

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



**PLANNING &
DEVELOPMENT
DEPARTMENT**

PROPERTY

Address 3709 La Branch
 Historic District / Landmark _____ HCAD # 0130670200005
 Subdivision _____ Lot 5 + 6 Block 3

DESIGNATION TYPE

- Landmark
- Protected Landmark
- Archaeological Site
- Contributing
- Noncontributing
- Vacant

PROPOSED ACTION

- Alteration or Addition
- Restoration
- New Construction
- Relocation
- Demolition
- Excavation

DOCUMENTS

Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name Brookhollow Venture LTD
 Company _____
 Mailing Address 5116 Bissonnet #398
Bellaire TX 77401
 Phone 281-630-2222
 Email _____
 Signature [Signature]
 Date 4/29/15

APPLICANT (if other than owner)

Name Stephen Harrison
 Company Retrospect Coffee Bar
 Mailing Address 800 Heights Blvd #8
Houston, TX 77007
 Phone 832-689-1002
 Email _____
 Signature [Signature]
 Date 4/29/15

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____ Application received: ___/___/___ Application complete: ___/___/___

CERTIFICATE OF APPROPRIATENESS ALTERATION & ADDITON CHECKLIST

Well in advance of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable items and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-241 for approval criteria for alteration, rehabilitation, restoration and additions.

PROPERTY ADDRESS: 37091 La Branch Houston, TX 77004

BUILDING TYPE

- | | |
|--|--|
| <input type="checkbox"/> single-family residence | <input type="checkbox"/> garage |
| <input type="checkbox"/> multi-family residence | <input type="checkbox"/> carport |
| <input type="checkbox"/> commercial building | <input type="checkbox"/> accessory structure |
| <input type="checkbox"/> mixed use building | <input type="checkbox"/> other |
| <input type="checkbox"/> institutional building | |

ALTERATION TYPE

- | | |
|--|---|
| <input type="checkbox"/> addition | <input type="checkbox"/> roof |
| <input type="checkbox"/> foundation | <input type="checkbox"/> awning or canopy |
| <input type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign |
| <input type="checkbox"/> windows or doors | <input type="checkbox"/> ramp or lift |
| <input type="checkbox"/> porch or balcony | <input type="checkbox"/> other |

WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work; plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new materials description; attach specification sheets if necessary

PHOTOGRAPHS

 label photos with description and location

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

DRAWINGS

 scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

- | | |
|--|---|
| <input type="checkbox"/> current site plan | <input type="checkbox"/> demolition plan |
| <input type="checkbox"/> proposed site plan | <input type="checkbox"/> current roof plan |
| <input type="checkbox"/> current floor plans | <input type="checkbox"/> proposed roof plan |
| <input type="checkbox"/> proposed floor plans | <input type="checkbox"/> current elevations (all sides) |
| <input type="checkbox"/> current window and door schedule | <input type="checkbox"/> proposed elevations (all sides) |
| <input type="checkbox"/> proposed window and door schedule | <input type="checkbox"/> perspective and/or line of sight |

Written Description – 3709 La Branch Street

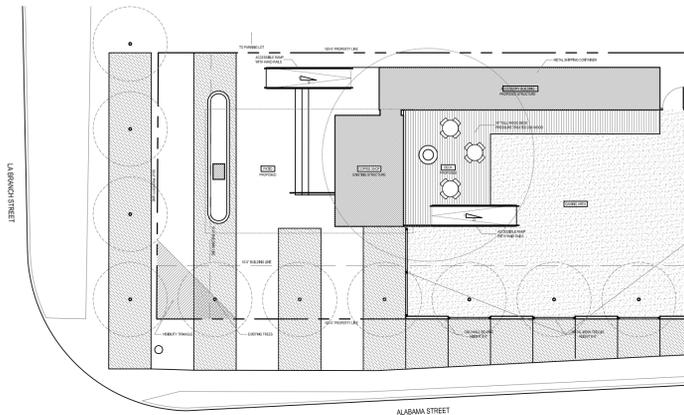
The subject of this proposal is the restoration/alteration of and addition to a one story 298 square foot building located at 3709 La Branch Street. The building was built in the 1920s as the Gulf Filling Station at a time when the mass production of the automobile was beginning to have a profound effect on American life, ushering in a new era of mobility and convenience. To meet the needs of this revolution in transportation, neighborhood fueling stations started to pop-up around the country. This structure is one of only a handful of remaining examples of the early gas stations that proved to be so important to the history of Houston, and indeed the nation. The station fell into disrepair in the 1970s, as the neighborhood gas station was eclipsed by full-service convenience stores located on major thoroughfares and highways.

