

# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



PLANNING &  
DEVELOPMENT  
DEPARTMENT

## PROPERTY

Address 105 Payne St. Houston, TX 77009  
Historic District / Landmark German Town HCAD # 0152150050025  
Subdivision Woodland Heights Lot tr 7 Block 31

## DESIGNATION TYPE

- Landmark  Contributing  
 Protected Landmark  Noncontributing  
 Archaeological Site  Vacant

## PROPOSED ACTION

- Alteration or Addition  Relocation  
 Restoration  Demolition  
 New Construction  Excavation

## DOCUMENTS

Application checklist for each proposed action and all applicable documentation listed within are attached

## OWNER

Name Chad Stephenson  
Company \_\_\_\_\_  
Mailing Address 105 Payne St.  
Houston, TX 77009  
Phone 281-731-3834  
Email \_\_\_\_\_  
Signature [Signature]  
Date 3/2/16

## APPLICANT (if other than owner)

Name \_\_\_\_\_  
Company \_\_\_\_\_  
Mailing Address \_\_\_\_\_  
Phone \_\_\_\_\_  
Email \_\_\_\_\_  
Signature \_\_\_\_\_  
Date \_\_\_\_\_

## ACKNOWLEDGEMENT OF RESPONSIBILITY

**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Deed Restrictions:** You have verified that the work does not violate applicable deed restrictions.

**Public Records:** If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

**Compliance:** If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: \_\_\_\_\_ Application received: \_\_\_/\_\_\_/\_\_\_ Application complete: \_\_\_/\_\_\_/\_\_\_

# CERTIFICATE OF APPROPRIATENESS ALTERATION & ADDITON CHECKLIST



**PLANNING &  
DEVELOPMENT  
DEPARTMENT**

**Well in advance of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.**

Complete all applicable items and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-241 for approval criteria for alteration, rehabilitation, restoration and additions.

**PROPERTY ADDRESS:** 105 Payne St. Houston, TX 77009

**BUILDING TYPE**

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- carport
- accessory structure
- other

**ALTERATION TYPE**

- addition
- foundation
- wall siding or cladding
- windows or doors
- porch or balcony
- roof
- awning or canopy
- commercial sign
- ramp or lift
- other

**WRITTEN DESCRIPTION**

- property description, current conditions and any prior alterations or additions
- proposed work; plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new materials description; attach specification sheets if necessary

**PHOTOGRAPHS** label photos with description and location

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

**DRAWINGS** scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

- current site plan
- proposed site plan
- current floor plans
- proposed floor plans
- current window and door schedule
- proposed window and door schedule
- demolition plan
- current roof plan
- proposed roof plan
- current elevations (all sides)
- proposed elevations (all sides)
- perspective and/or line of sight

### **105 Payne St. Addition**

The scope of work is to add a lean-to on the back side of the house to cover the area above the back door.

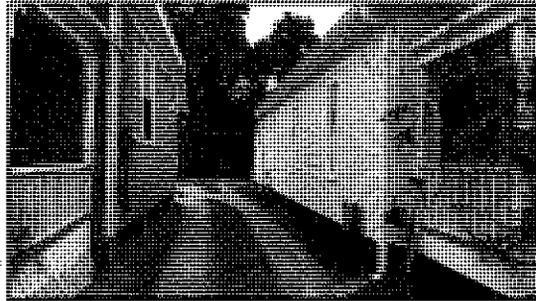
- The structure will be supported by 7 - 4x6 posts and tied into the roof of the house.
- Support rafters will be on 24 inch centers.
- Hurricane ties will be used on rafters.
- A parallam beam will be used to support the 16 foot span.
- The slope of the roof will be a 3 on 12.
- The roof will be made out of composite shingles to match existing roof.
- The footprint of the lean-to will not exceed the existing outside wall of the house
- This will not be visible from the street.
- The finish will remain open air concept and no new siding will be needed.

### Subject Photo Page

Lender	Bank of America, N.A.,			
Property Address	105 Payne St			
City	Houston	County	Harris	State TX Zip Code 77009
Client	STARS Speedy Title & Appraisal Review Services LLC			



