

# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



PLANNING &  
DEVELOPMENT  
DEPARTMENT

## PROPERTY

Address 321 HEIGHTS BLVD. , HOUSTON, TX 77007

Historic District / Landmark HOUSTON HEIGHTS SOUTH HISTORIC DISTRICT HCAD # 0210450000004

Subdivision HOUSTON HEIGHTS

Lot 4&5

Block 313

## DESIGNATION TYPE

- Landmark  Contributing  
 Protected Landmark  Noncontributing  
 Archaeological Site  Vacant

## PROPOSED ACTION

- Alteration or Addition  Relocation  
 Restoration  Demolition  
 New Construction  Excavation

## DOCUMENTS

- Application checklist for each proposed action and all applicable documentation listed within are attached

## OWNER

Name David Salazar  
Company Houston Heights Holdings  
Mailing Address 321 Heights Boulevard  
Houston, Tx 77007  
Phone 281-857-6770  
Email [REDACTED]  
Signature [Signature]  
Date 4/29/2015

## APPLICANT (if other than owner)

Name \_\_\_\_\_  
Company \_\_\_\_\_  
Mailing Address \_\_\_\_\_  
Phone \_\_\_\_\_  
Email [REDACTED]  
Signature \_\_\_\_\_  
Date \_\_\_\_\_

## ACKNOWLEDGEMENT OF RESPONSIBILITY

**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Deed Restrictions:** You have verified that the work does not violate applicable deed restrictions.

**Public Records:** If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

**Compliance:** If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: \_\_\_\_\_ Application received: \_\_\_ / \_\_\_ / \_\_\_ Application complete: \_\_\_ / \_\_\_ / \_\_\_

# CERTIFICATE OF APPROPRIATENESS NEW CONSTRUCTION CHECKLIST



PLANNING &  
DEVELOPMENT  
DEPARTMENT

Well in advance of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-242 for approval criteria for new construction in a historic district.

PROPERTY ADDRESS: 321 HEIGHTS BLVD. HOUSTON, TX 77007

## NEW BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- carport
- accessory structure
- other SECONDARY STRUCTURE

## DRAWINGS

scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

- site plan
- floor plans
- window and door schedule
- roof plan
- elevations (all sides)
- perspective

## WRITTEN DESCRIPTION

- describe new structure including square footage, levels, foundation, siding, windows, doors, roof and details
- materials description; attach specification sheets if necessary

## PHOTOGRAPHS label photos with description and location

- site as seen from street, from front and corners, include neighboring properties

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Mailing Address 321 Heights Boulevard  
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Phone 281-857-6770  
Email [REDACTED]  
Signature [Signature]  
Date 4/29/2015

## APPLICANT (if other than owner)

Name JOHN TSAI  
Company JT ARC STUDIO, LLC  
Mailing Address 2020 RICHMOND AVE. #201  
HOUSTON, TX 77098  
Phone 832-754-4162  
Email [REDACTED]  
Signature [Signature]  
Date 4-29-2015

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SECONDARY STRUCTURE PROPOSAL  
321 HEIGHTS  
4.27.2015



PROPERTY ADDRESS: 321 HEIGHTS BLVD.

Currently the property at 321 Heights Blvd consists of 2 lots.

Total land area 14,950 SF

There is an existing house on lot 5:

2 stories: Total square footage = 2,751 sf

The owner is proposing a SECONDARY structure to be built in the back of lot 4:

2 stories: Total square footage= 2,536 sf (1<sup>st</sup> floor: 930sf+2<sup>nd</sup> floor: 1,606sf)

STRUCTURE:

Pier and beam foundation, wood framed structure

EXTERIOR FINISH:

