

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



PLANNING &
DEVELOPMENT
DEPARTMENT

PROPERTY

Address 1435 TULANE ST, HOUSTON, TX 77008
Historic District / Landmark HOUSTON HEIGHTS WEST HISTORIC DISTRICT HCAD # 0201480000006
Subdivision HOUSTON HEIGHTS Lot 6&7 Block 152

DESIGNATION TYPE

- Landmark
 Protected Landmark
 Archaeological Site
 Contributing
 Noncontributing
 Vacant

PROPOSED ACTION

- Alteration or Addition
 Restoration
 New Construction
 Relocation
 Demolition
 Excavation

DOCUMENTS

- Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name ANNA LENA VOGEL-THUREN
Company _____
Mailing Address 1435 TULANE ST.
HOUSTON, TX 77008
Phone 832.421.4833
Email _____
Signature Anna Lena Vogel-Thuren
Date 02/27/2015

APPLICANT (if other than owner)

Name ANACELL ALDAZ - GRANELL
Company AAS CREATIVE DESIGN
Mailing Address P.O. BOX 980093
HOUSTON, TX 77098
Phone 832.671.6770
Email _____
Signature Anacell Aldaz
Date 03/02/2015

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____ Application received: ___/___/___ Application complete: ___/___/___

SITE PLAN KEY NOTES:

- | | | | |
|--|---|---|---------------|
| 1 EXISTING CONCRETE DRIVEWAY TO REMAIN | 7 GRAVEL TO REMAIN | 13 NEW CONCRETE PLANT BOX | 19 NEW GRAVEL |
| 2 IRON GATE TO REMAIN | 8 EXISTING BRICK PERVIOUS PAVER TO REMAIN | 14 NEW WOOD DECK | |
| 3 EXISTING FENCE TO BE REPLACE BY OWNER | 9 A/C UNIT | 15 NEW DECKING STAIRS | |
| 4 EXISTING PARKING TO REMAIN | 10 POOL EQUIP PADS | 16 NEW 8" BRICK WALL FENCE | |
| 5 EXISTING GATE TO REMAIN | 11 EXISTING CONCRTE SLAB TO REMAIN | 17 NEW 8" BRICK WALL 48" HIGH | |
| 6 GRID WITH GRAVEL AND CONCRETE FLATWORK TO REMAIN | 12 NEW CONCRETE SLAB | 18 EXISTING LANDSCAPING TO REMAIN AND PROTECT | |

CALCULATION ON IMPERVIOUS AREA PERCENTAGE:

IMPERVIOUS AREA	SQUARE FEET
1. EXISTING BUILDINGS	2,949
2. SIDEWALK/FRONTWALK/PATIO	1,090
3. DRIVEWAY	451
4. SWIMMING POOL/DECK	1,560
5. A/C AND POOL EQUIP PADS	48
6. NEW CONCRETE ADDITIONS	215
7. NEW WOOD DECK	394
8. NEW BRICK WALL	40
A. TOTAL IMPERVIOUS AREA:	6,747
B. AREA OF LOT:	9,240
C. PERCENTAGE OF IMPERVIOUS AREA (A/B) X 100	73.01 %



AAG Creative Design
 P.O.Box 980093, Houston, TX 77098
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VOGEL TERRACE
 1435 Tulane Street
 Houston, TX 77008

DRAWING LIST:

ARCHITECTURAL

- A1-01 PROPOSED SITE PLAN
- A1-02 FIRST FLOOR
- A1-03 FIRST FLOOR ROOF LAYOUT
- A2-01 ELEVATIONS
- A2-02 ELEVATIONS
- A3-01 SECTIONS
- A4-01 DETAIL PLAN AND ELEVATIONS
- RA1-01 CURRENT SITE PLAN
- RA2-01 CURRENT ELEVATIONS

STRUCTURAL

- S1.0 FOUNDATION PLAN
- S2.0 DECK FRAMING PLAN
- S3.0 FRAMING PLAN

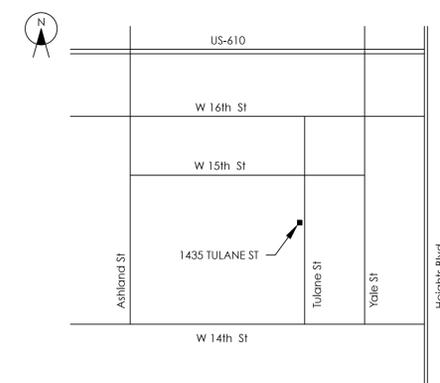
PROJECT DESCRIPTION:

THIS PROJECT CONSISTS OF THE ADDITION OF A NEW WOOD DECK AND THE EXTENSION OF THE EXISTING CONCRETE SLAB/TERRACE NEXT TO THE SOUTH FENCE. A NEW BRICK WALL 7FT HIGH REPLACING PART OF THE SOUTH FENCE AND A TRELIS ON TOP OF THIS WALL. A NEW METALIC PATIO ROOF PROVIDING A WATERPROOF COVER TO THE EXISTING CONCRETE SLAB AND EXISTING BASEMENT STAIRS.

LEGAL DESCRIPTION:

LTS 6 & 7 BLK 152
 SUBDIVISION: HOUSTON HEIGHTS
 PROPERTY ADDRESS: 1435 TULANE ST
 HOUSTON TX 77008

LOCATION MAP:



ISSUE/REVISION

DATE	DESCRIPTION
02.03.15	Preliminary Pricing
02.10.15	Review with client
02.10.15	Review with Eng.
03.04.15	Permit Set

