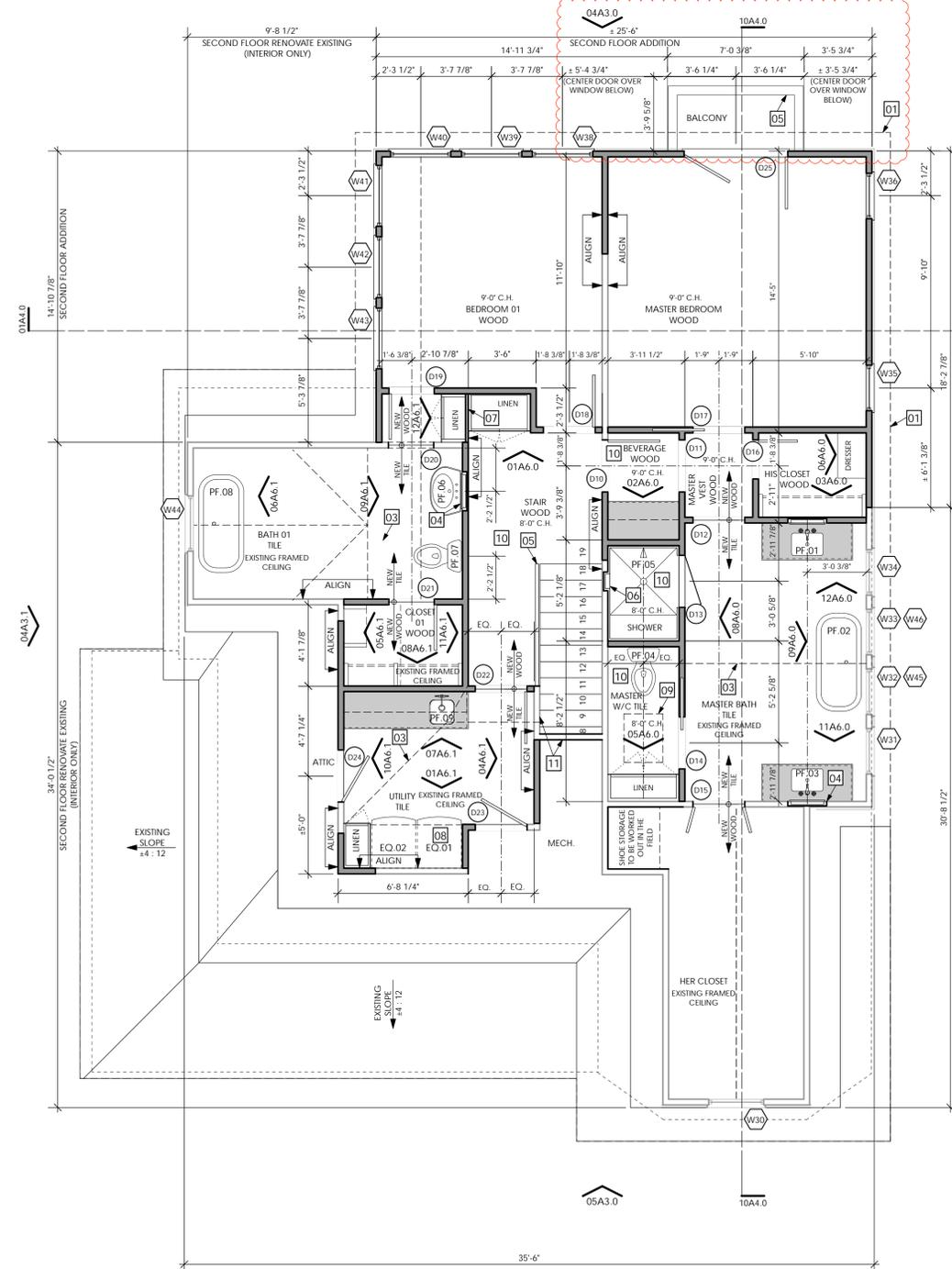
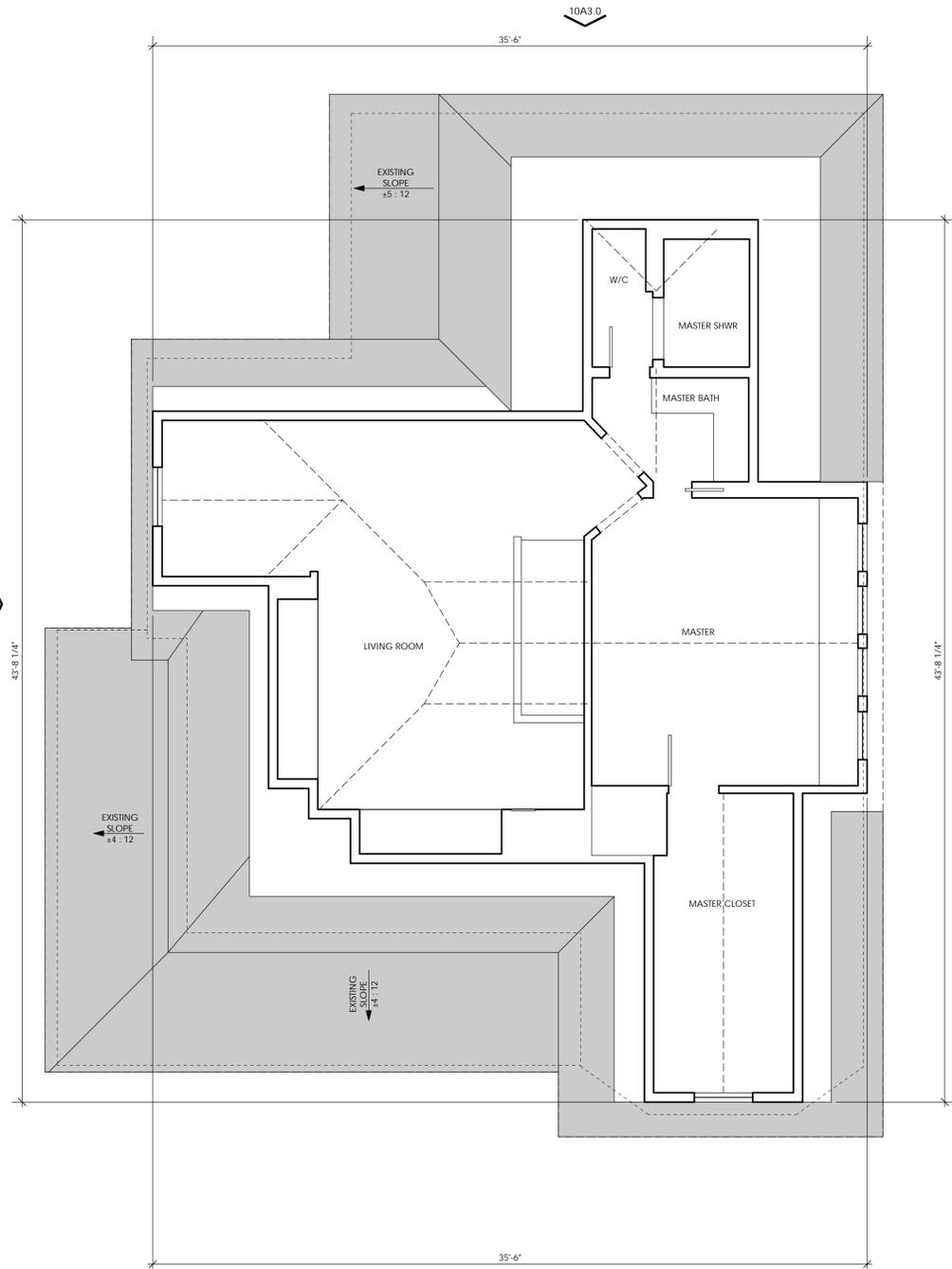
- DASHED LINE INDICATES ROOF OVERHANG ABOVE
- NEW CEILING WITH 1/2" PAINTED GYPSUM BOARD. MATCH TYP. FIRST FLOOR PLATE HEIGHT.
- DASHED LINE INDICATES CHANGE IN CEILING PLANE ABOVE
- PROVIDE RECESS IN WALL FOR CUSTOM MEDICINE CABINETS. SEE INTERIOR ELEVATIONS
- CUSTOM DECORATIVE HAND/GUARDRAIL. ALL DETAILS SHALL CONFORM TO SECTIONS R311 AND R312 OF THE INTERNATIONAL RESIDENTIAL CODE 2006. (RAIL SHALL BE CONSTRUCTED TO RESIST A MINIMUM SINGLE CONCENTRATED LOAD OF 200 LBS. APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE RAIL)
- SOAP RECESS. SEE INTERIOR ELEVATIONS FOR ROUGH DIMENSIONS.
- FLAT STUD WALL AT THIS LOCATION
- PROVIDE FLOOR DRAIN BELOW WASHING MACHINE TO "DMLIGHT"
- SCUTILE ATTIC ACCESS. (ROUGH OPENING NOT LESS THAN 22" X 30")
- FUR DOWN CEILING TO 8'0" IN THIS ROOM
- EXTEND PONY WALL TO CEILING
- NEW CUT BRICK CHIMNEY