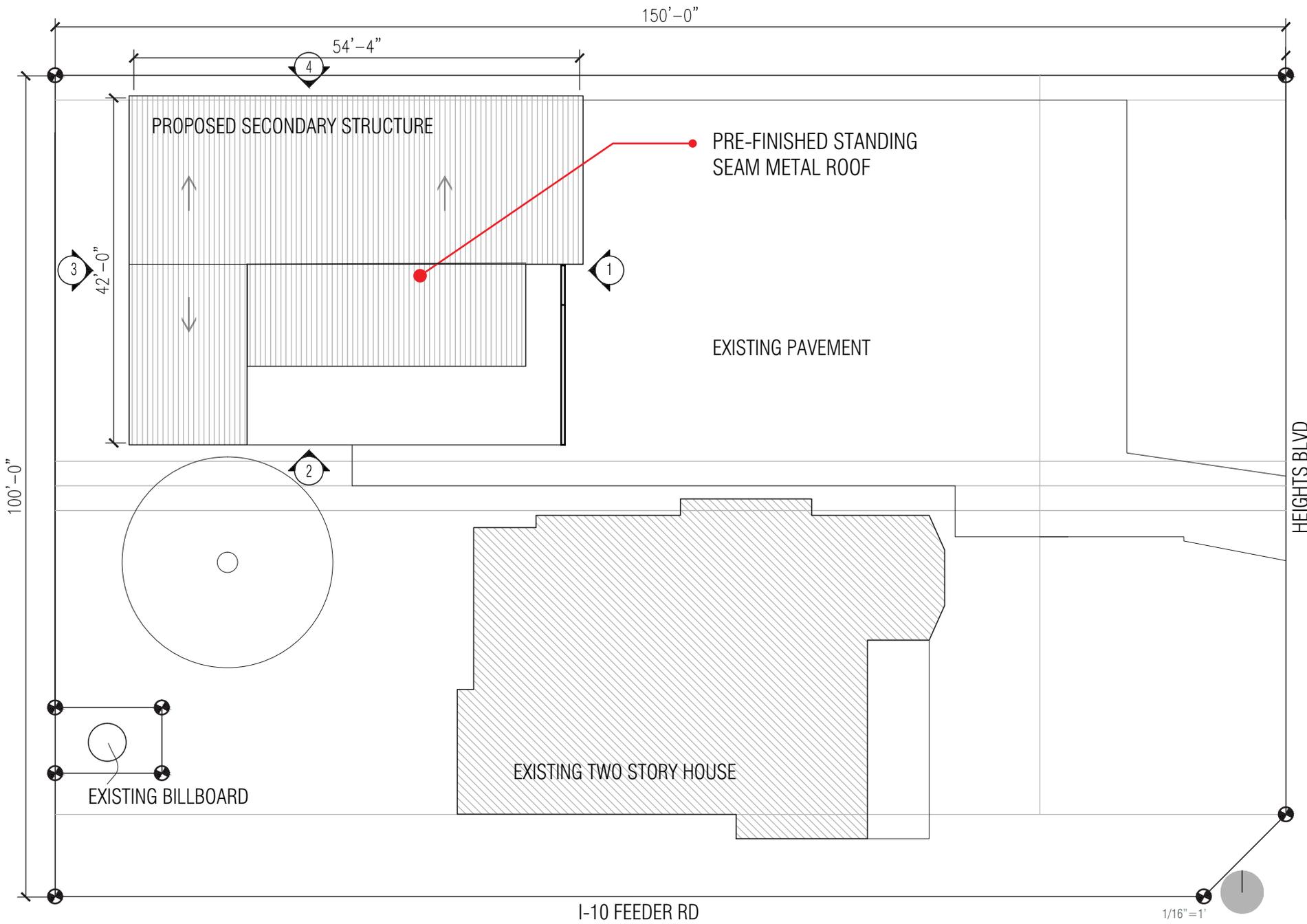
Painted cement board siding (Gray to match existing house in lot 5)

Cedar siding (Clear coat seal)

1" insulated double paned windows (Dark Bronze window mullions)

Prefinished standing seam metal roofing (Gray)

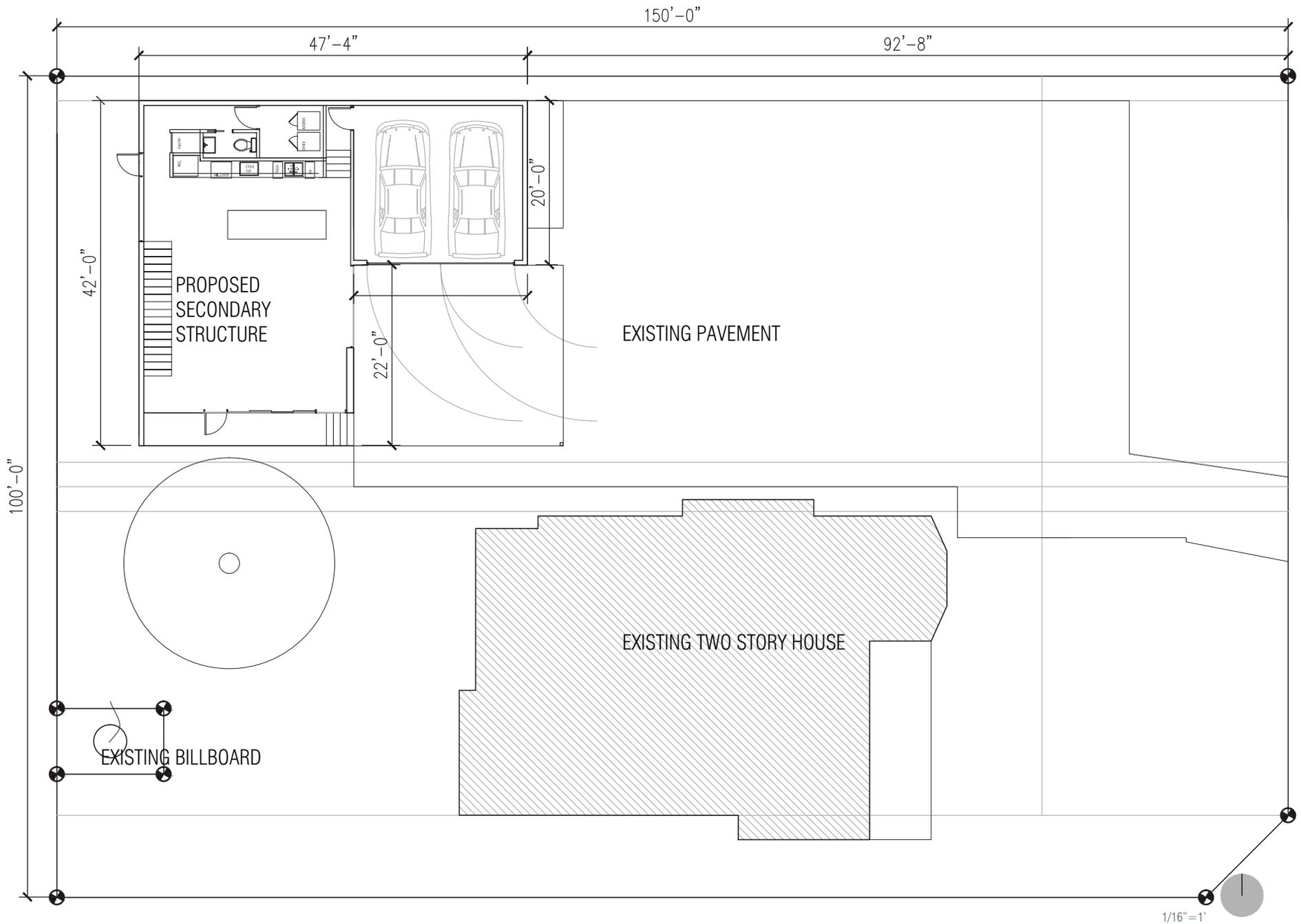
WRITTEN DESCRIPTION  
321 HEIGHTS  
4.27.2015