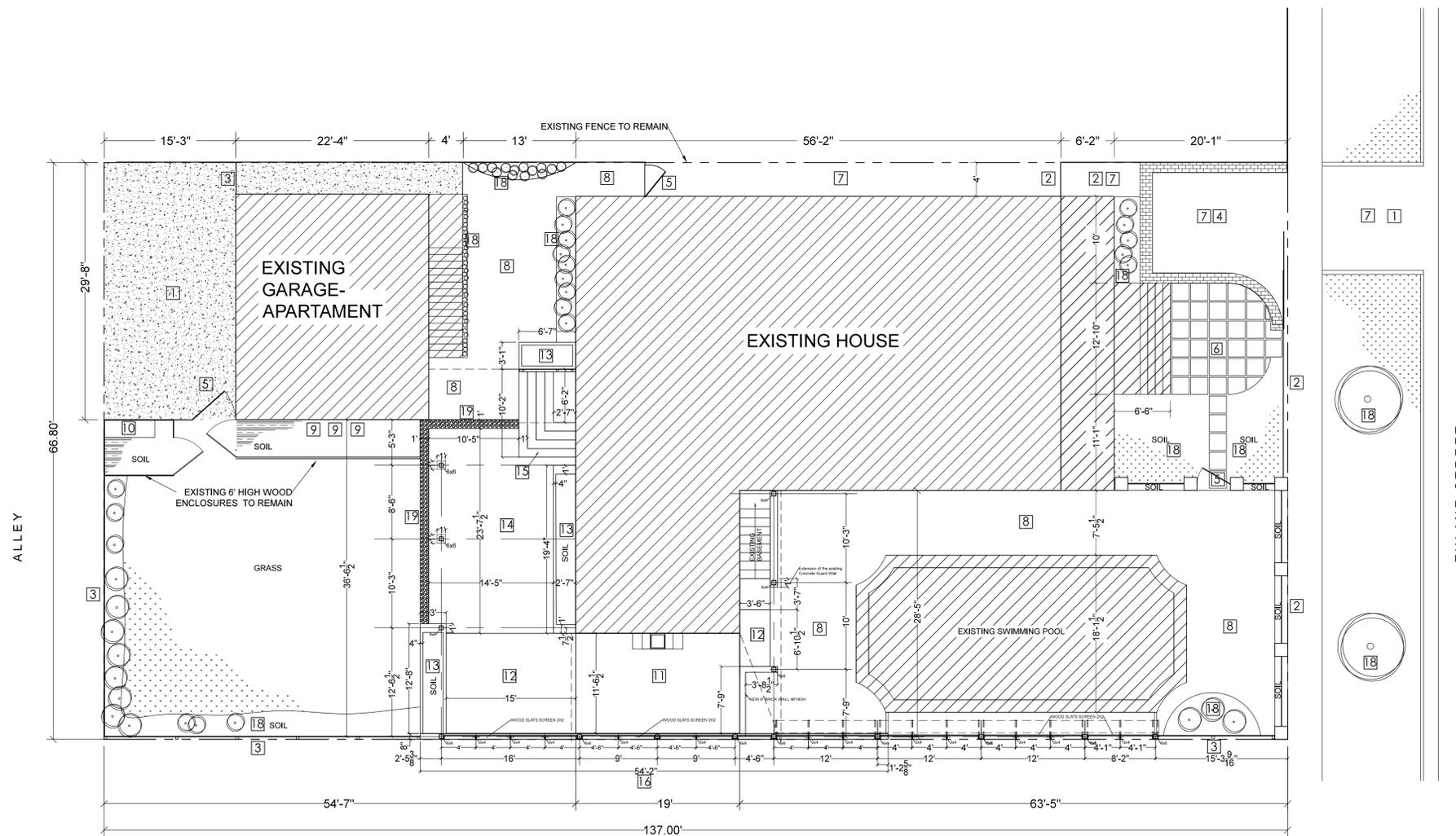
SHEET TITLE

**PROPOSED
 PLAN SITE**

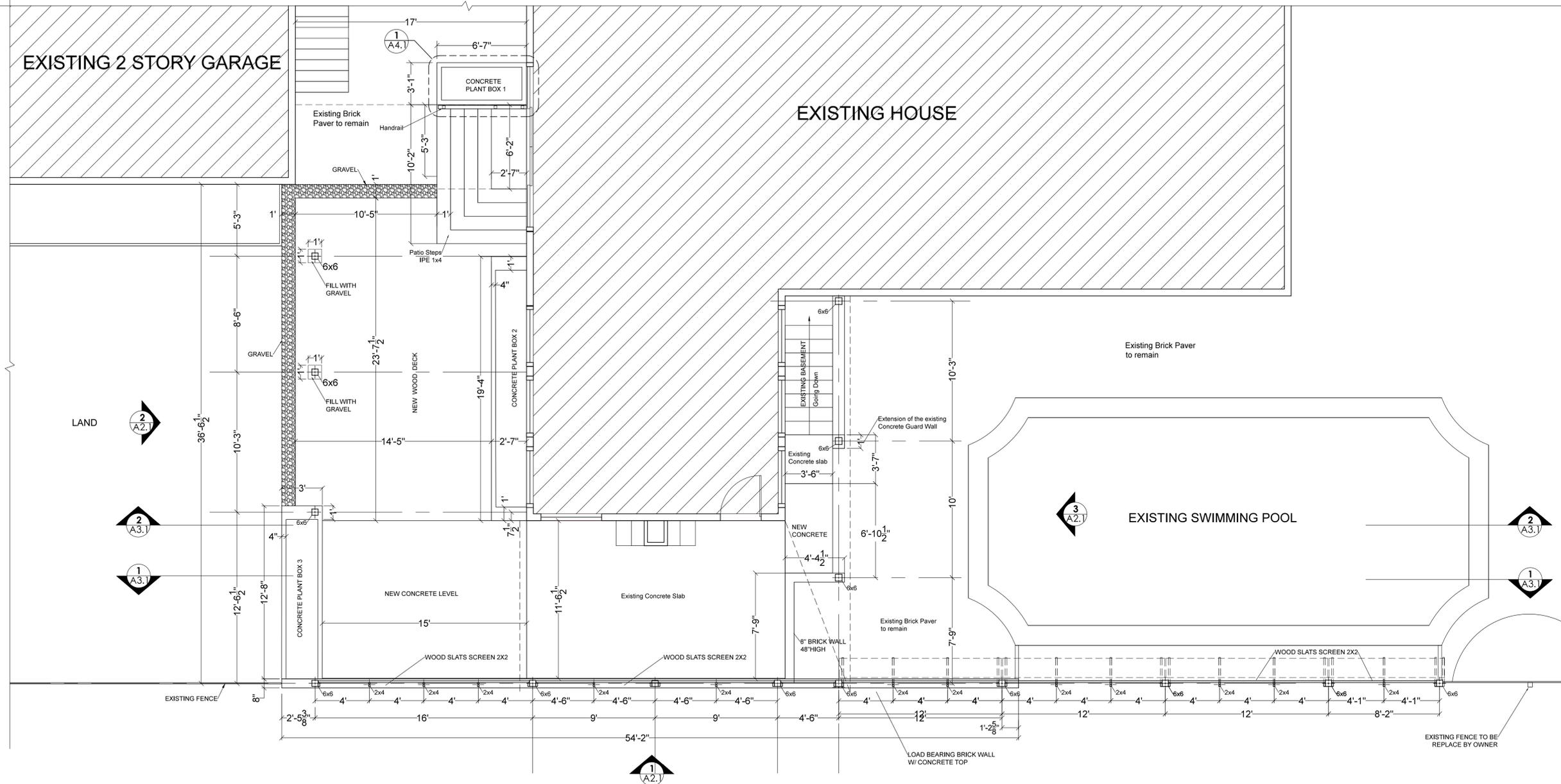


SHEET #

A1 | 01



PROPOSED SITE PLAN
 1/8" = 1'-0"



FIRST FLOOR
 1/4" = 1'-0"

GENERAL NOTES:

STAIRS AND DECK:

1. Stairs shall be Pre-Groove IPE 1x4.
2. Deck shall be IPE Tile decking 20x20.
3. Deck shall be at the same level as the Existing Brick Paver Patio.
4. Stair landing shall meet deck and existing brick patio at the same level.
5. The Deck Ipe Tiles shall be attached to the frame with hidden fasteners.
6. The stairs and deck shall have a proper drainage.

COLUMNS AND BEAMS:

1. The columns shall be pre-treated pine wood.
2. The columns shall be treated and painted matching the rest of the existing house posts.
3. The beams shall be Cedar 6x8.
4. The connections shall be with steel bolts and brackets. RE: Eng.
5. The beams shall be stained matching the color of the patio stairs and deck.

BRICK WALL:

1. The brick wall shall have a concrete footing. RE:Eng.
2. The wall shall match the existing brick of the patio.
3. The top shall be concrete.
4. The concrete shall be poured in place after the brick wall is finished.

HANDRAIL:

1. The Handrail Posts shall be made of steel pipe.
2. The Top Rail shall be made of cedar wood.
3. The Handrail shall be attached only drilling through the wooden steps.

TRELLIS:

1. The trellis shall be Cedar 2x2
2. The wood shall be stained matching the deck color.

CANOPY:

1. The Canopy shall be a custom made product.
2. The Canopy shall be fabricated after the structure it's verify in field.
3. The installation shall follow the manufacture instructions.