**PLAN KEYS:**

- ROOM ROOM KEY
- W30 WINDOW KEY
- D01 DOOR KEY
- PF.01 PLUMBING FIXTURE KEY
- EQ.01 EQUIPMENT KEY
- 0A0.0 INTERIOR ELEVATION KEY
- 01 NOTE KEY
- 0A0.0 SECTION KEY
- 0A0.0 DETAIL KEY

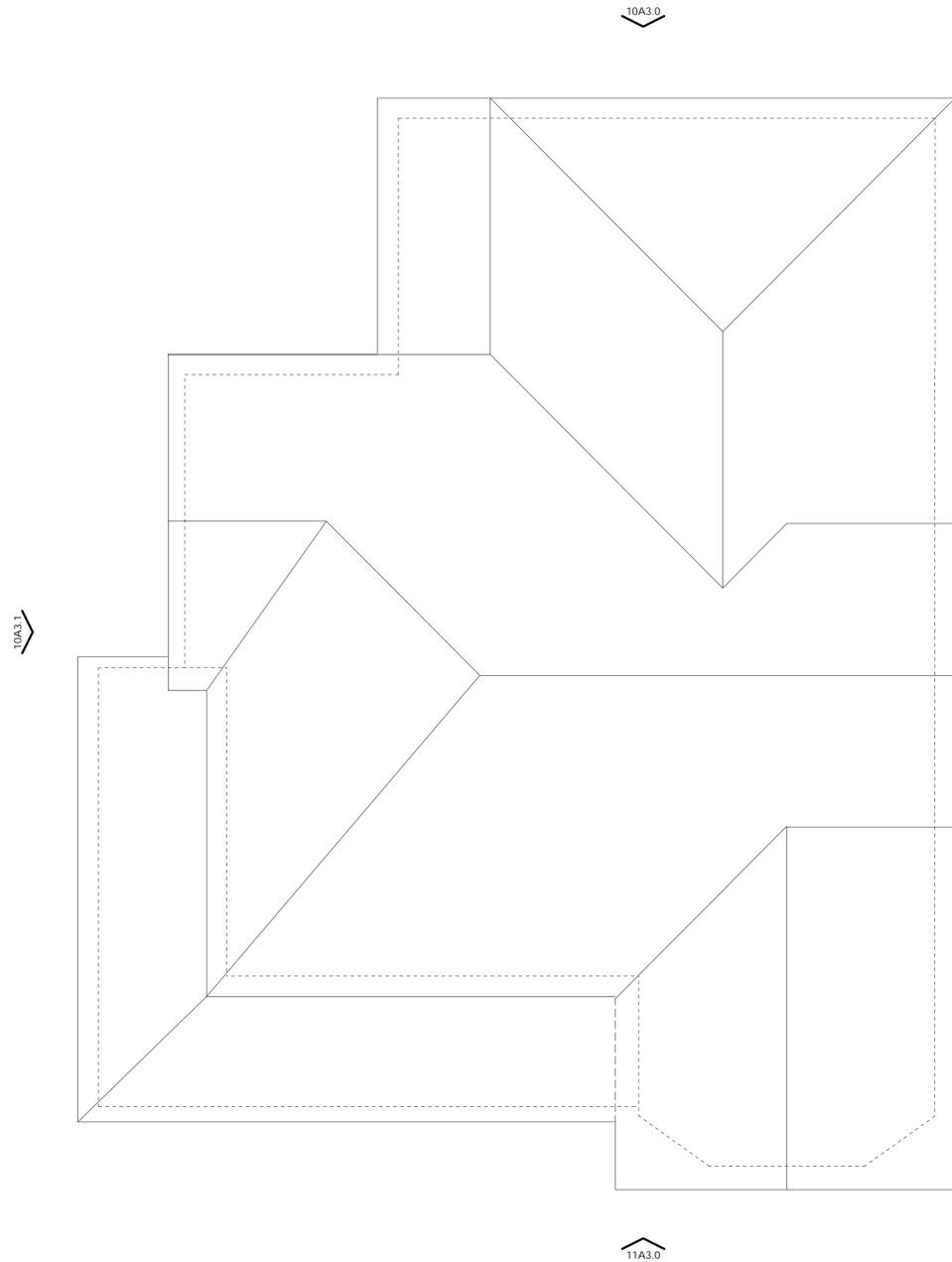
**AREA CALCULATIONS:**

INTERIOR SPACE	
EXISTING FIRST FLOOR	1413 SQ. FT.
EXISTING SECOND FLOOR	850 SQ. FT.
NEW SECOND FLOOR ADDITION	252 SQ. FT.
TOTAL	2515 SQ. FT.
EXTERIOR SPACE	
EXISTING PORCH	248 SQ. FT.
NEW SECOND FLOOR BALCONY	27 SQ. FT.
TOTAL	275 SQ. FT.
TOTAL SLAB	1661 SQ. FT.
TOTAL BUILT	2790 SQ. FT.