The existing windows, doors, and finishes are in poor condition, with most of the windows completely gone or heavily damaged. Due to the small size of the existing building, nothing has been done to utilize the interior of the space in recent decades. By restoring and adding on to the building, it is proposed to use the existing structure as a coffee shop while still respecting and highlighting the historical details and past use of the building.

The restoration includes two existing windows and the installation of new windows made from vintage stock to match the existing, bringing the exterior aesthetic of the building back to the original elevation. The windows will be matched to photographs of the building from the 1920s. Parts of the existing doors will be used as a template and incorporated into the installation of new doors, as the existing doors are not in any condition to be renovated. Two doorways in the project are to be replaced with windows on the south and east facades. These doors used to lead to the restrooms, which no longer exist. The exterior facade of the structure will be painted, while the zinc roof edging will be maintained and preserved. The area where the gas pumps were located will be retained, as well as the plaster and concrete coverings over the motor-court.

The 424 square foot addition is a metal container located to the north of the building. Access from the existing building to the new container is located on the north wall, furthest from the street-facing elevations. The connection to the existing building will be of a different height, color, and material. The container will hold the back-of-house and storage areas, as well as restrooms for customers. Customers access the restrooms from the outdoor seating area that extends behind the original structure. The owner has planted 8 new trees along La Branch and Alabama in order to add shade to the outdoor seating portion of the project and to provide more vegetation to the neighborhood.

The restoration and addition to the gas station will be difficult but will assure that it is saved for another century and help weave back together the fabric of a community that is facing many new construction projects. By renovating and adding to the small structure it can be used again as a commercial and social beacon in the community.