PLANT BOX:

1. The Plant Box shall be concrete.
2. The Plant Box shall be sitecast concrete framing.

ISSUE/REVISION

02.03.15	Preliminary Pricing
02.10.15	Review with client
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03.04.15	Permit Set

SHEET TITLE

FIRST FLOOR



SHEET #

A1 | 02

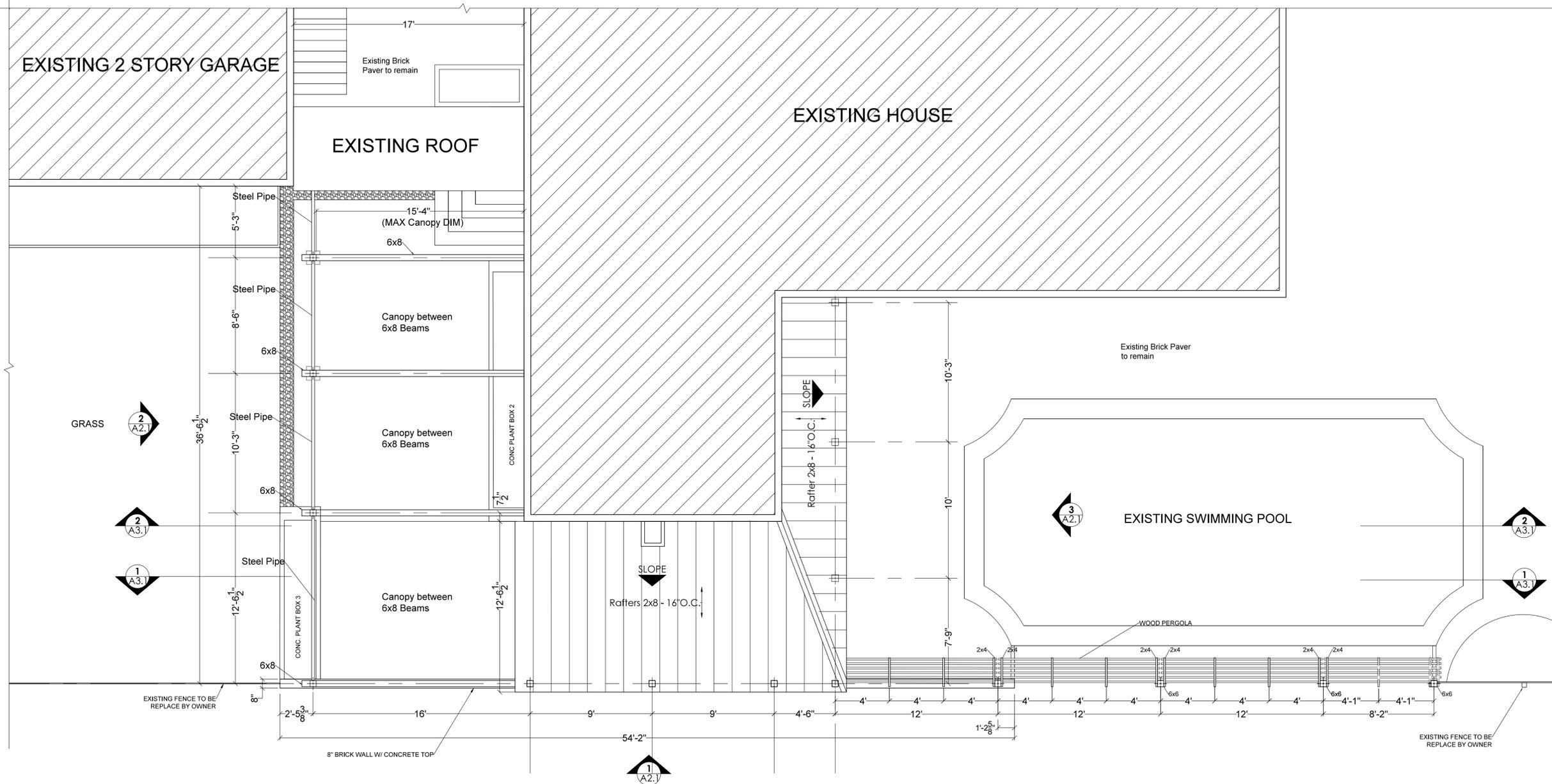
ISSUE/REVISION	
02.03.15	Preliminary Pricing
02.10.15	Review with client
02.10.15	Review with Eng.
03.04.15	Permit Set

SHEET TITLE
**FIRST FLOOR
ROOF LAYOUT**



SHEET #

A1 | 03



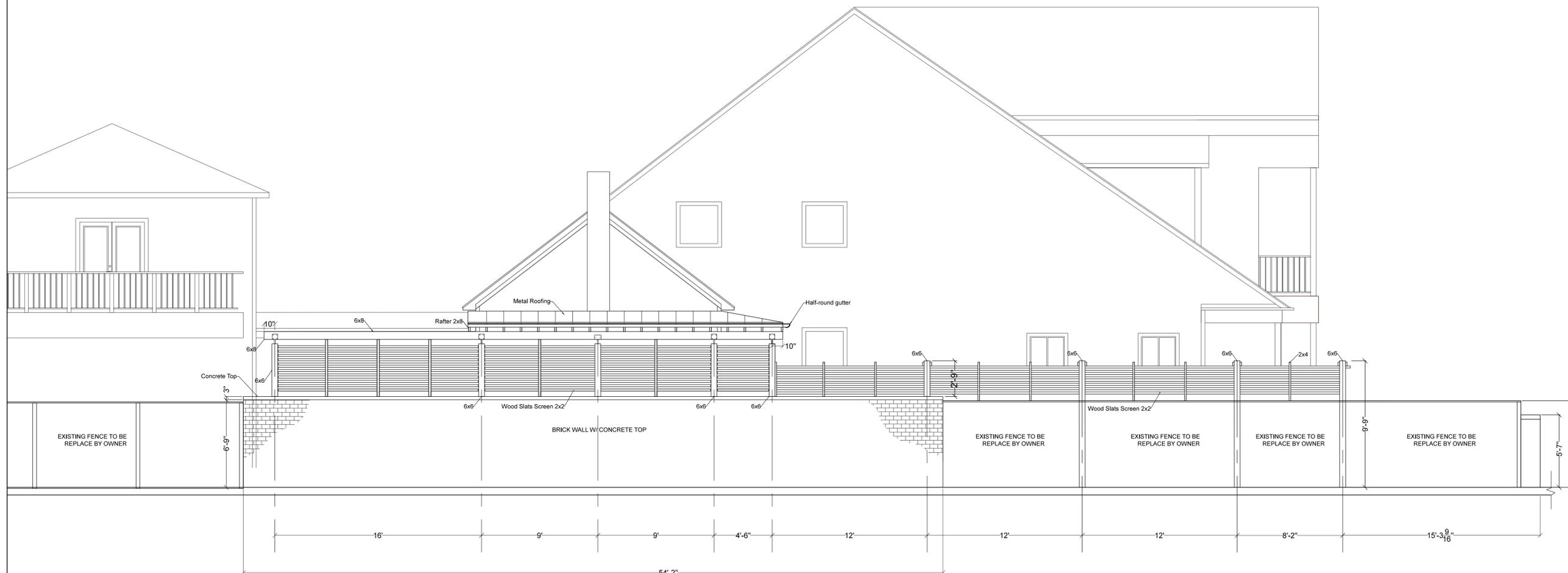
1 ROOF LAYOUT
1/4" = 1'-0"

GENERAL NOTES:

- STAIRS AND DECK:**
1. Stairs shall be Pre-Grove IPE 1x4.
 2. Deck shall be IPE Tile decking 20x20.
 3. Deck shall be at the same level as the Existing Brick Paver Patio.
 4. Stair landing shall meet deck and existing brick patio at the same level.
 5. The Deck Ipe Tiles shall be attached to the frame with hidden fasteners.
 6. The stairs and deck shall have a proper drainage.
- COLUMNS AND BEAMS:**
1. The columns shall be pre-treated pine wood.
 2. The columns shall be treated and painted matching the rest of the existing house posts.
 3. The beams shall be Cedar 6x8.
 4. The connections shall be with steel bolts and brackets. RE: Eng.
 5. The beams shall be stained matching the color of the patio stairs and deck.
- BRICK WALL:**
1. The brick wall shall have a concrete footing. RE:Eng.
 2. The wall shall match the existing brick of the patio.
 3. The top shall be concrete.
 4. The concrete shall be poured in place after the brick wall is finished.
- HANDRAIL:**
1. The Handrail Posts shall be made of steel pipe.
 2. The Top Rail shall be made of cedar wood.
 3. The Handrail shall be attached only drilling through the wooden steps.
- TRELLIS:**
1. The trellis shall be Cedar 2x2
 2. The wood shall be stained matching the deck color.