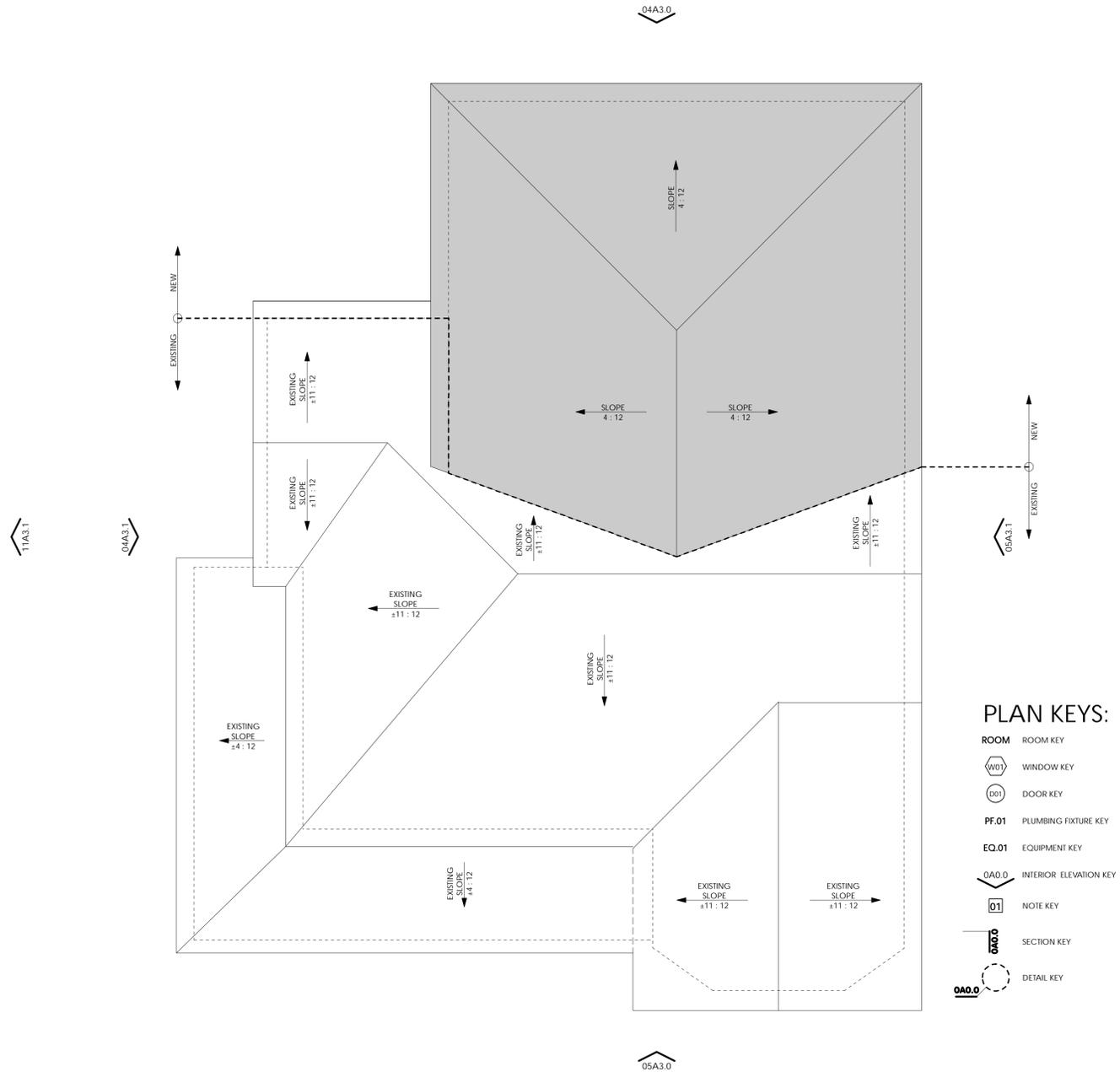


**N 10** EXISTING SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