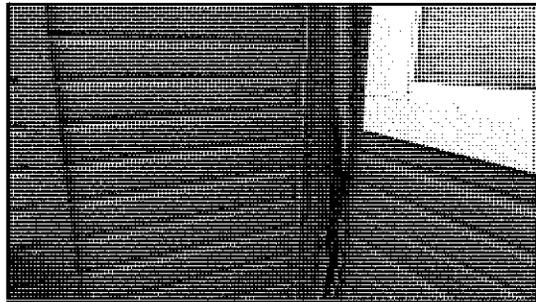
**Front of Both Units**



**Side View**



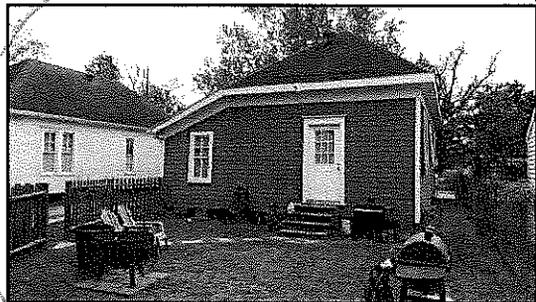
**Carport**



**Rotted Wood Unit 1**

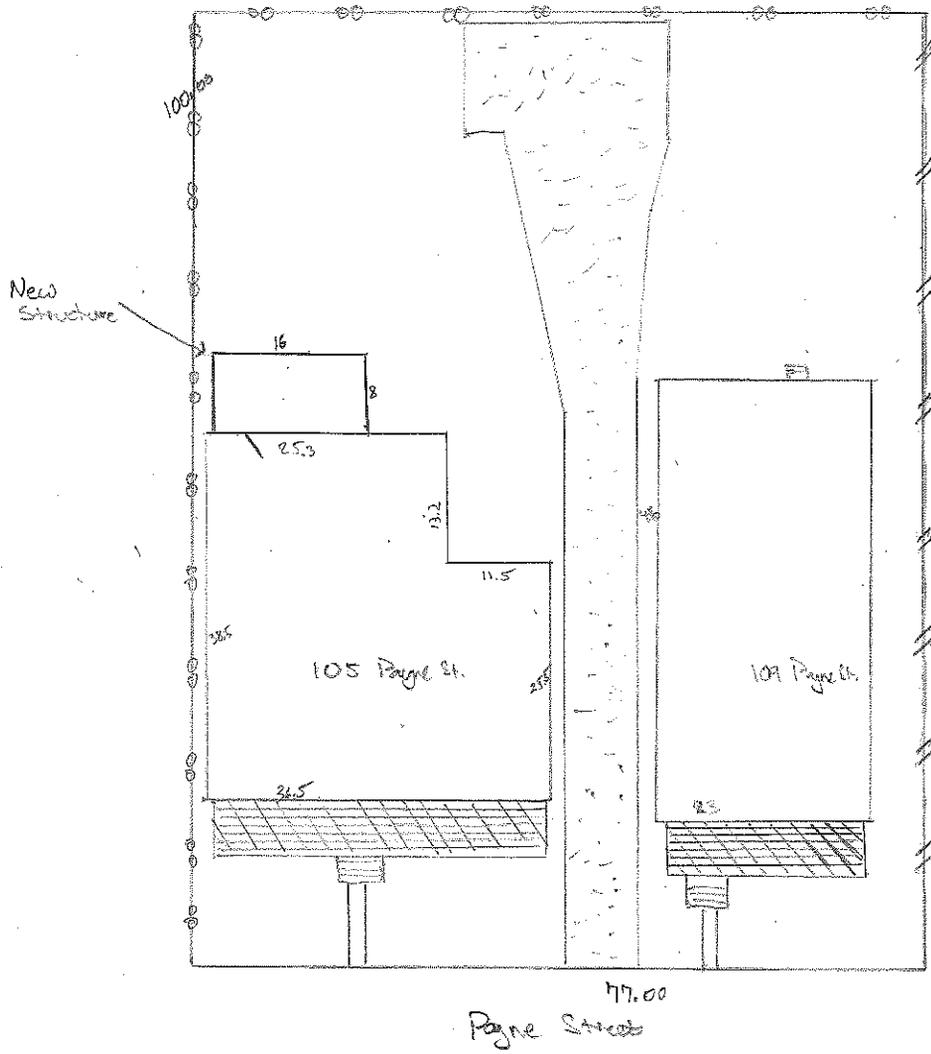


**Side View Unit 1**



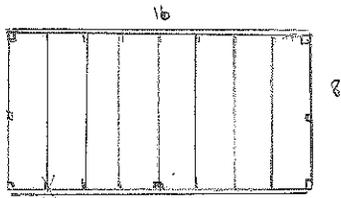
**Rear Unit 1**

*Add Area Location*



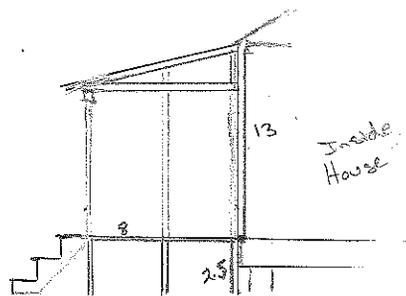
Scale 1" = 10'

Arial View of Roof and rafters



- Rafter = 2 x 6
- Tie back to house = 2 x 10
- Hurricane = all rafters + ties

Side View from West



Slope = 3/12

Columns = 4 x 6

Structural Beams: Parallel

Front View