10 SITE PLAN

1:60



- 1. CODE COMPLIANCE**
1-a. All work undertaken must be performed in compliance with applicable local, state and national codes and in cases where conflicts arise, the more stringent interpretation will govern.
- 2. INSPECTION OF SITE**
2-a. The premises shall be carefully examined to determine the extent of work and the conditions under which it is to be done. No extra payments will be allowed for claims for additional work that could have been determined or anticipated by such inspection. Check and verify contract documents and field conditions for accuracy, confirming that the work is build able as shown before proceeding with construction. If there are any questions regarding these or other coordination questions, the contractor is responsible for obtaining clarifications from the project representative before proceeding with the work or related work in question.
- 3. CONTRACT DOCUMENTS**
3-a. Specifications for the work are indicated on these plans and are not bound in a separate document.
- 4. FIELD CONDITIONS**
4-a. If any of the scope of work indicated in these drawings is not constructable due to conflict with field conditions, coordination items, critical dimensions, etc., it is the contractor's responsibility to inform the architect for interpretation and clarification prior to initiating the work.
- 5. DAMAGE**
5-a. The contractor shall be responsible for the repairs of any accidental damage he or his employees inflicts upon the existing work to remain. If for any reason damage to existing work or utilities is considered to be unavoidable, contractor must submit written notification prior to signing the contract. In the absence of such notification, the contractor assumes full responsibility for damage and the cost of satisfactorily repairing or replacing the damaged work.
- 6. RELOCATION OF MATERIAL**
6-a. Relocation of any items involved in the work is subject to the contractor's ability to do so without permanently damaging or marring the items to be relocated. If the contractor is unable to relocate any item as prescribed herein, he shall substitute new material to match existing in lieu of relocating same. Contractor may also elect to use new materials to match existing in lieu of relocation of existing for his convenience.
- 7. PERFORMANCE OF WORK**
7-a. In performing work prescribed herein and in the structural and map drawings of this work, it will be the contractor's responsibility to repair all existing construction disturbed, relocated, damaged or altered and all new construction installed as required to hide all evidence or work and to refinish this construction to match existing finish and appearance.
7-b. The general contractor shall supervise and direct the work using his best skill and attention. He shall be solely responsible for construction means, methods, techniques, sequences and procedures.
7-c. The general contractor assumes responsibility for having all subcontractors review all contract documents for their complete scope of work prior to submitting any bids. The general contractor shall be held responsible for the work performed by all subcontractors.
7-d. The general contractor shall furnish all labor, materials, equipment and services required to remove and/or furnish and install all work shown on the drawings and to accomplish the final finished results called for or reasonably inferred from the drawings.
7-e. All work shall conform with the contract documents. Drawings are not to be scaled; written dimensions govern. Large scale details take precedence over small scale plans.
7-f. Should drawings and/or specifications conflict, the general contractor shall be responsible for the greater quantity or higher quality of work called for.
7-g. Whatever work is done where no definite details or instructions are given, each contractor shall perform the work in accordance with best practice, that is as the work is customarily done of the best class of each trade.
7-h. Each miscellaneous item of cutting, patching or fitting is not necessarily individually described herein. No specific description of cutting, patching, or fitting required to properly accommodate the scope of work shall relieve the contractor from responsibility to perform such work as required.
7-i. All work shall be erected plumb and true-to-line in accordance with best practices of the trade and manufacturer's recommendations for the particular item.
7-j. Cooperate and coordinate job operations with operations of others doing adjacent work in order to prevent delay and conflict or damages to either party's operations or products.
7-k. Do not install electrical outlets or switch boxes back-to-back in the same stud space. Separate by at least 12 inches with one stud between boxes.
7-l. All wood and wood blocking shall conform to the fire resistive standard of the Houston building code.

- 8. BASE BUILDING CONSTRUCTION**
8-a. All new work and construction operations shall not undermine the structural integrity of the building, notify the architect and building management immediately of any conditions affecting structural safety.
8-b. The general contractor shall furnish and install approved firestopping at all spaces around pipes, ducts, conduits, and any penetrations of related partitions, floors or any ceilings in accordance with local codes.
8-c. The general contractor shall supervise and direct the work using his best skill and attention. He shall be solely responsible for construction means, methods, techniques, sequences and procedures.
8-d. The general contractor shall perform all cutting, fitting and patching during the course of the work required by any and all job conditions including but not limited to mechanical, electrical, plumbing and millwork installations.
8-e. The general contractor shall patch all damage or holes created by the work of all trades, including but not limited to alteration or removal of ducts, pipes, conduits, ceilings, etc. to match adjacent existing or original surfaces.

- 9. DEFINITIONS**
9-a. "architect": kinneymorrow architecture (kinneymorrow LLC)
"typical": Item so noted to be applicable in similar conditions throughout.
"align": Finished faces of materials or assemblies to be located in same plane with respect to each other as indicated.
"A.F.F.": Above finished floor
"N.L.C.": Work which is not in contract, i.e., not the responsibility of the contractor other than for coordination with others.
"U.N.O.": Unless noted otherwise

- 10. PARTITIONS**
10-a. All dimensions shown are from face of framing to face of face of framing U.N.O.
10-b. Gypsum wall board work shall conform to the standard specifications of the American National Standards Institute. All gypsum wallboard returns shall have metal corner beads floor-to-ceiling. All exposed gypsum wallboard edges shall be taped and floated. Joints above the exposed ceiling may be taped only.