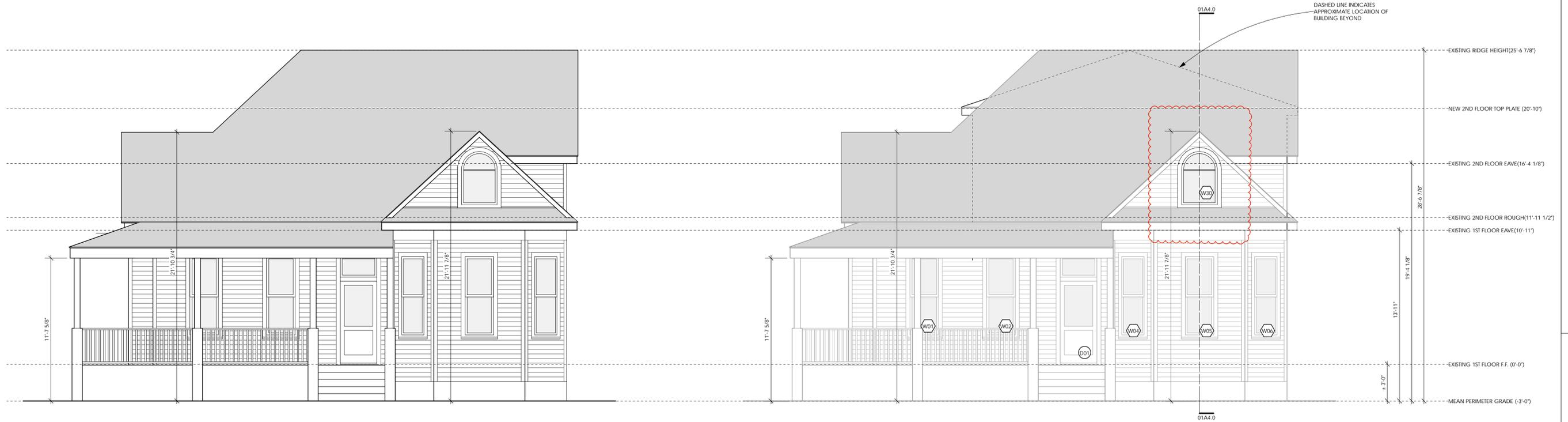
**N 04** PROPOSED SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