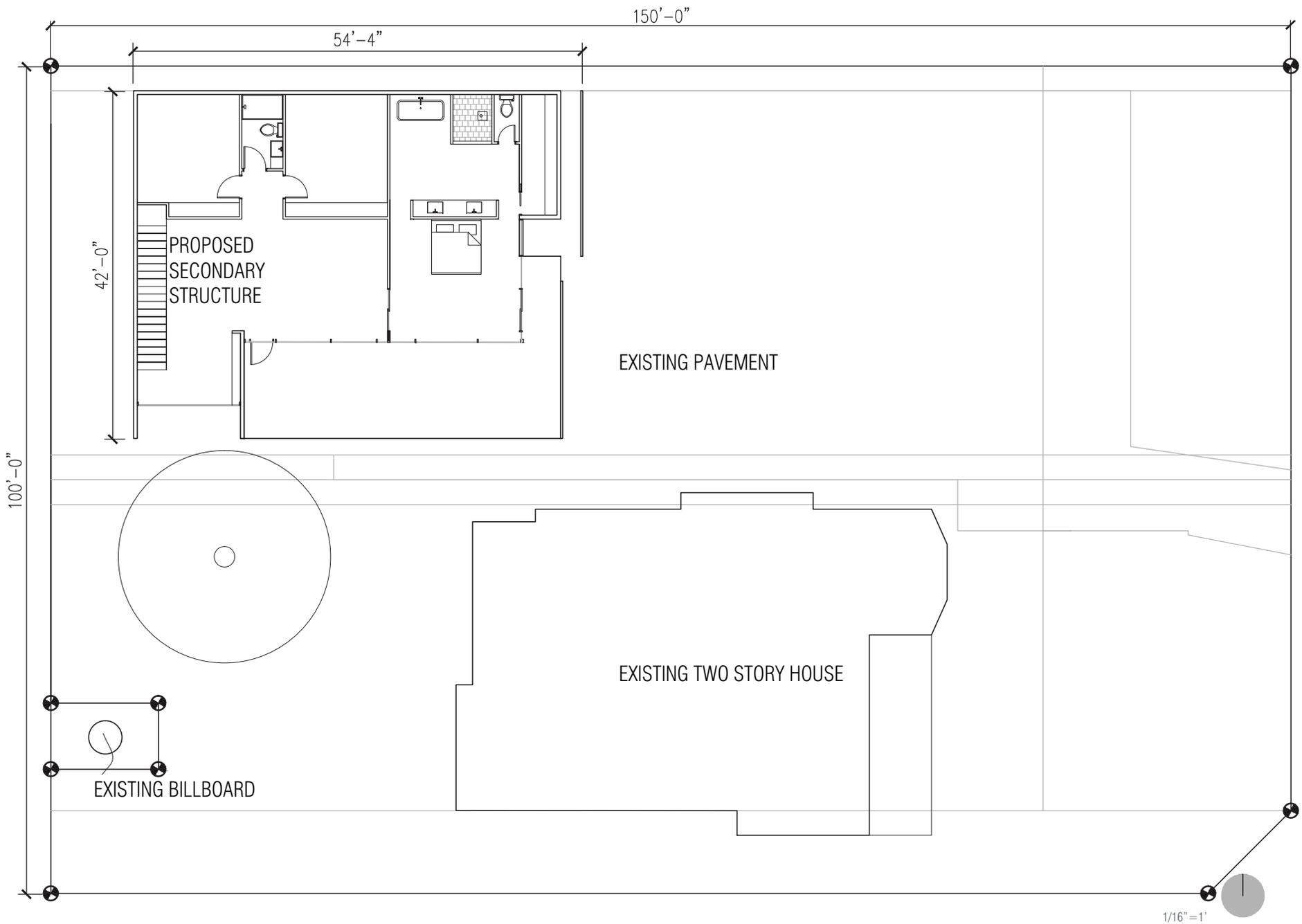
ROOF PLAN  
 321 HEIGHTS  
 4.27.2015



SITE  
321 HEIGHTS  
4.27.2015



PLAN, FLR 1  
 321 HEIGHTS  
 4.27.2015



PLAN, FLR 2  
321 HEIGHTS  
4.27.2015

T.O. EXISTING HOUSE  
32' A.F.F.

T.O. RIDGE  
28'-7 7/8" A.F.F.

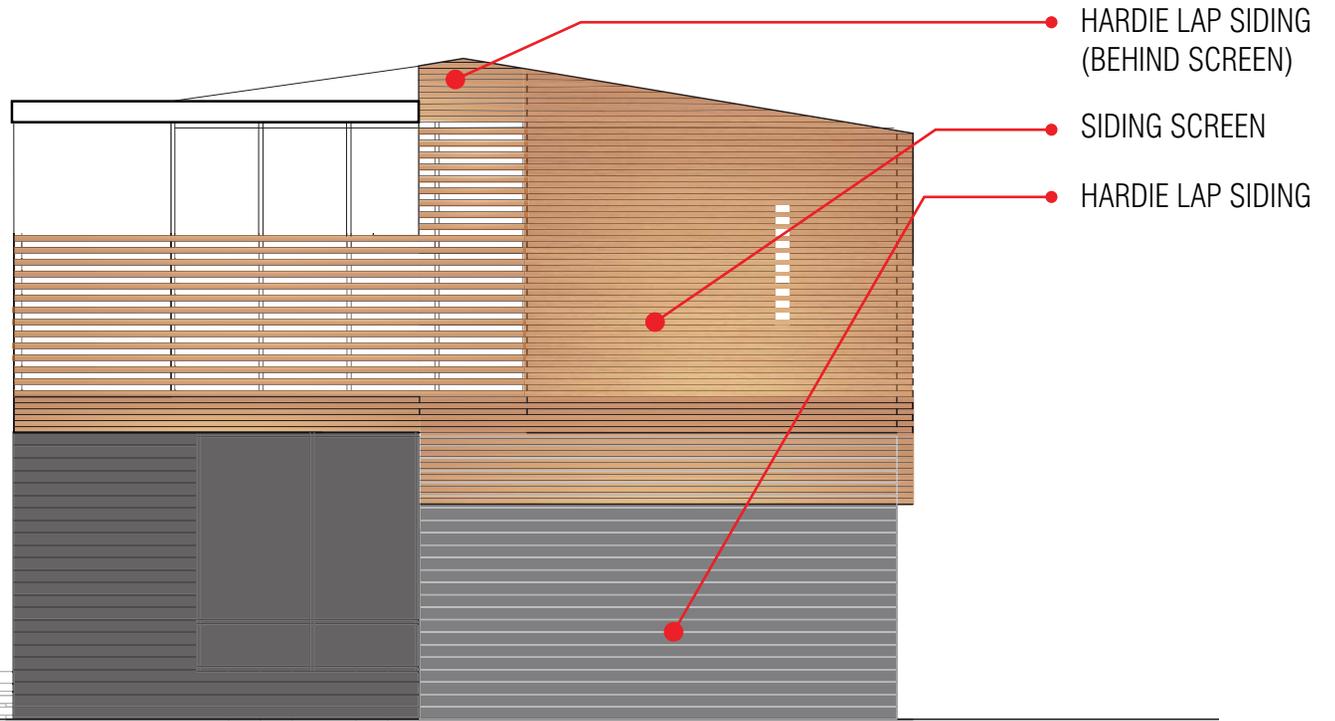
FINISH CEILING  
23'-8 1/8" A.F.F. (VARIES)

FINISH A.F.F. 2ND FLR  
11'-8 1/8" A.F.F.

FINISH CEILING  
10'-0" A.F.F.