- CANOPY:**
1. The Canopy shall be a custom made product.
 2. The Canopy shall be fabricated after the structure it's verify in field.
 3. The installation shall follow the manufacture instructions.
- PLANT BOX:**
1. The Plant Box shall be concrete.
 2. The Plant Box shall be sitecast concrete framing.

VOGEL TERRACE
1435 Tulane Street
Houston, TX 77008



1 SOUTH ELEVATION
1/4" = 1'-0"

GENERAL NOTES:

STAIRS AND DECK:

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2. Deck shall be IPE Tile decking 20x20.
3. Deck shall be at the same level as the Existing Brick Paver Patio.
4. Stair landing shall meet deck and existing brick patio at the same level.
5. The Deck Ipe Tiles shall be attached to the frame with hidden fasteners.
6. The stairs and deck shall have a proper drainage.

COLUMNS AND BEAMS:

1. The columns shall be pre-treated pine wood.
2. The columns shall be treated and painted matching the rest of the existing house posts.
3. The beams shall be Cedar 6x8.
4. The connections shall be with steel bolts and brackets. RE: Eng.
5. The beams shall be stained matching the color of the patio stairs and deck.

BRICK WALL:

1. The brick wall shall have a concrete footing. RE:Eng.
2. The wall shall match the existing brick of the patio.
3. The top shall be concrete.
4. The concrete shall be poured in place after the brick wall is finished.

HANDRAIL:

1. The Handrail Posts shall be made of steel pipe.
2. The Top Rail shall be made of cedar wood.
3. The Handrail shall be attached only drilling through the wooden steps.

TRELLIS:

1. The trellis shall be Cedar 2x2
2. The wood shall be stained matching the deck color.

CANOPY:

1. The Canopy shall be a custom made product.
2. The Canopy shall be fabricated after the structure it's verify in field.
3. The installation shall follow the manufacture instructions.

PLANT BOX:

1. The Plant Box shall be concrete.
2. The Plant Box shall be sitecast concrete framing.

ISSUE/REVISION

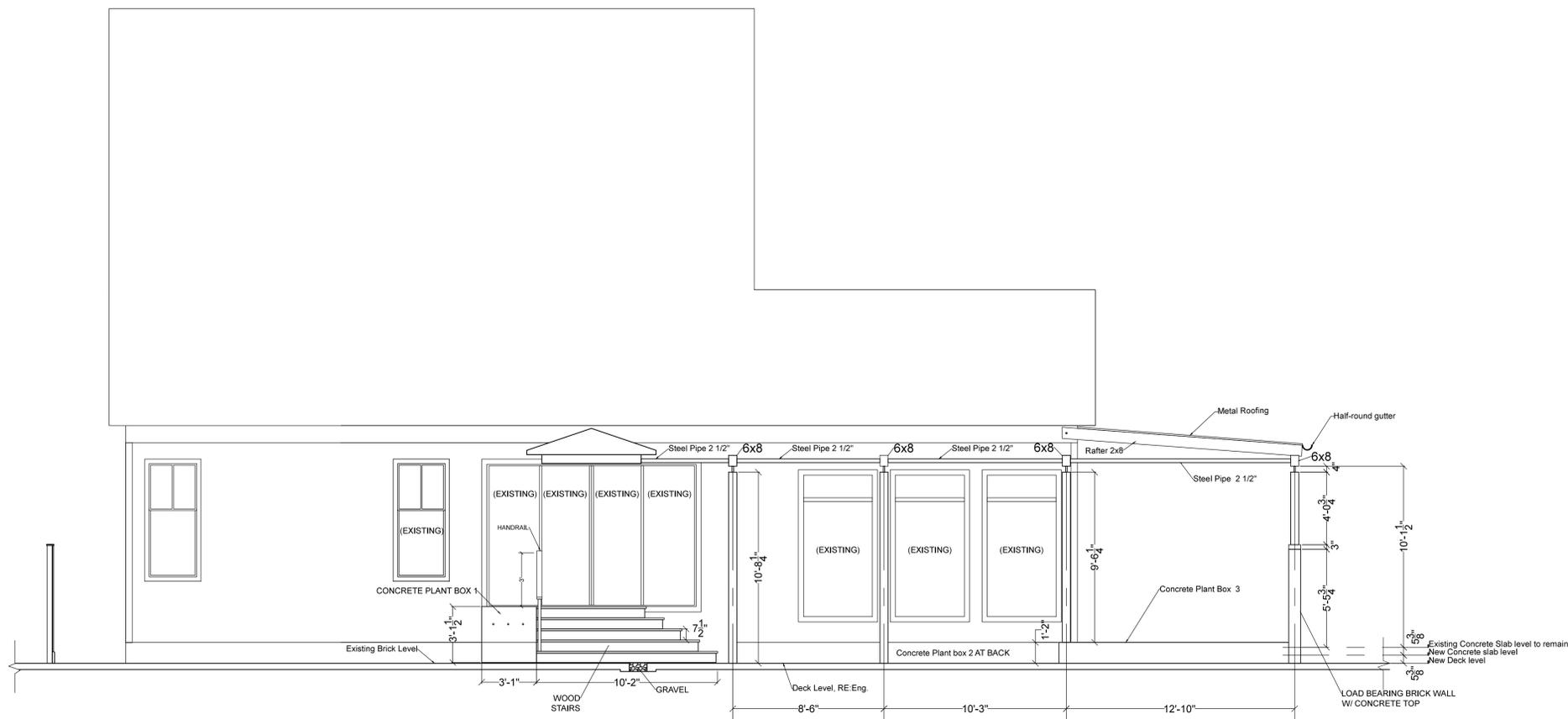
02.03.15	Preliminary Pricing
02.10.15	Review with client
02.10.15	Review with Eng.
03.04.15	Permit Set

SHEET TITLE

PROPOSED ELEVATIONS

SHEET #

A2 | 01



2 WEST ELEVATION
 1/4" = 1'-0"

GENERAL NOTES:

STAIRS AND DECK:

1. Stairs shall be Pre-Grove IPE 1x4.
2. Deck shall be IPE Tile decking 20x20.
3. Deck shall be at the same level as the Existing Brick Paver Patio.
4. Stair landing shall meet deck and existing brick patio at the same level.
5. The Deck Ipe Tiles shall be attached to the frame with hidden fasteners.
6. The stairs and deck shall have a proper drainage.

COLUMNS AND BEAMS:

1. The columns shall be pre-treated pine wood.
2. The columns shall be treated and painted matching the rest of the existing house posts.
3. The beams shall be Cedar 6x8.
4. The connections shall be with steel bolts and brackets. RE: Eng.
5. The beams shall be stained matching the color of the patio stairs and deck.

CANOPY:

1. The Canopy shall be a custom made product.
2. The Canopy shall be fabricated after the structure it's verify in field.
3. The installation shall follow the manufacture instructions.