**N10** EXISTING ROOF PLAN  
SCALE: 1/4" = 1'-0"

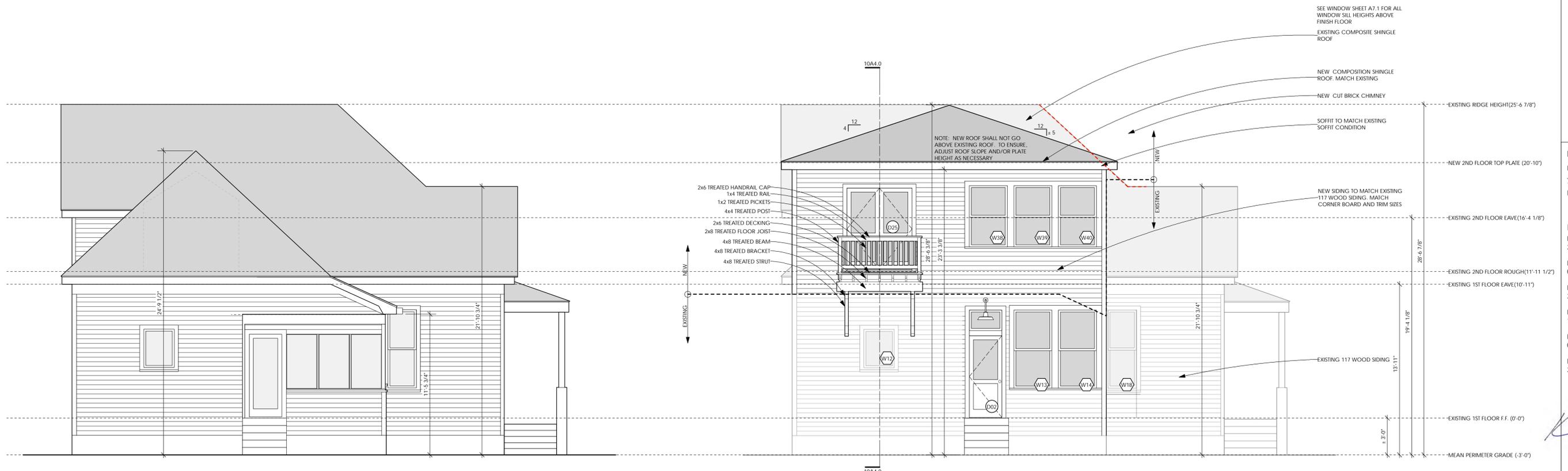


**N04** PROPOSED ROOF PLAN  
SCALE: 1/4" = 1'-0"



**11 EAST ELEVATION - EXISTING**  
SCALE: 1/4" = 1'-0"

**05 EAST ELEVATION - PROPOSED**  
SCALE: 1/4" = 1'-0"



**10 WEST ELEVATION - EXISTING**  
SCALE: 1/4" = 1'-0"