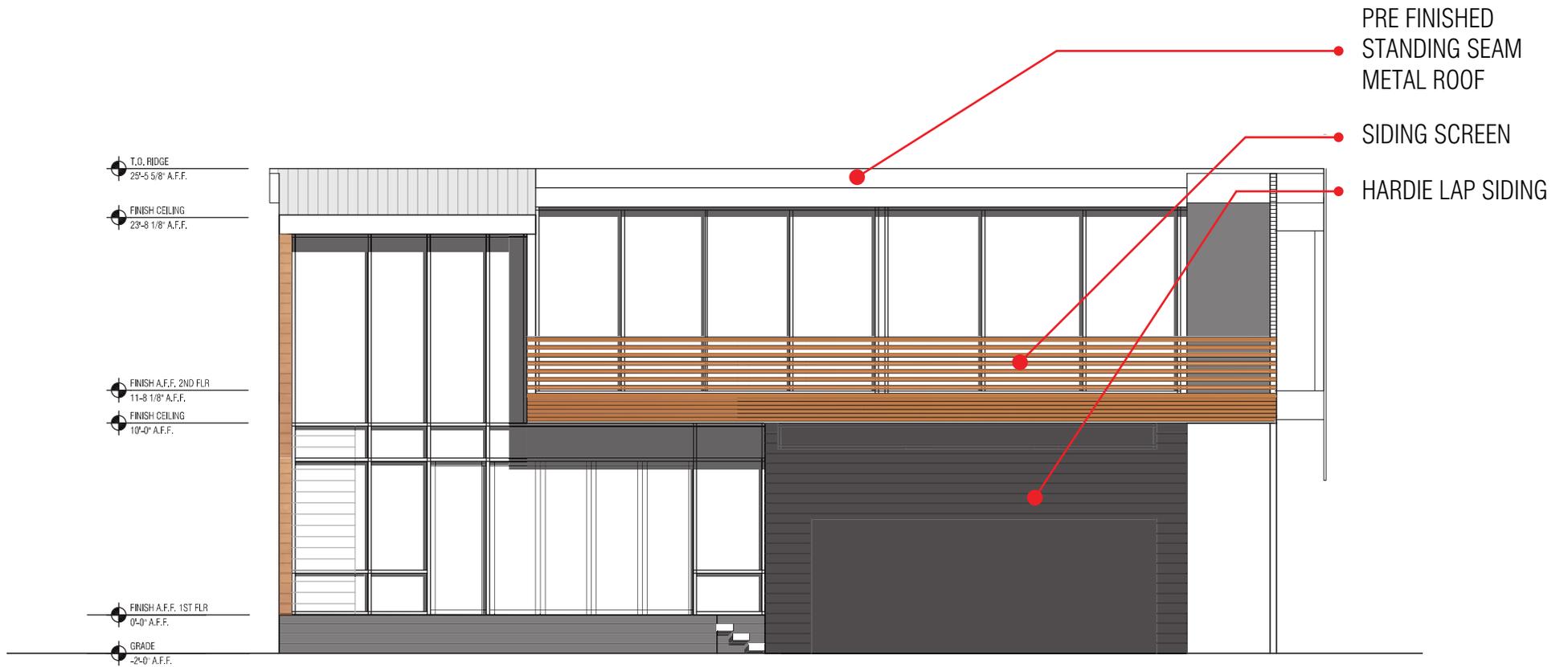
FINISH A.F.F. 1ST FLR  
0'-0" A.F.F.

GRADE  
-2'-0" A.F.F.