PLANT BOX:

1. The Plant Box shall be concrete.
2. The Plant Box shall be sitecast concrete framing.

BRICK WALL:

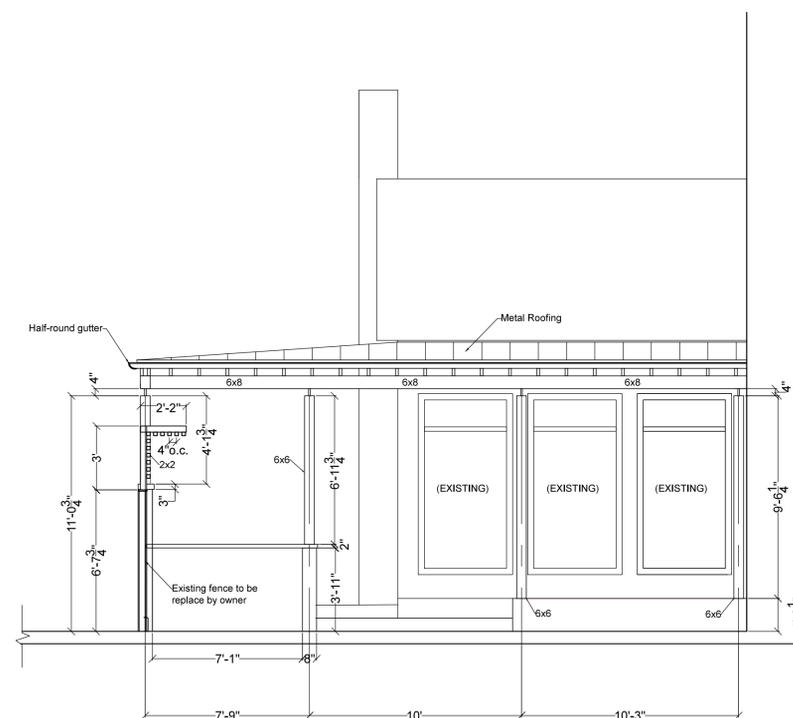
1. The brick wall shall have a concrete footing. RE:Eng.
2. The wall shall be matched the existing brick of the patio.
3. The top shall be concrete.
4. The concrete shall be poured in place after the brick wall is finished.

HANDRAIL:

1. The Handrail Posts shall be made of steel pipe.
2. The Top Rail shall be made of cedar wood.
3. The Handrail shall be attached only drilling through the wooden steps.

TRELLIS:

1. The trellis shall be Cedar 2x2
2. The wood shall be stained matching the deck color.



3 EAST ELEVATION
 1/4" = 1'-0"

ISSUE/REVISION

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02.10.15	Review with client
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03.04.15	Permit Set

SHEET TITLE

PROPOSED ELEVATIONS

SHEET #

A2 | 02

ISSUE/REVISION

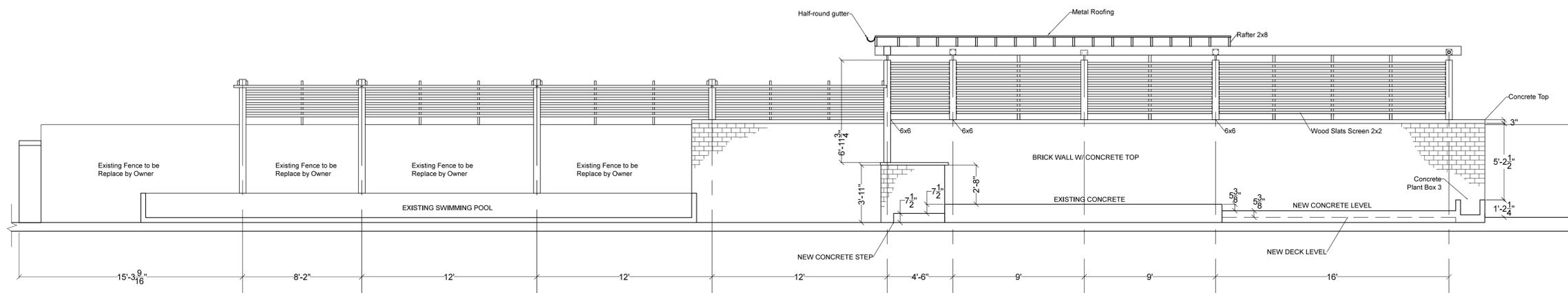
02.03.15	Preliminary Pricing
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SHEET TITLE

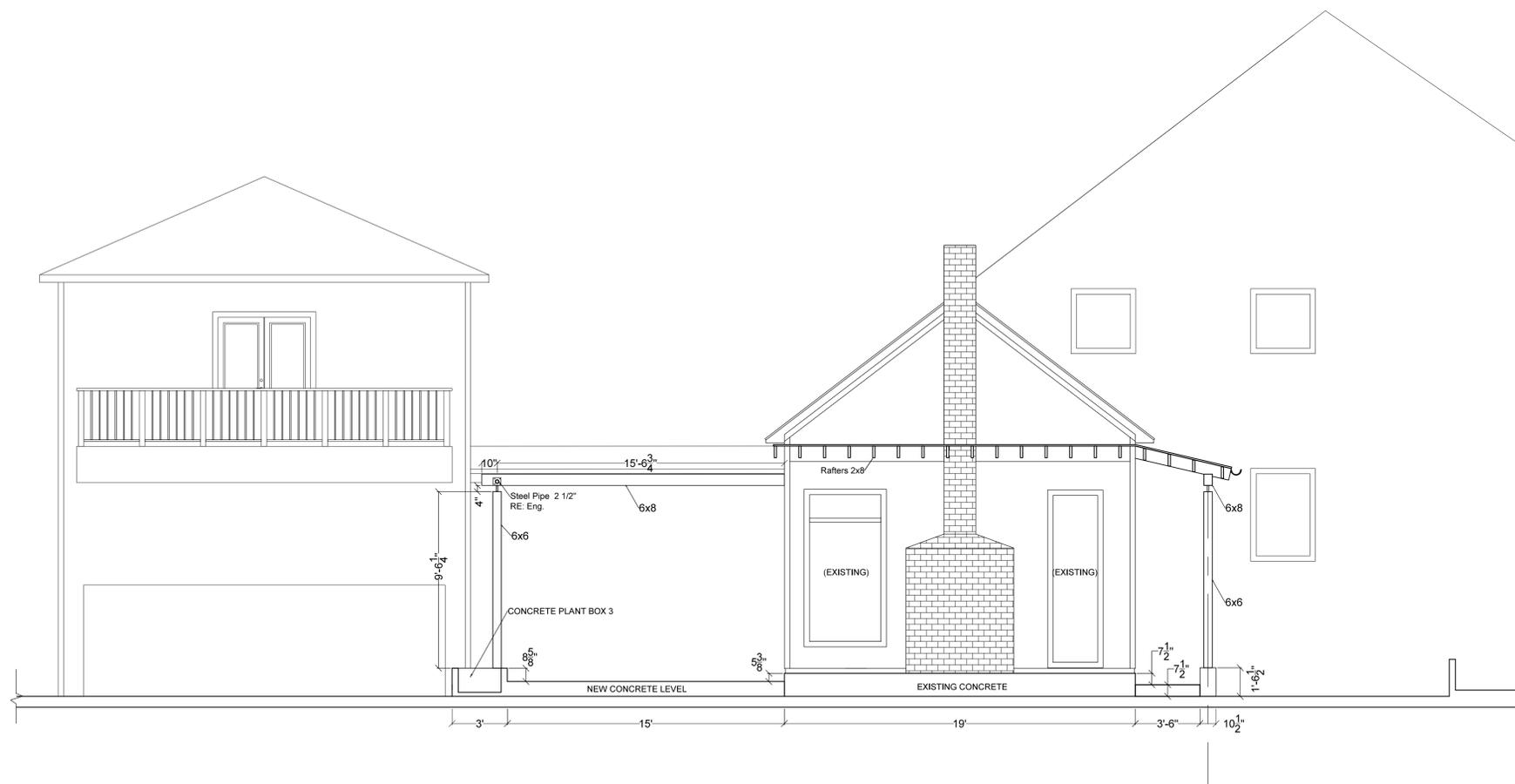
PROPOSED SECTIONS

SHEET #

A3 | 01



1 SECTION EAST-WEST
1/4" = 1'-0"



2 SECTION WEST-EAST
1/4" = 1'-0"

GENERAL NOTES:

STAIRS AND DECK:

1. Stairs shall be Pre-Grove IPE 1x4.
2. Deck shall be Pre-Grove IPE Tile decking 20x20.
3. The Deck Tile shall be attached to the frame with hidden fasteners.
4. The stairs and deck shall have a proper drainage.