09 GENERAL NOTES

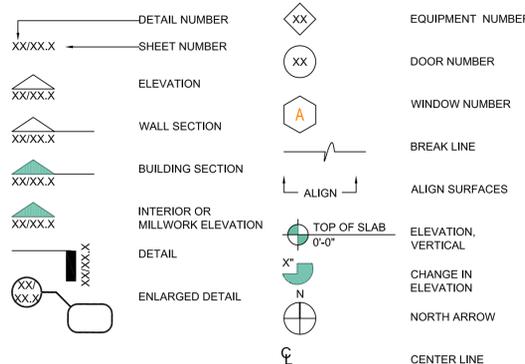
NO SCALE

OCCUPANT LOAD					
#	DESCRIPTION	OCCUPANCY	AREA PER OCCUPANT	AREA/LENGTH	LOAD
01	KITCHEN	COMMERCIAL KITCHEN	200 GROSS	108 SF	0.54
02	ORDER	ASSEMBLY- WITHOUT FIXED SEATS - STANDING SPACE	5 NET	43 SF	8.60
03	SERVICE	ACCESSORY STORAGE AREA	300 GROSS	106 SF	0.35
04	OUTDOOR DINING AREA	ASSEMBLY- WITHOUT FIXED SEATS - TABLES AND CHAIRS	15 GROSS	442 SF	23.33
SUBTOTAL					32.82
TOTAL					33 PEOPLE

07 OCCUPANT LOAD CALCULATION

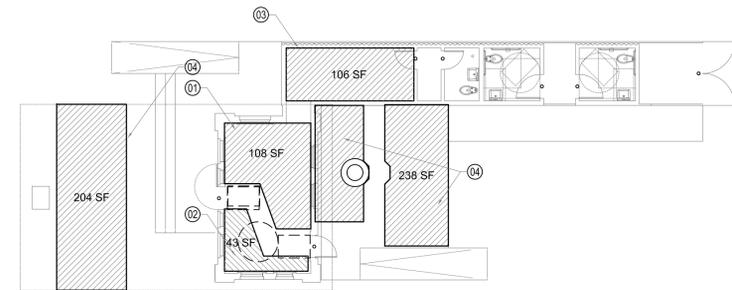
NO SCALE

- 11. AS-BUILT DOCUMENTS**
11-a. Contractor shall document as-built conditions when different from construction documents and shall provide said documentation to building representative upon completion of tenant construction.
- 12. EQUIPMENT AND APPLIANCES**
12-a. Contractor shall provide and install equipment and/or appliances per manufacturer's specifications U.N.O. Contractor shall provide installation of tenant-furnished equipment and/or appliances U.N.O.
- 13. SUBSTITUTIONS**
13-a. No substitutions are to be made on any specified items without the approval of the architect. Items which are described generically may be supplied by a number of manufacturers but it is the contractor's responsibility to ensure that quality, appearance and function conform to design intent as shown on the drawings.
13-b. All requests for substitutions of items specified shall be submitted in writing and will be considered only if better service, facilities, and more advantageous delivery date or a lower price with credit to the tenant will be provided without sacrificing quality, appearance and function. Under no circumstances will the project representative be required to prove that a product proposed for substitution is or is not of equal.
- 14. FIRE EXTINGUISHERS**
14-a. Provide fire extinguishers per city code/ fire marshal.
- 15. INSPECTIONS, PERMITS**
15-a. A complete set of the latest drawings shall be kept at the job at all times for use by the building inspector, the landlord, the architect and the engineer.
15-b. The general contractor shall coordinate any and all inspections and secure final certificate of occupancy if required prior to project completion and final payment.
15-c. The general contractor shall file, obtain and pay for all fees and building department permits, approvals, controlled inspections, other agency approvals where required, and final sign-offs shall be submitted to the landlord prior to final payment to the general contractor.
- 16. CHANGES**
16-a. Designer reserves the right to make changes in the drawings and specifications as the work progresses. Bulletins, change orders, drawings or instructions covering such changes will be issued to the general contractor whose responsibility it is to distribute these immediately and to notify the field office and all subcontractors affected. Such measures shall be taken as necessary to avoid errors in work which may occur due to use of superseded drawings or information.
16-b. Work affected by changes in any revised drawings or other documents issued to the general contractor shall not be executed without written authorization from owner. In cases where instructions request estimates of cost involved, such estimates shall be prepared and submitted promptly in order not to affect progress of work.
16-c. Payment to the general contractor for changes or extras will not be authorized unless approved by the tenant.
- 17. CONSTRUCTION PREMISES**
17-a. The general contractor shall protect the building premises and its occupants. He shall furnish and maintain all temporary protection required to protect existing finishes to remain at or adjacent to the job site and in all areas of the building affected by construction. The general contractor shall repair at his own expense any damage caused by improper protection.
17-b. The general contractor shall furnish and maintain adequate equipment (i.e. heavy duty vacuum cleaners, brooms, waste receptacles) to leave the job clean and free of debris daily. Dirt and dust shall be controlled and prevented from leaving the job site and infiltrating areas not involved in the project.
17-c. The general contractor shall maintain during the course of the work all existing exits, exit lighting, fire protection areas, and alarms in accordance with building and fire department regulations.
17-d. Verify building opening clearances for delivery of equipment and materials.
- 18. FINAL CLEAN**
18-a. Prior to occupancy by the tenant, the general contractor shall thoroughly clean all surfaces of dust, debris, stains, paint, etc. and carefully vacuum all floors. All glass shall be properly washed at the end of this clean-up.