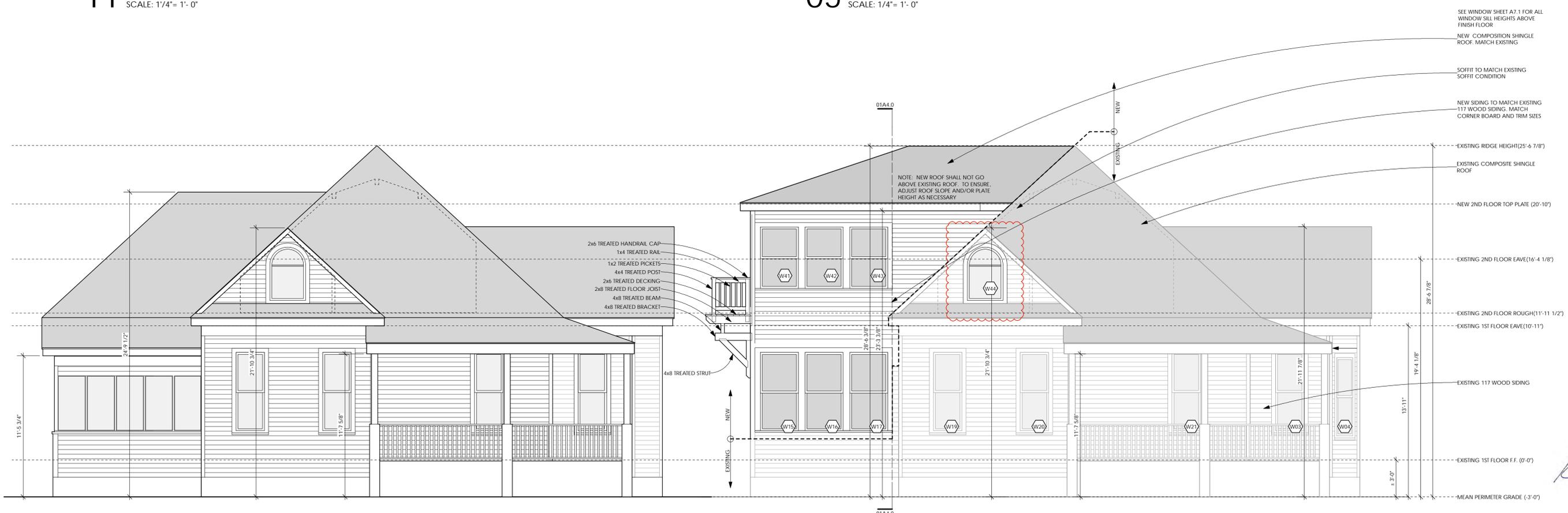
**04 WEST ELEVATION - PROPOSED**  
SCALE: 1/4" = 1'-0"





**11** NORTH ELEVATION - EXISTING  
SCALE: 1/4" = 1'-0"

**05** NORTH ELEVATION - PROPOSED  
SCALE: 1/4" = 1'-0"



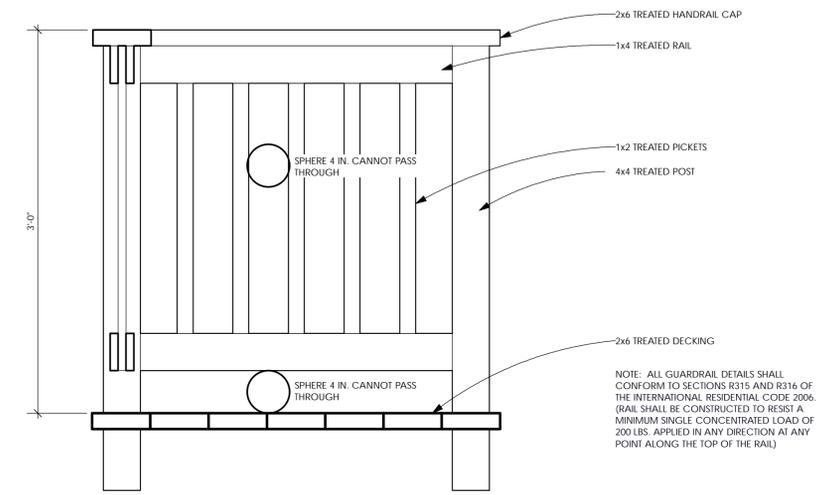
**10** SOUTH ELEVATION - EXISTING  
SCALE: 1/4" = 1'-0"

