

# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



PLANNING &  
DEVELOPMENT  
DEPARTMENT

## PROPERTY

Address 1222 Rutland  
Historic District / Landmark \_\_\_\_\_ HCAD # 020180000022  
Subdivision HOUSTON HEIGHTS Lot 22 Block 184

## DESIGNATION TYPE

- Landmark  Contributing  
 Protected Landmark  Noncontributing  
 Archaeological Site  Vacant

## PROPOSED ACTION

- Alteration or Addition  Relocation  
 Restoration  Demolition  
 New Construction  Excavation

## DOCUMENTS

- Application checklist for each proposed action and all applicable documentation listed within are attached

## OWNER

Name H AND K PROPERTIES  
Company \_\_\_\_\_  
Mailing Address 1222 RUTLAND  
HOUSTON TX 77008  
Phone 713-868-3888  
Email \_\_\_\_\_  
Signature [Signature]  
Date 3/3/2015

## APPLICANT (if other than owner)

Name JOE PEREZ  
Company JOE'S CUSTOM HOMES INC.  
Mailing Address 6807 LYONS AVE  
HOUSTON TX 77020  
Phone 281-932-3205  
Email [Redacted]  
Signature [Signature]  
Date 3/3/2015

## ACKNOWLEDGEMENT OF RESPONSIBILITY

**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Deed Restrictions:** You have verified that the work does not violate applicable deed restrictions.

**Public Records:** If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

**Compliance:** If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: \_\_\_\_\_ Application received: \_\_\_/\_\_\_/\_\_\_ Application complete: \_\_\_/\_\_\_/\_\_\_

# CERTIFICATE OF APPROPRIATENESS NEW CONSTRUCTION CHECKLIST



PLANNING &  
DEVELOPMENT  
DEPARTMENT

**Well in advance** of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-242 for approval criteria for new construction in a historic district.

**PROPERTY ADDRESS:** 1222 Rutland Houston Tx. 77008

## NEW BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage - APARTMENT
- carport
- accessory structure
- other

## DRAWINGS

scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

- site plan
- floor plans
- window and door schedule
- roof plan
- elevations (all sides)
- perspective

## WRITTEN DESCRIPTION

- describe new structure including square footage, levels, foundation, siding, windows, doors, roof and details
- materials description; attach specification sheets if necessary

## PHOTOGRAPHS label photos with description and location

- site as seen from street, from front and corners, include neighboring properties

**GENERAL LEGEND:**

THE PLANS AND SPECIFICATIONS INCLUDED IN THIS SET ARE INTENDED TO MEET THE 2008 IRC CODES, AND THE CONTRACTOR TO COMPLY WITH ALL LOCAL CODES, ORDINANCES AND DEED RESTRICTIONS.

WOOD CONSTRUCTION WITH SUPPLEMENT LATEST EDITION, BRACKET.

REFER TO DRAWINGS FOR FLOOR PLANS, DRAIN DIRECTIONS, ELEVATIONS, AND SLOPES.

PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVERS, WALLS AND PARTS.

ANY DISCREPANCIES IN CONTRACT DOCUMENTS SHALL BE WORK BEING PERFORMED OR MATERIALS BEING ORDERED.

CONSTRUCTION SHALL COMPLY WITH THE UNIFORM MECHANICAL AND PLUMBING CODES AND THE NATIONAL ELECTRICAL CODE, LATEST EDITIONS.

IF DECK OR PATIO IS HIGHER THAN 2'-6" ABOVE GRADE, PROVIDE GUARD RAIL.

PROVIDE STEPS TO GRADE AS REQUIRED.

ALL 2x12 BEAMS TO HAVE A 1" CONTINUOUS PLYWOOD SUPPLY 230V AND 110V OR GAS AND 110V TO HVAC UNITS) IN ATTIC.

BUILDER TO VERIFY SIZES AND LOCATION OF ALL APPLIANCES AND RELATED COMPONENTS.

ALL WINDOWS WILL BE DAMAGED TO ROUGH OPENINGS UNLESS OTHERWISE NOTED. GLASS SIZE PER MFR. RECOMMENDATIONS.