08 SYMBOL LEGEND

NO SCALE



05 OCCUPANT LOAD DIAGRAM

3/32" = 1'-0"

CITY OF HOUSTON PROJECT #

PARKING:

OCCUPANCY TYPE: CLASS 7C - SMALL RESTAURANT
 REQUIRED PARKING SPACES: 8/1000 GFA + OUTDOOR SEATING >= 15% GFA
 CALC: 680 GFA/1000 = .68 X 8 = 5.44 SPACES
 + 442 SF OUTDOOR SEATING - 100.5 (15% OF 667) = 341.5 A/1000 = .342 X 8 = 2.74 SPACES
 TOTAL SPACES REQUIRED = 8.16 = 9
 SPACES PROVIDED: 9

ACCESSIBLE SPACES REQUIRED: 1 PER 50 = 1 SPACE
SPACES PROVIDED: 1 VAN-ACCESSIBLE SPACE

REQUIRED BICYCLE SPACES: 0 (<5000SF)
SPACES PROVIDED: 0

BUILDING:

OCCUPANCY USE TYPE: ASSEMBLY GROUP A-2 - RESTAURANT

RESTAURANT TYPE: COUNTER-SERVICE COFFEE SHOP WITH PRE-PREPARED CATERED PAPER-PLATE, NO COOKING OR DISHWASHING

CONSTRUCTION TYPE:
 MAIN BUILDING: V-B NON-SPRINKLED
 ACCESSORY BUILDING: V-B NON-SPRINKLED

ALLOWABLE HEIGHT/BUILDING AREA: 1 STORY, 6,000 SF
ACTUAL HEIGHT/BUILDING AREA: 1 STORY, 253 SF + 424 SF

OCCUPANT LOAD: 33 PERSONS - SEE DWG A0.0/05 AND A0.0/07 FOR LOAD ANALYSIS

REQUIRED FIRE-RESISTANCE RATING FOR EXTERIOR WALLS: NONE
ACTUAL FIRE-RESISTANCE RATING OF EXTERIOR WALLS: 1-HOUR

NO SEPARATION BETWEEN INTERNAL AREAS OF BUILDING REQUIRED

FIRE AREA: 677 SF

MAXIMUM AREA OF UNPROTECTED OPENINGS:
 -SOUTH FACADE: UNLIMITED
 -WEST FACADE: UNLIMITED
 -NORTH FACADE: UNLIMITED
 -EAST FACADE: NOT PERMITTED (NONE PROPOSED)