COLUMNS AND BEAMS:

1. The columns shall be pre-treated pine wood.
2. The columns shall be treated and painted matching the rest of the existing house posts.
3. The beams shall be Cedar 6x8.
4. The connections shall be with steel bolts and brackets. RE: Eng.
5. The beams shall be stained matching the color of the patio stairs and deck.

BRICK WALL:

1. The brick wall shall have a concrete footing. RE:Eng.
2. The brick wall shall matched the existing brick of the patio
3. The top shall be concrete. RE:Eng.
4. The concrete shall be poured in place after the brick wall is finished.

HANDRAIL:

1. The Handrail Posts shall be made of steel pipe.
2. The Top Rail shall be made of cedar wood.
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PLANT BOX:

1. The Plant Box shall be concrete.
2. The Plant Box shall be sitecast concrete framing.

TRELLIS:

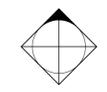
1. The trellis shall be Cedar 2x2
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CANOPY:

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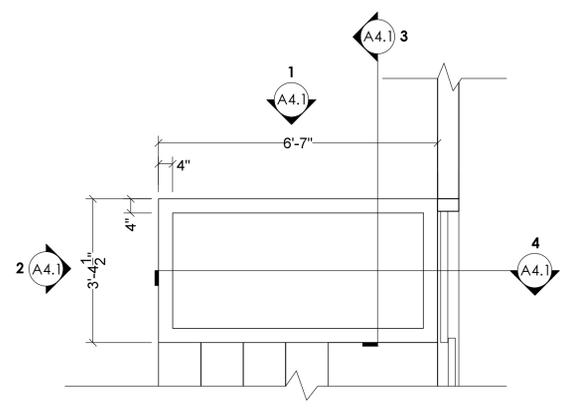
ISSUE/REVISION	
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SHEET TITLE
DETAIL PLAN AND ELEVATIONS

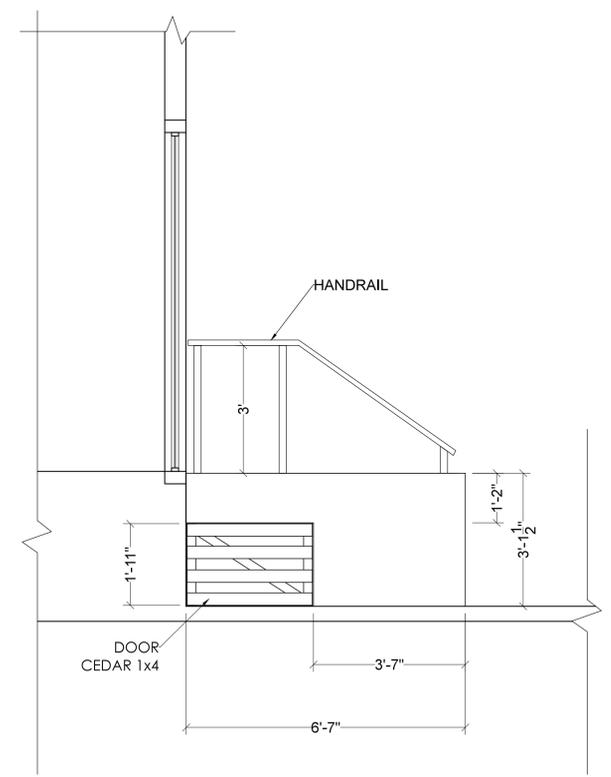


SHEET #

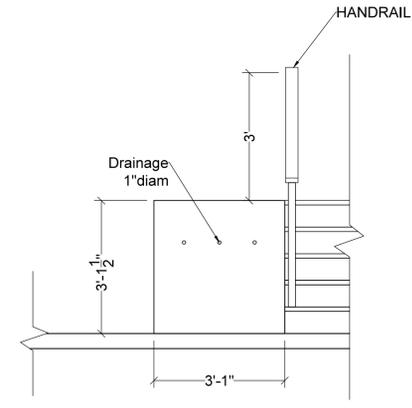
A4 | 01



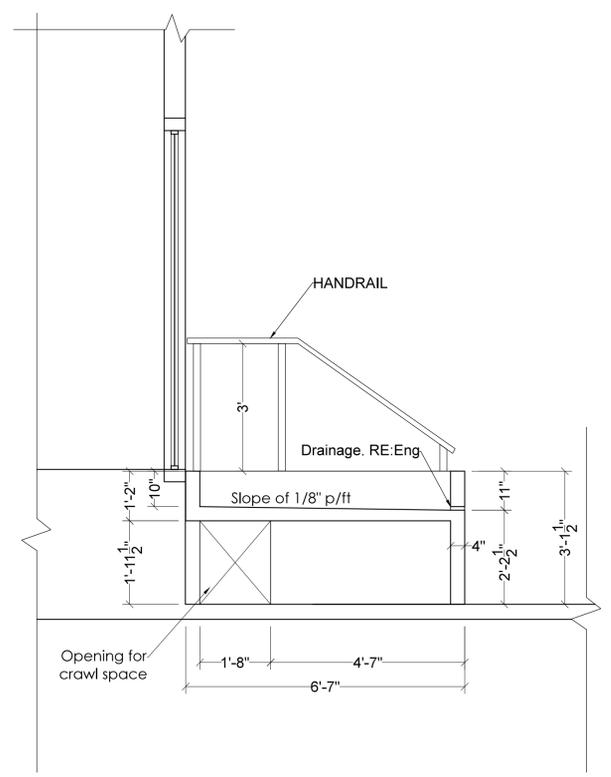
1 DETAIL CONCRETE PLANT BOX 1
1/2" = 1'-0"



1



2



4

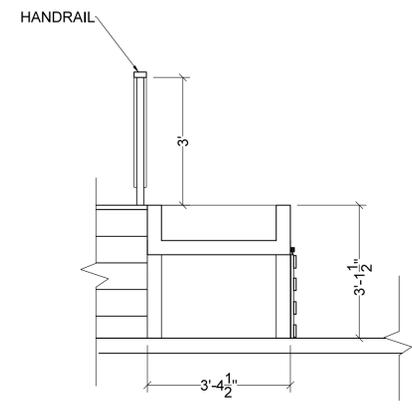
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 5. The Deck Ipe Tiles shall be attached to the frame with hidden fasteners.
 6. The stairs and deck shall have a proper drainage.

- ACCESS DOOR:**
1. The door shall access the crawl space under the deck.
 2. The door shall be Cedar 1x4 horizontal slats and be spaced 6-1/2' o.c.
 3. A metal mesh shall be attached between the slats and the door frame.
 4. The access shall be a sliding door.

- PLANT BOX:**
1. The Plant Box shall be concrete.
 2. The Plant Box shall be sitecast concrete framing.
 3. The Plant Box interior surface shall have a slope of 1/8" per foot.
 4. The concrete wall at the end of the slope shall have at least 2 perforations of 1" DIA min

- HANDRAIL:**
1. The Handrail Posts shall be made of steel pipe.
 2. The Top Rail shall be made of cedar wood.
 3. The Handrail shall be attached only drilling through the wooden steps.