WEATHER STRIP ATTIC ACCESS DOOR(S)

PROVIDE 1 S.F. NET FREE AREA OF ATTIC VENTILATION PER 150 S.F. OF TOTAL COVERED ROOF AREA AS PER CODE.

ALL GLAZING TO BE DOUBLE PANE INSULATED PANELS.

CONTRACTOR TO PROVIDE A 1/2" PLYWOOD CATWALK FROM ATTIC ACCESS TO HVAC UNITS (IF APPLICABLE), UNITS TO BE LOCATED WITHIN 20'-0" OF ACCESS.

ALL PLUMBING AND APPLIANCE VENTS TO VENT TO REAR OF ROOF RIDGE WHENEVER POSSIBLE.

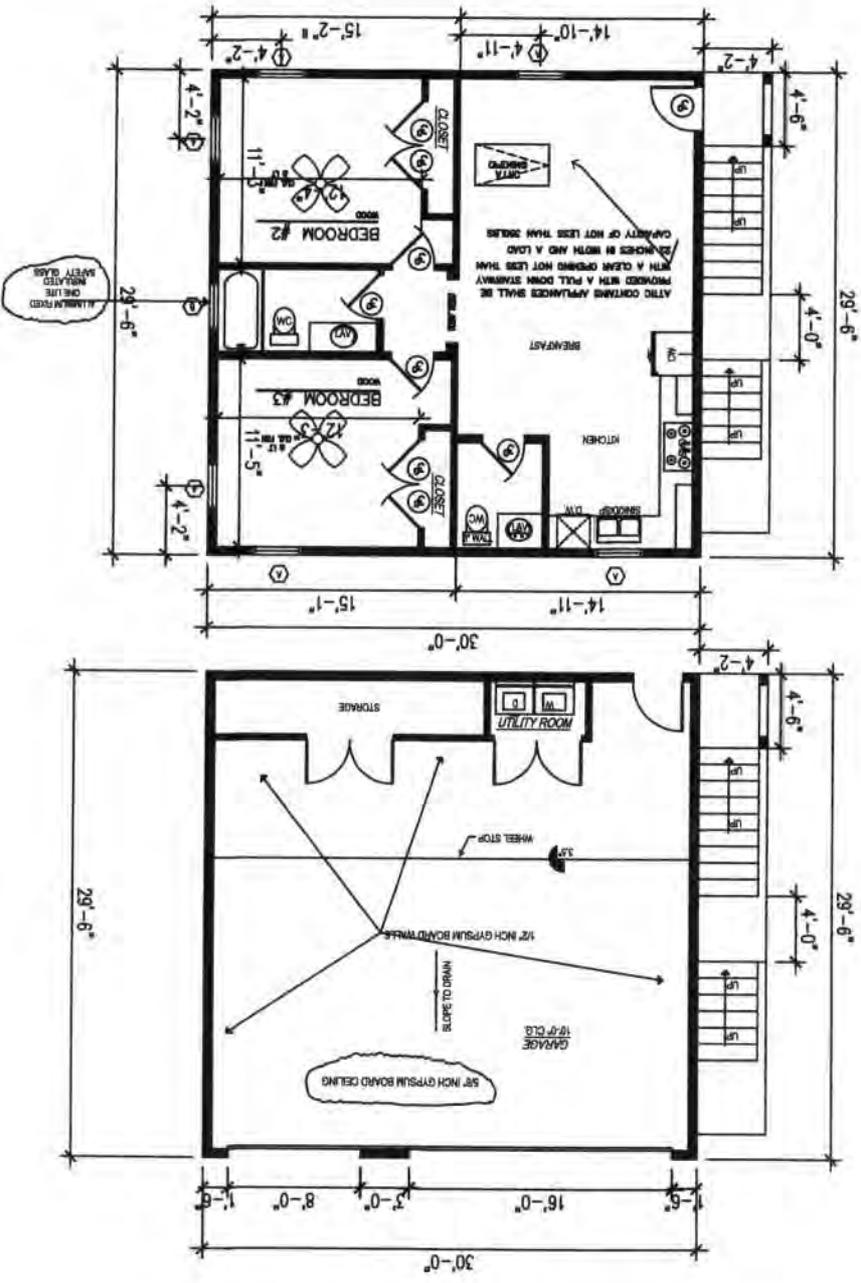
WRITER DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS, SPECIFIC PLAN INFORMATION TAKES PRECEDENCE OVER GENERAL SPECIFICATIONS AND DETAILS.