INTERIOR WALL AND CEILING FINISH REQUIREMENTS: CLASS C
 -OCCUPANT LOAD < 300

AUTOMATIC SPRINKLER SYSTEM NOT REQUIRED
 1. FIRE AREA < 5,000 SF
 2. OCCUPANT LOAD < 300
 3. FIRE AREA LOCATED AT LEVEL OF EXIT DISCHARGE
 4. OCCUPANT LOAD < 100 WHERE ALCOHOLIC BEVERAGES SERVED

STANDPIPES NOT REQUIRED
 -OCCUPANT LOAD < 1000

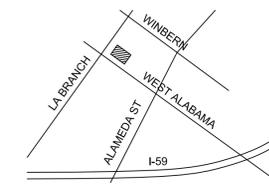
NO FIRE ALARM SYSTEM REQUIRED
 -OCCUPANT LOAD < 300

REQUIRED EXITS: 1
MAXIMUM EXIT ACCESS TRAVEL DISTANCE: 200 FT

REQUIRED PLUMBING FIXTURES
 -WATER CLOSETS - 1 PER 75 MALE + 1 PER 75 FEMALE = 2
 -LAVATORIES - 1 PER 75 MALE + 1 PER 75 FEMALE = 2
 -1 SERVICE SINK

ALL WORK TO COMPLY WITH ALL APPLICABLE ADOPTED CITY OF HOUSTON CODES AND REGULATIONS

TEXAS ENERGY CODE COMPLIANT - SEE FORM ATTACHED



04 AREA MAP

NTS

PROPERTY ADDRESS: 3709 LA BRANCH ST HOUSTON TX 77004

LEGAL DESCRIPTION: LTS 5 & 6 BLK 3 EMPIRE

03 LOCATION/LLEGAL DESCRIPTION

01 BUILDOUT OF 259 SF TENANT LEASE SPACE IN EXISTING FREE-STANDING BUILDING FOR USE AS A COFFEE SHOP AND ADDITION OF 424 SF UNCONDITIONED ACCESSORY BUILDING WITH STORAGE AND RESTROOMS IN METAL SHIPPING CONTAINER

02 SCOPE OF WORK

- A0.0 GENERAL INFORMATION AND CODE ANALYSIS
- A1.0 SITE PLAN
- A1.1 BUILDING FLOOR PLAN
- A2.0 ENLARGED FLOOR PLANS AND SCHEDULES
- A4.0 EXTERIOR ELEVATIONS, DOOR AND WINDOW SCHEDULE
- A5.0 INTERIOR ELEVATIONS
- S1.0 EXTERIOR WALL FOUNDATION PLAN
- E1.0 ELECTRICAL POWER LAYOUT
- E2.0 ELECTRICAL LIGHTING LAYOUT
- E3.0 ELECTRICAL CALCULATIONS
- M1.0 MECHANICAL LAYOUT
- P1.0 PLUMBING SANITARY LAYOUT
- P2.0 PLUMBING WATER LAYOUT

01 DRAWING INDEX

COFFEE SHOP TENANT BUILDOUT

This document and the information herein is the property of kinneymorrow, LLC. No part hereof shall be copied, qualified, distributed, disclosed or used in any extent whatsoever except as expressly authorized by kinneymorrow, LLC.

Any person, firm, or corporation receiving this document, however obtained, shall by virtue hereof, be deemed to have agreed to the foregoing restrictions and that this document will be held in trust and confidence subject only to the private use expressly authorized by kinneymorrow, LLC.