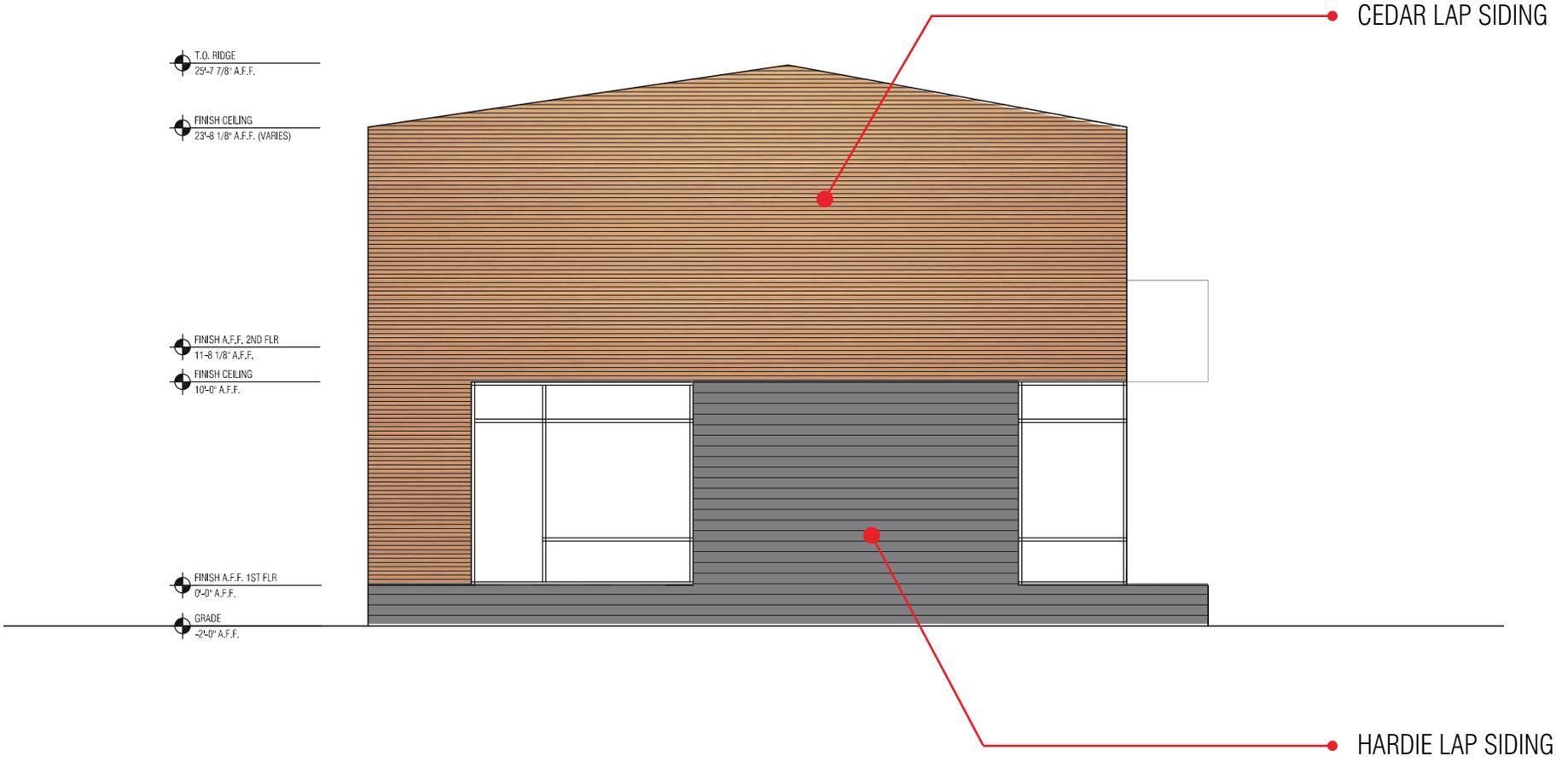
1/8" = 1'

① EAST ELEVATION, FRONT VIEW FROM PARKING LOT  
321 HEIGHTS  
4.27.2015