THIS WORK MAY OR MAY NOT BE STAMPED AND SIGNED BY A REGISTERED ARCHITECT.

ROOT 2 BATH TUB AND SHOWER SPACES, BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSULATED SHOWER AND IN SHOWER COMPARTMENTS SHALL BE FINISH WITH A NONABSORBENT SURFACE SUCH THAT WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET (1829mm) ABOVE FLOOR.

**NOTE:**

- 1- ALL INTERIOR CORNERS TO BE ROUND
- 2- SEE SITE PLAN FOR UTILITY - PANELS LOCATIONS
- 3- PROVIDE WOOD BLOCKING AT BACK SIDE OF WALL MOUNTED CABINETS.
- 4- EXTERIOR INSULATION TO BE MIN. R-13 IN WALLS AND R-19 IN CEILING/ROOF, PER CODE.
- 5- ALL EXTERIOR WALLS TO BE 2x6 U.M.C. TO HAVE THE NO BOTTOM WHERE CONCRETE SLAB MEETS EXTERIOR STUD WOOD FRAMING.
- 6- ALL WINDOWS AT SLEEPING ROOMS MUST HAVE A MIN. SIZE OF 4.7 S.F. NO WINDOW SHALL BE SMALLER THAN 20" IN WIDTH, NOR BE LOCATED 24" BELOW FINISH FLOOR.



**A-2**

BY DATE REV.	02-23-2015
DATE FORNEX	000 S.F.T.
SCORE FLOOR	000 S.F.T.
CHAGE	000 S.F.T.
TOTAL USAGE	000 S.F.T.
TOTAL AREA	1778 S.F.T.

**1ST FLOOR PLAN**

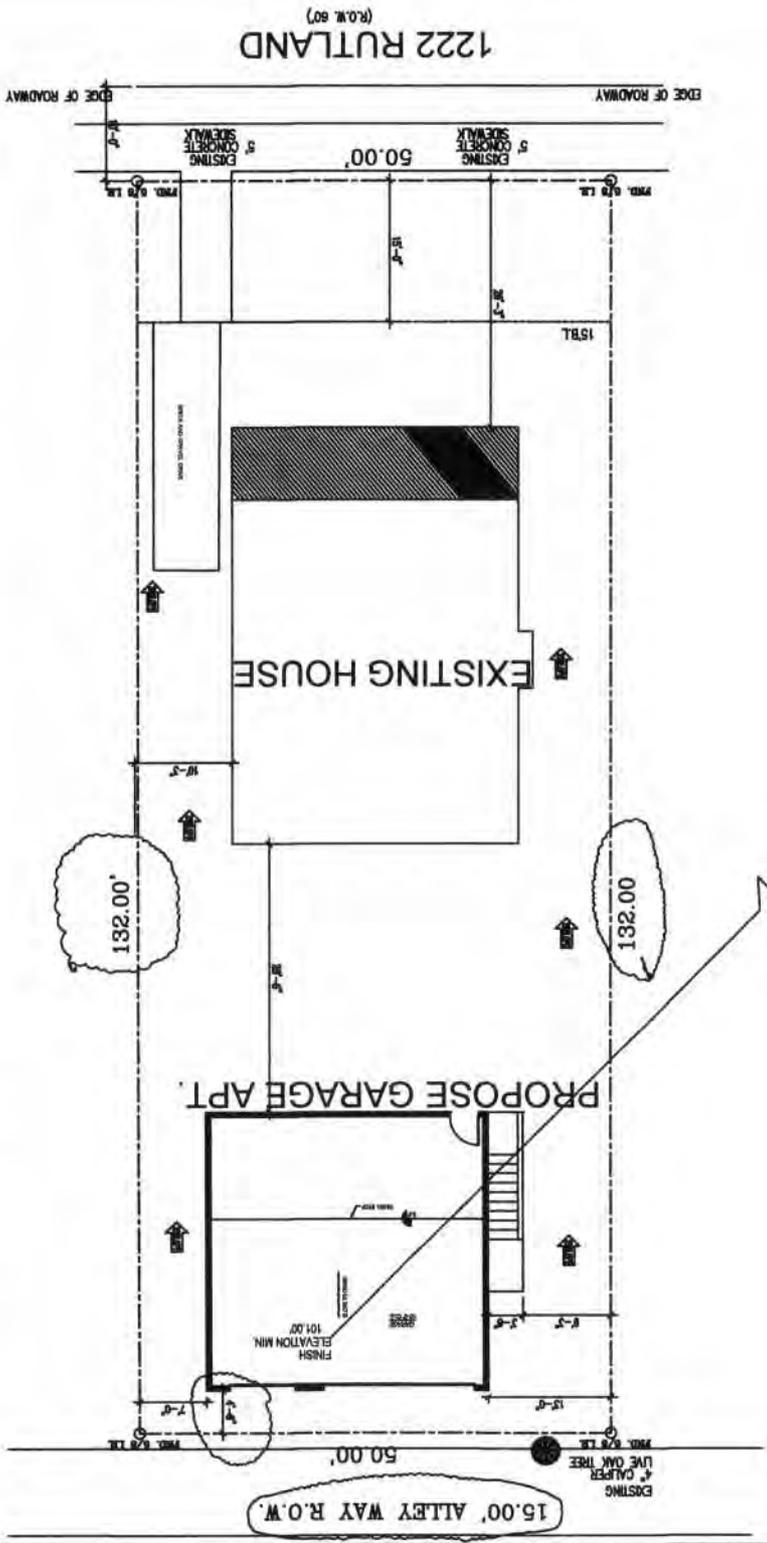
THIS PLAN AND THE DESIGN CONTAINED HEREIN ARE THE PROPERTY OF JOE S. CUSTOM HOMES AND SHALL NOT BE REPRODUCED, COPIED, EITHER WHOLLY OR IN PART, WITHOUT THE WRITTEN CONSENT FROM JOE S. CUSTOM HOMES. CONTACT JOE S. CUSTOM HOMES AT 281-932-3205 OR 281-932-3206.