3

SITE PLAN KEY NOTES:

- | | |
|--|---------------------------------|
| 1 EXISTING CONCRETE DRIVEWAY | 7 GRAVEL |
| 2 IRON FENCE | 8 EXISTING BRICK PERVIOUS PAVER |
| 3 EXISTING FENCE | 9 A/C UNIT |
| 4 PARKING | 10 POOL EQUIP PADS |
| 5 EXISTING GATE | 11 EXISTING CONCRETE SLAB |
| 6 GRID WITH GRAVEL AND CONCRETE FLATWORK | |

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5. A/C AND POOL EQUIP PADS	48
6. OTHERS	
A. TOTAL IMPERVIOUS AREA:	6,108
B. AREA OF LOT:	9,240
C. PERCENTAGE OF IMPERVIOUS AREA [A/B] X 100	66.10 %

DRAWING LIST:

ARCHITECTURAL

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- A1-02 FIRST FLOOR
- A1-03 FIRST FLOOR ROOF LAYOUT
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- S2.0 DECK FRAMING PLAN
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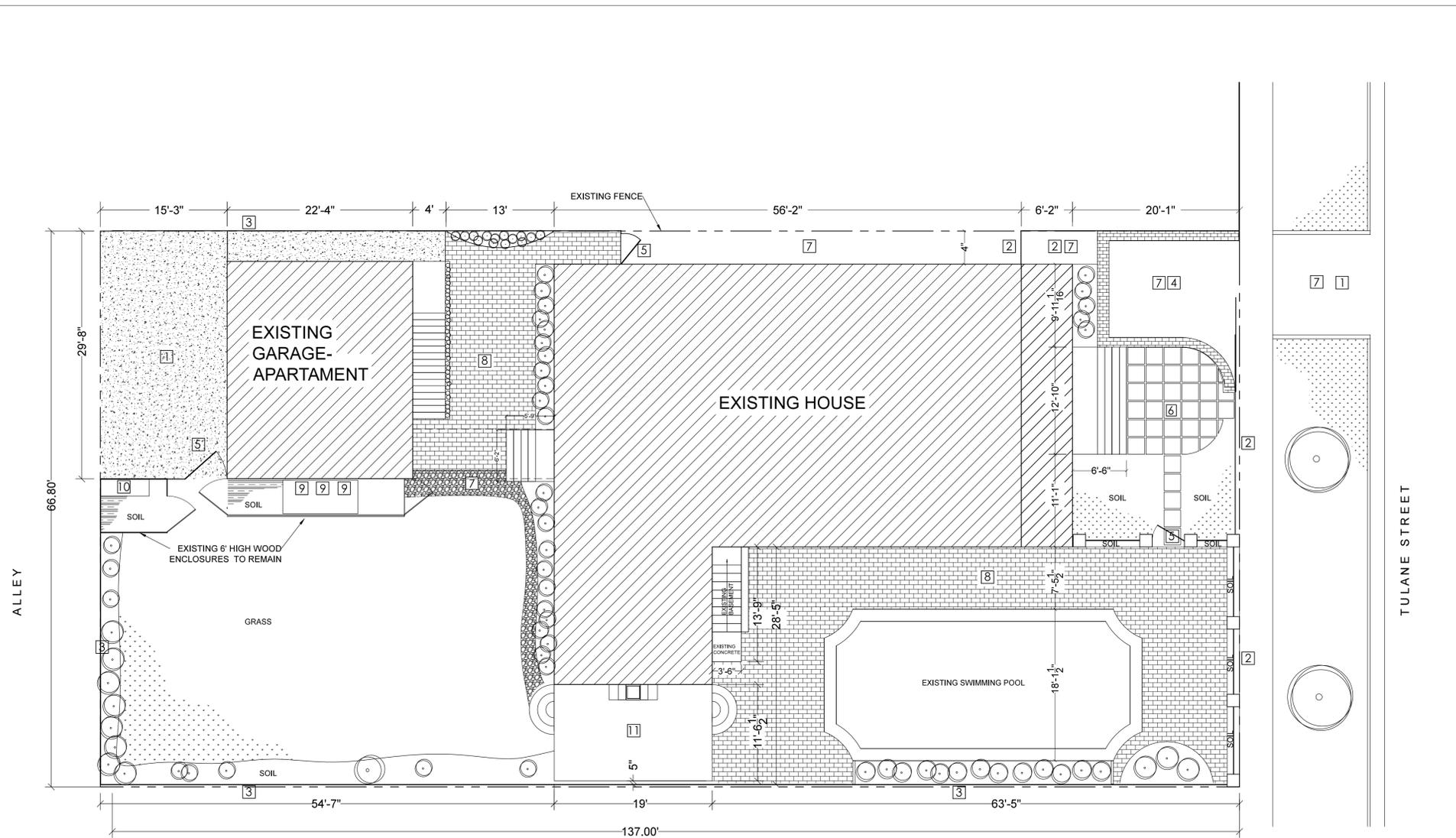
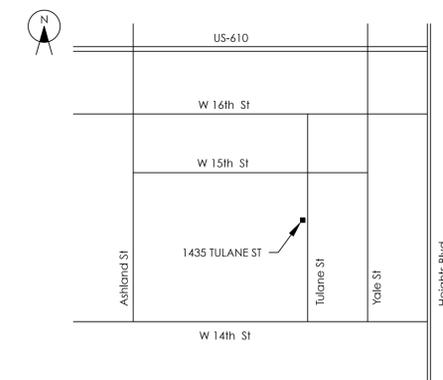
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LEGAL DESCRIPTION:

LTS 6 & 7 BLK 152
 SUBDIVISION: HOUSTON HEIGHTS
 PROPERTY ADDRESS: 1435 TULANE ST
 HOUSTON TX 77008

LOCATION MAP:



1 CURRENT SITE PLAN
 1/8" = 1'-0"



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 PH 832-671-6770

VOGEL TERRACE
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 Houston, TX 77008

ISSUE/REVISION

DATE	DESCRIPTION
02.03.15	Preliminary Pricing
02.10.15	Review with client
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03.04.15	Permit Set