**04** SOUTH ELEVATION - PROPOSED  
SCALE: 1/4" = 1'-0"

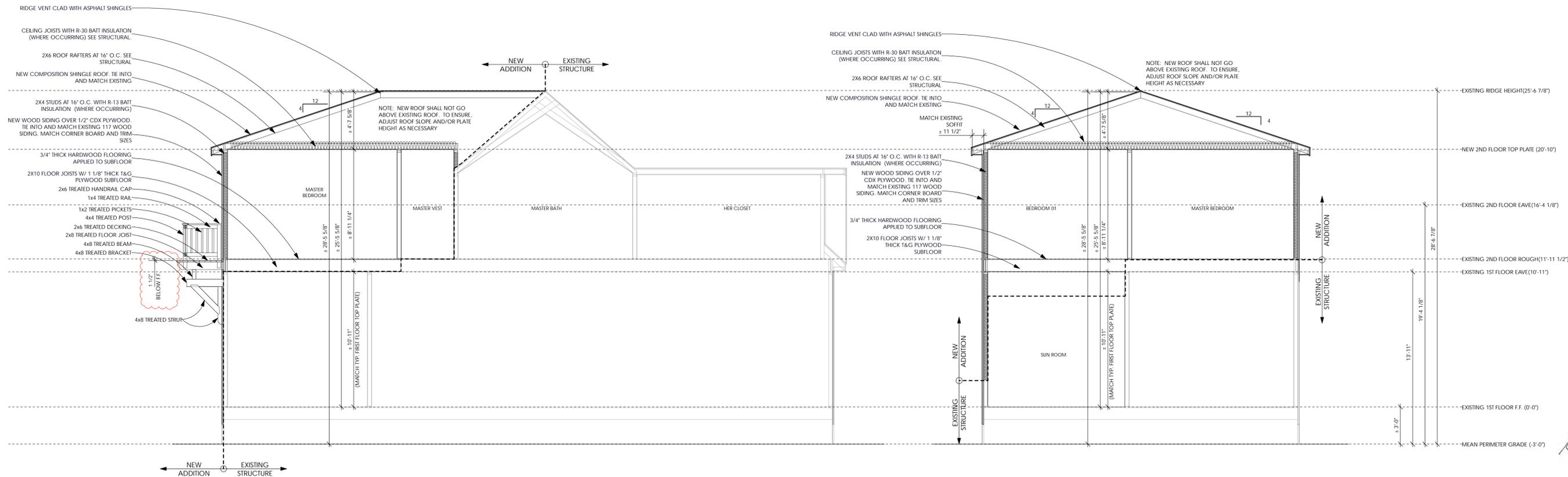
SEE WINDOW SHEET A7.1 FOR ALL WINDOW SILL HEIGHTS ABOVE FINISH FLOOR  
EXISTING COMPOSITE SHINGLE ROOF  
NEW COMPOSITION SHINGLE ROOF. MATCH EXISTING  
SOFFIT TO MATCH EXISTING SOFFIT CONDITION  
EXISTING RIDGE HEIGHT(25'-6 7/8")  
NEW SIDING TO MATCH EXISTING 117 WOOD SIDING. MATCH CORNER BOARD AND TRIM SIZES  
NEW 2ND FLOOR TOP PLATE (20'-10")  
EXISTING 2ND FLOOR EAVE(16'-4 1/8")  
EXISTING 2ND FLOOR ROUGH(11'-11 1/2")  
EXISTING 1ST FLOOR EAVE(10'-11")  
EXISTING 117 WOOD SIDING  
EXISTING 1ST FLOOR F.F. (0'-0")  
MEAN PERIMETER GRADE (-3'-0")

SEE WINDOW SHEET A7.1 FOR ALL WINDOW SILL HEIGHTS ABOVE FINISH FLOOR  
NEW COMPOSITION SHINGLE ROOF. MATCH EXISTING  
SOFFIT TO MATCH EXISTING SOFFIT CONDITION  
NEW SIDING TO MATCH EXISTING 117 WOOD SIDING. MATCH CORNER BOARD AND TRIM SIZES  
EXISTING RIDGE HEIGHT(25'-6 7/8")  
EXISTING COMPOSITE SHINGLE ROOF  
NEW 2ND FLOOR TOP PLATE (20'-10")  
EXISTING 2ND FLOOR EAVE(16'-4 1/8")  
EXISTING 2ND FLOOR ROUGH(11'-11 1/2")  
EXISTING 1ST FLOOR EAVE(10'-11")  
EXISTING 117 WOOD SIDING  
EXISTING 1ST FLOOR F.F. (0'-0")  
MEAN PERIMETER GRADE (-3'-0")





03 BALCONY GUARDRAIL  
SCALE: 1 1/2" = 1'-0"



10 SECTION THROUGH MASTER SUITE  
SCALE: 1/4" = 1'-0"

01 SECTION THROUGH SUNROOM  
SCALE: 1/4" = 1'-0"







PLEASE  
DO NOT PARK  
ON OUR  
GRASS