**1222 RUTHLAND TH ST  
UNIT B  
HOUSTON, TX 77008  
CONSTRUCTED BY  
JOE S. CUSTOM HOMES**

1 SITE PLAN  
 SCALE 1/8" = 1'-0"  
 1222 RUTHLAND ST  
 (R.O.W. 60')



- GENERAL NOTES:**
1. ALL ROOF PENETRATIONS (I.E. PLUMBING AND GAS VENTS, ETC.) ARE TO BE RESTRICTED TO THE REAR ROOF AREA ONLY, UNDER NO CIRCUMSTANCES SHALL THERE BE ROOF PENETRATIONS AT THE ROOF FACING THE STREET.
  2. ALL SITE WORK INCLUDING LOCATION OF TRASH DUMPSTER, TEMPORARY TOILET FACILITIES, TEMPORARY CONSTRUCTION FENCING, CLEARING PROCEDURES, GRADING AND DRAINAGE, ETC., SHALL BE IN ACCORDANCE WITH CITY OF HOUSTON REQUIREMENT/GUIDELINES.
  3. CONTRACTOR SHALL PROVIDE AND BE RESPONSIBLE FOR TEMPORARY UTILITIES TO THE CONSTRUCTION SITE.
  4. ENTIRE PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH 2006 I.R.C. AND THE 2006 NEC.
  5. ALL DRAINAGE AND RUNOFF SHALL BE COLLECTED ON SITE OR DIRECTED ON SURFACE TO STREET. DRAINAGE AND RUNOFF IS NOT ALLOWED TO BE DIRECTED ON THE ADJACENT PROPERTIES.
- NOTES:**
- 100.00 MANHOLE ELEVATION IS A REFERENCE POINT.  
 WILL BE 12' ABOVE THE CROWN OF THE STREET.