SHEET TITLE

**CURRENT
 PLAN SITE**



SHEET #

RA1 | 01

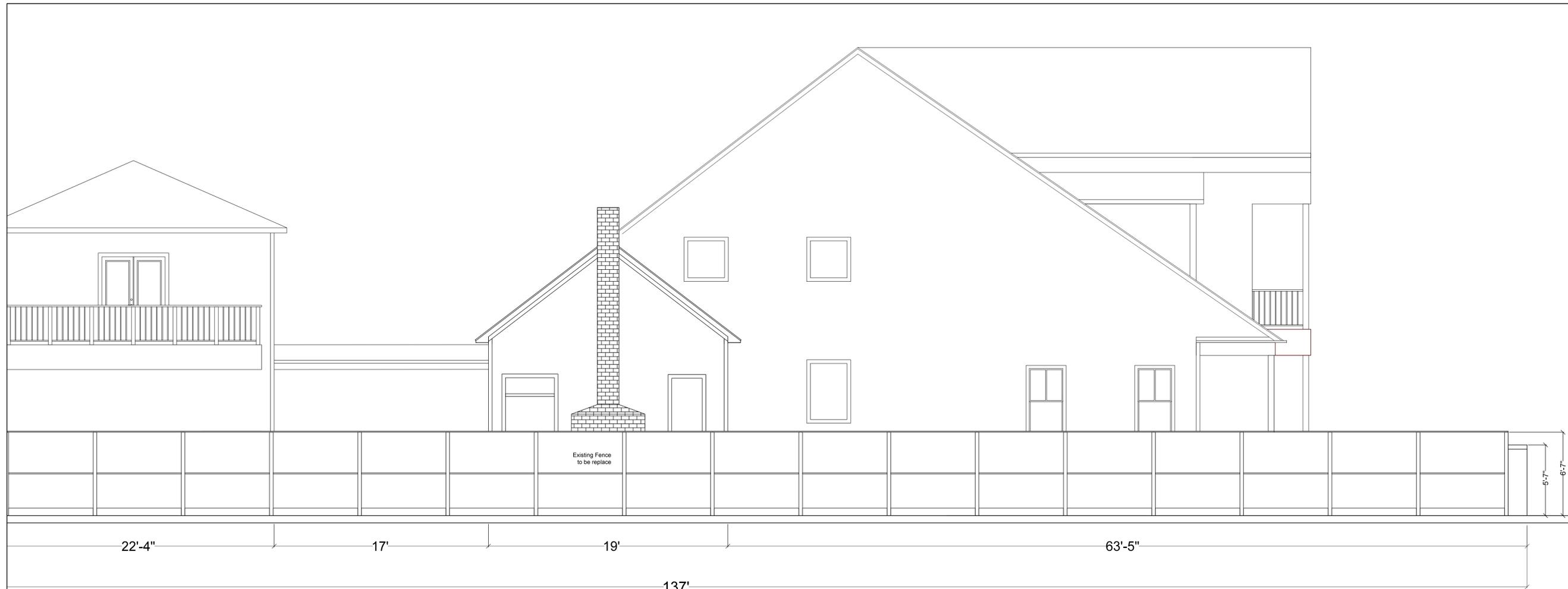


CREATIVE DESIGN

AAG Creative Design

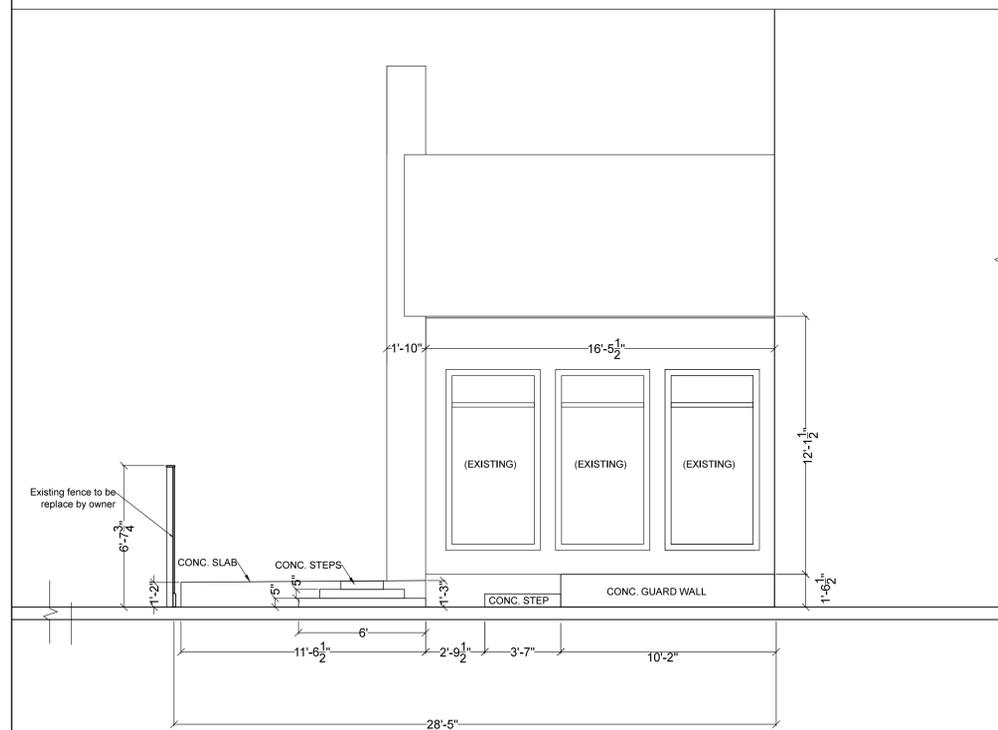
P.O.Box 980093, Houston, TX 77098
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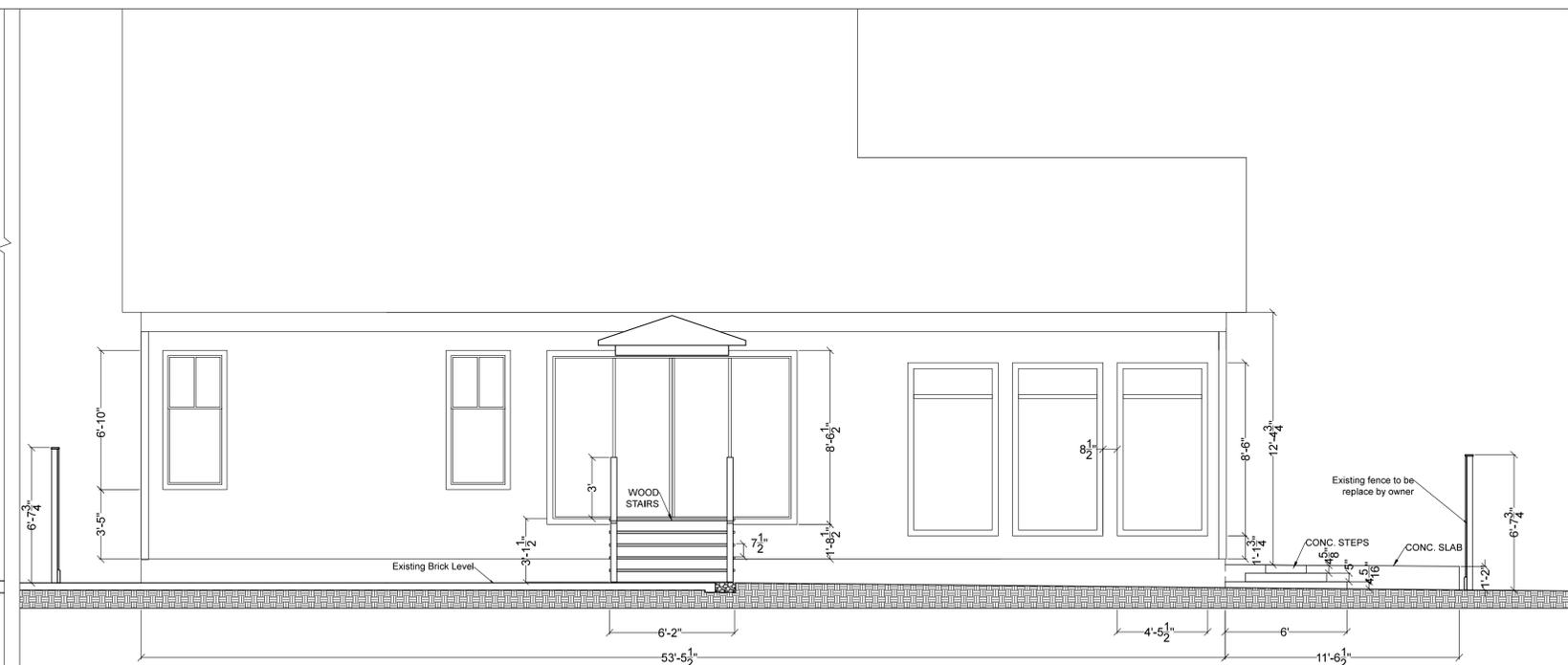
1 CURRENT SOUTH ELEVATION

1/4" = 1'-0"



3 CURRENT BACK EAST ELEVATION

1/4" = 1'-0"



2 CURRENT WEST ELEVATION

1/4" = 1'-0"

ISSUE/REVISION

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SHEET TITLE

CURRENT ELEVATIONS

SHEET #

RA201