1/8" = 1'

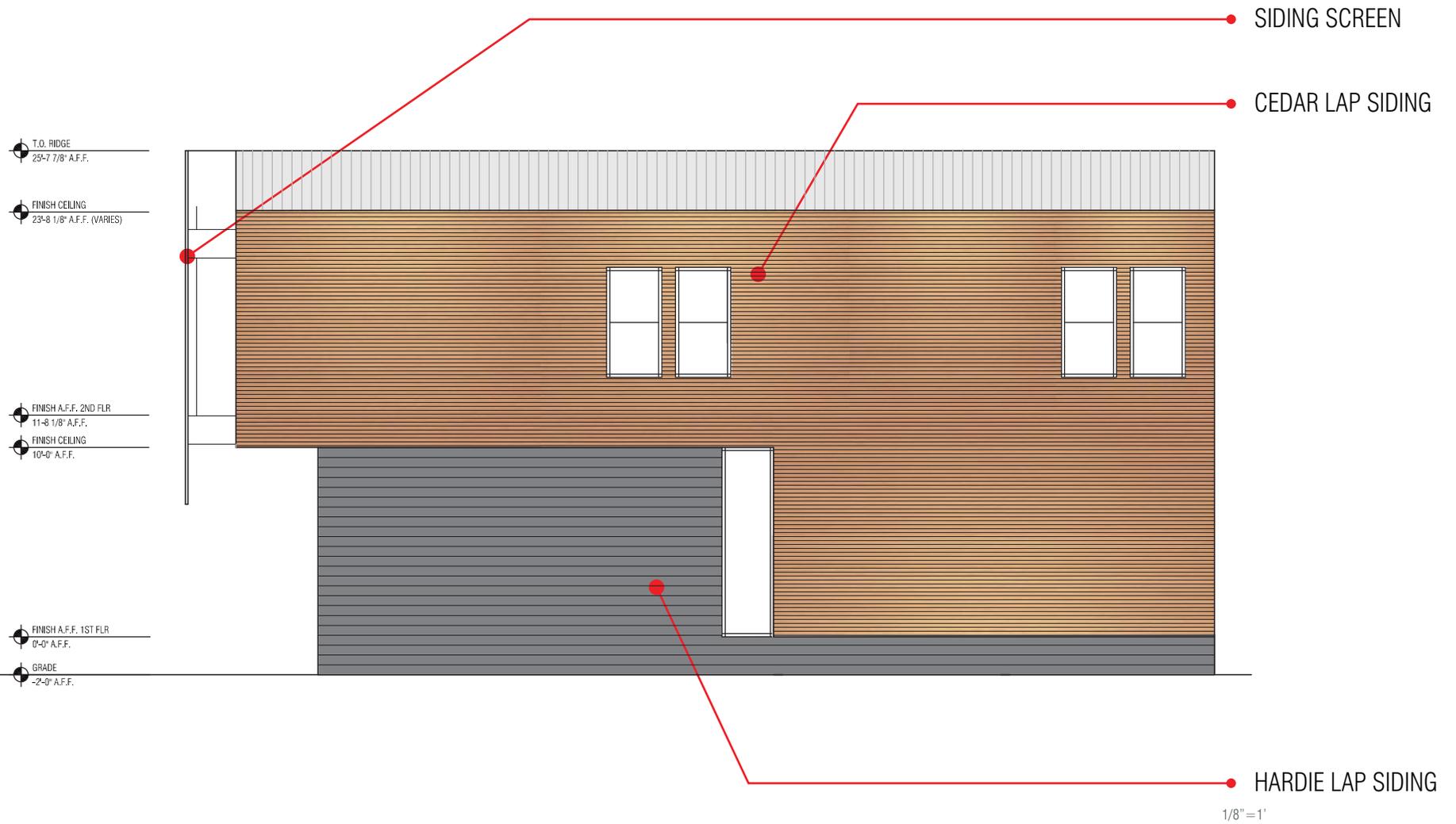
② SOUTH ELEVATION, VIEW FROM BACK GARDEN  
 321 HEIGHTS  
 4.27.2015