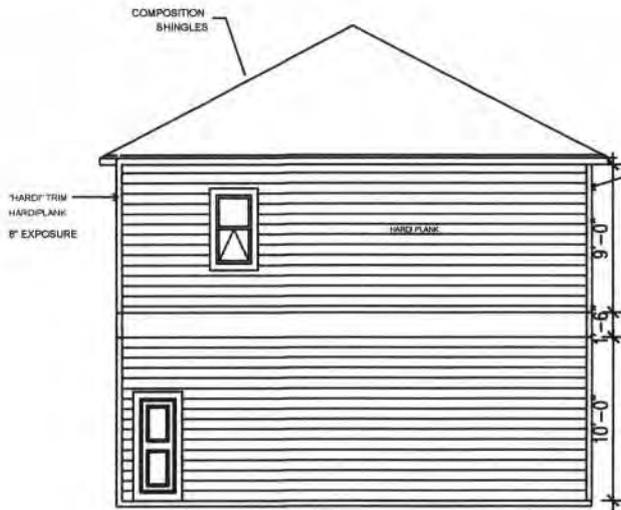


**1222 RUTHLAND ST**  
**UNIT B**  
 Houston, TX 77008  
 CONSTRUCTED BY  
**JOE'S CUSTOM HOMES**

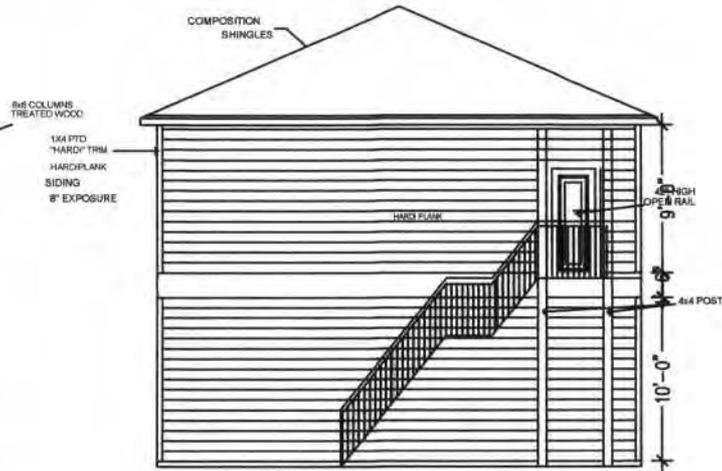
SITE PLAN

A1





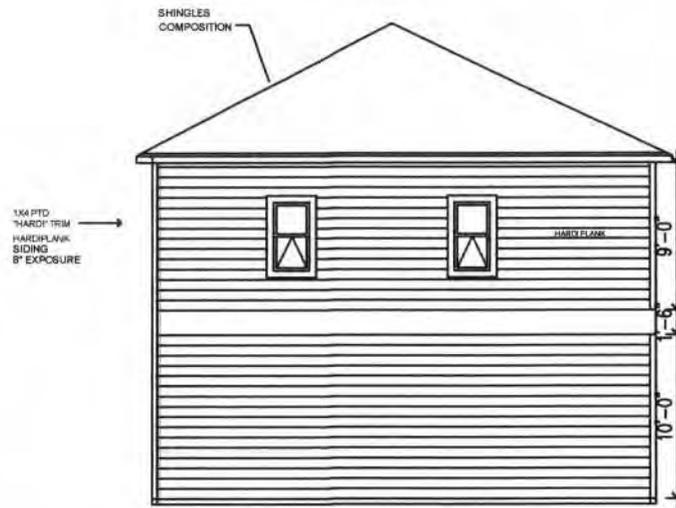
BACK ELEVATION  
SCALE 1/4" = 1'-0"



RIGHT ELEVATION  
SCALE 1/4" = 1'-0"



FRONT ELEVATION  
SCALE 1/4" = 1'-0"



LEFT ELEVATION  
SCALE 1/4" = 1'-0"

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JOE'S CUSTOM HOMES  
TEL: 281-932-2105  
FAX: 281-415-4838

ELEVATIONS

SQUARE FOOTAGE:

SECOND FLOOR 900 Sq.Ft.  
TOTAL LIVING 900 Sq.Ft.  
GARAGE 900 Sq.Ft.

TOTAL AREA 1800 Sq.Ft.

BY DATE REV.

02-23-2015

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