1/8" = 1'

③ WEST ELEVATION, VIEW FROM BACK OF PROPERTY  
 321 HEIGHTS  
 4.27.2015



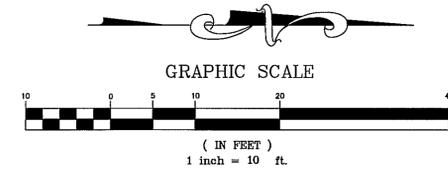


④ NORTH ELEVATION, VIEW FROM NEIGHBORING PARKING LOT  
 321 HEIGHTS  
 4.27.2015

This property IS NOT located in the 100 year flood plain & is in insurance rate map zone 'X', as per map 48201C 0670L dated 06-18-07.

SCALE: 1" = 10'

# TOPOGRAPHIC SURVEY



## LEGEND

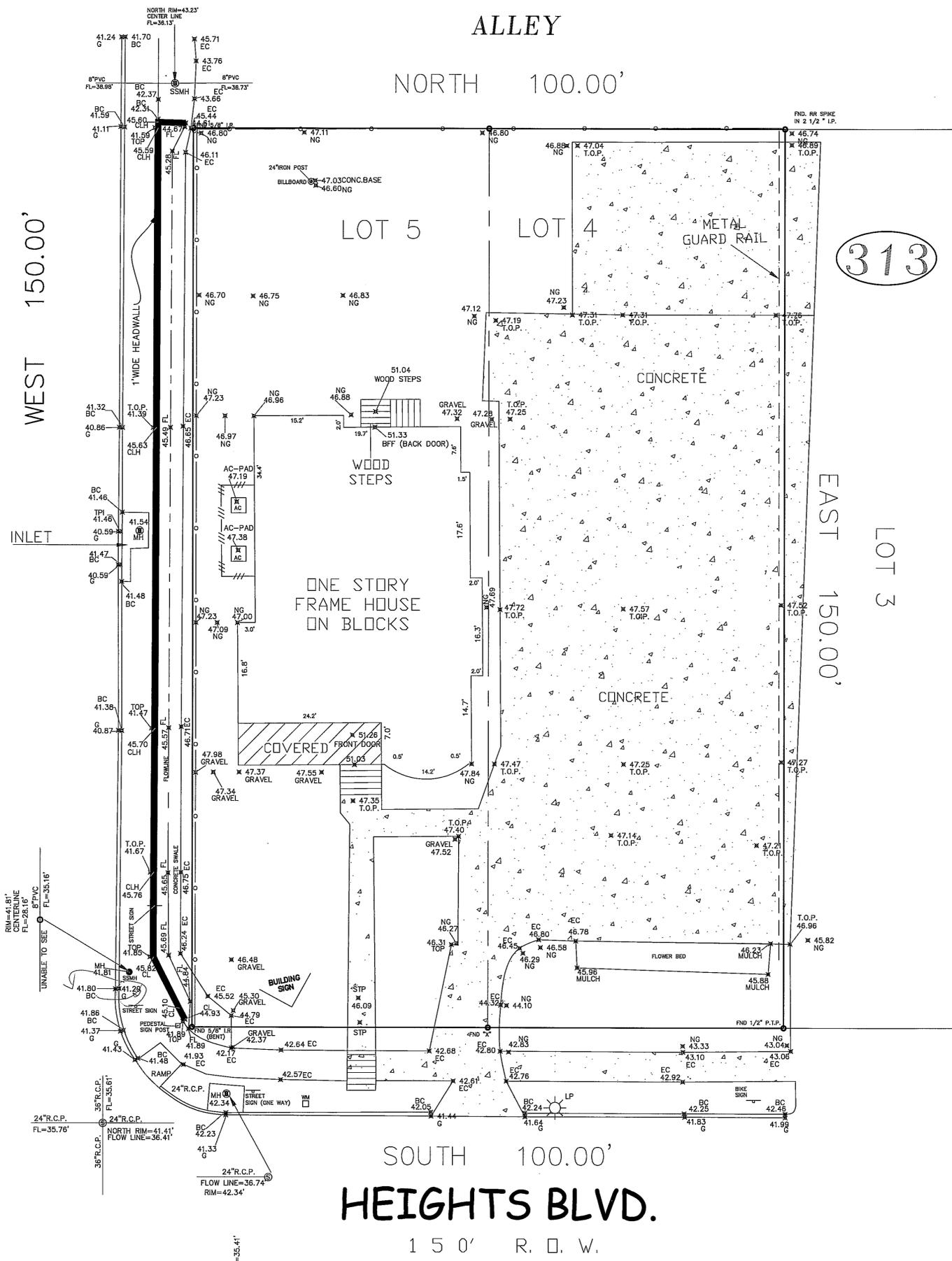
- R.O.W. - RIGHT OF WAY
- I.R. - IRON ROD
- U.E. - UTILITY EASEMENT
- C.I.R. - CAPPED IRON ROD
- I.P. - IRON PIPE
- CL - CENTERLINE
- CLH - CENTERLINE OF HEADWALL
- EC - EDGE OF CONCRETE
- MH - MANHOLE
- NG - NATURAL GROUND
- T.O.P. - TOP PAVEMENT
- BC - BACK OF CURB
- G - GUTTER
- TBM - TEMPORARY BENCHMARK
- o- CHAIN LINK FENCE
- SSMH - SANITARY SEWER MANHOLE
- STORM MANHOLE
- ☀ LIGHT POLE

BENCHMARK: HARRIS COUNTY FLOODPLAIN REFERENCE MARKS  
 RM 050025  
 ELEVATION: 39.93 FEET  
 TBM - PAINTED MARK ON LIGHT POLE NORTH SIDE  
 I-10 AT CL ESPLANADE ON HEIGHTS BLVD.  
 ELEVATION: 44.24 FEET

I, MICHAEL D. MORTON, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PLAT HEREON CORRECTLY REPRESENTS THE RESULTS OF AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY DIRECTION AND THAT THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN.

DATED THIS THE 26 DAY OF Jan 2015

MICHAEL D. MORTON - R.P.L.S. NO.3686



- NOTES:
- 1.) BASIS FOR BEARINGS ASSUMED AS PLATTED.
  - 2.) DISTANCES SHOWN ARE GROUND DISTANCES.
  - 3.) THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT, EASEMENTS AND RESTRICTIONS MAY EXIST WHICH ARE NOT SHOWN HEREON; NO ADDITIONAL RESEARCH REGARDING THE EXISTENCE OF EASEMENTS OR RESTRICTIONS OF RECORD HAS BEEN PERFORMED BY ARROW SURVEYING.
  - 4.) SURVEY BASED ON BEST OF EVIDENCE FOUND.

THIS CERTIFICATION IS REVOKED AND THIS SURVEY IS NULL AND VOID IF THIS DOCUMENT IS ALTERED IN ANY MANNER, USED OR RELIED UPON BY ANY ONE OTHER THAN THE PARTIES ADDRESSED BELOW, OR DOES NOT BEAR AN ORIGINAL SIGNATURE AND SEAL OF THE SURVEYOR.									
LOT(S)	BLOCK	SUBDIVISION	HOUSTON HEIGHTS		SECTION				
4 AND 5	313								
RECORDATION	VOL.1 PG.114, H.C.M.R.			COUNTY	HARRIS	STATE	TEXAS		
ADDRESS	321 HEIGHTS BLVD.		CITY	HOUSTON	ZIP CODE	77007	LENDER		
PURCHASER					TITLE COMPANY			G.F. NO.	
FIELD BY:	MM	01/17/15	ARROW SURVEYING				JOB NO.	15-01-007	
DRAWN BY:	EC	01/25/15	P.O. BOX 410 PEARLAND, TEXAS 77588						
CHECKED BY:	MM	01/25/15	(281) 412-2284 FAX(281) 412-2314				REVISION:		