ISSUE: 10.16.14 FOR PERMIT/CONSTRUCTION
 ISSUE: 111614 REVISION 01

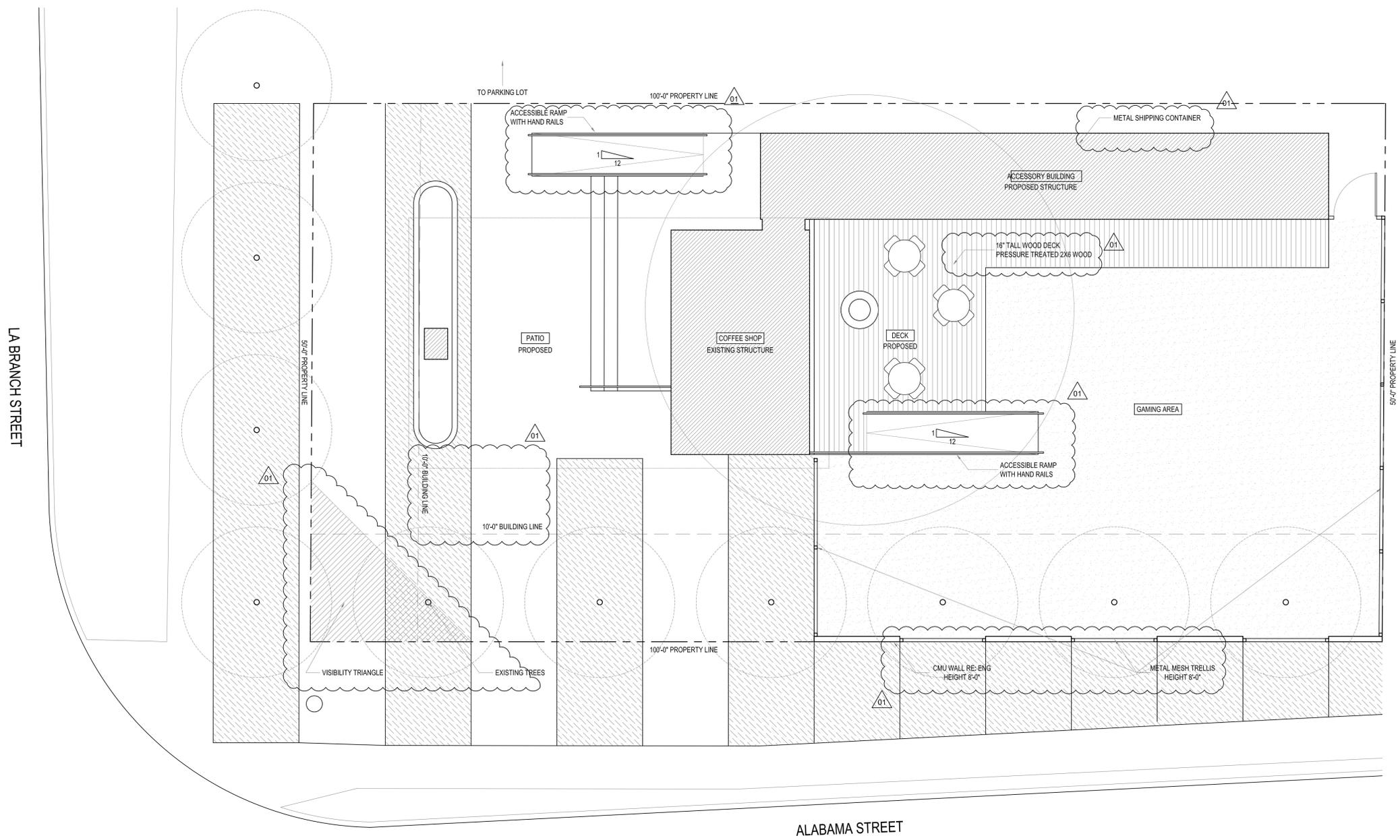


GENERAL INFORMATION AND CODE ANALYSIS

A0.0

kinneymorrow, LLC
 3709 LA BRANCH STREET, SUITE 100
 HOUSTON, TEXAS 77004
 TEL: 281.419.0125
 WWW.KINNEYMORROW.COM

kinneymorrow architecture



- DECKING
- CONCRETE PAVING
- LANDSCAPING
- GRAVEL

- 01 DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS IN FIELD
- 02 ALL DIMENSIONS ARE TO FACE OF FRAMING/MASONRY UNLESS OTHERWISE NOTED
- 03 WHERE DISCREPANCIES ARISE NOTIFY ARCHITECT PRIOR TO INSTALLATION

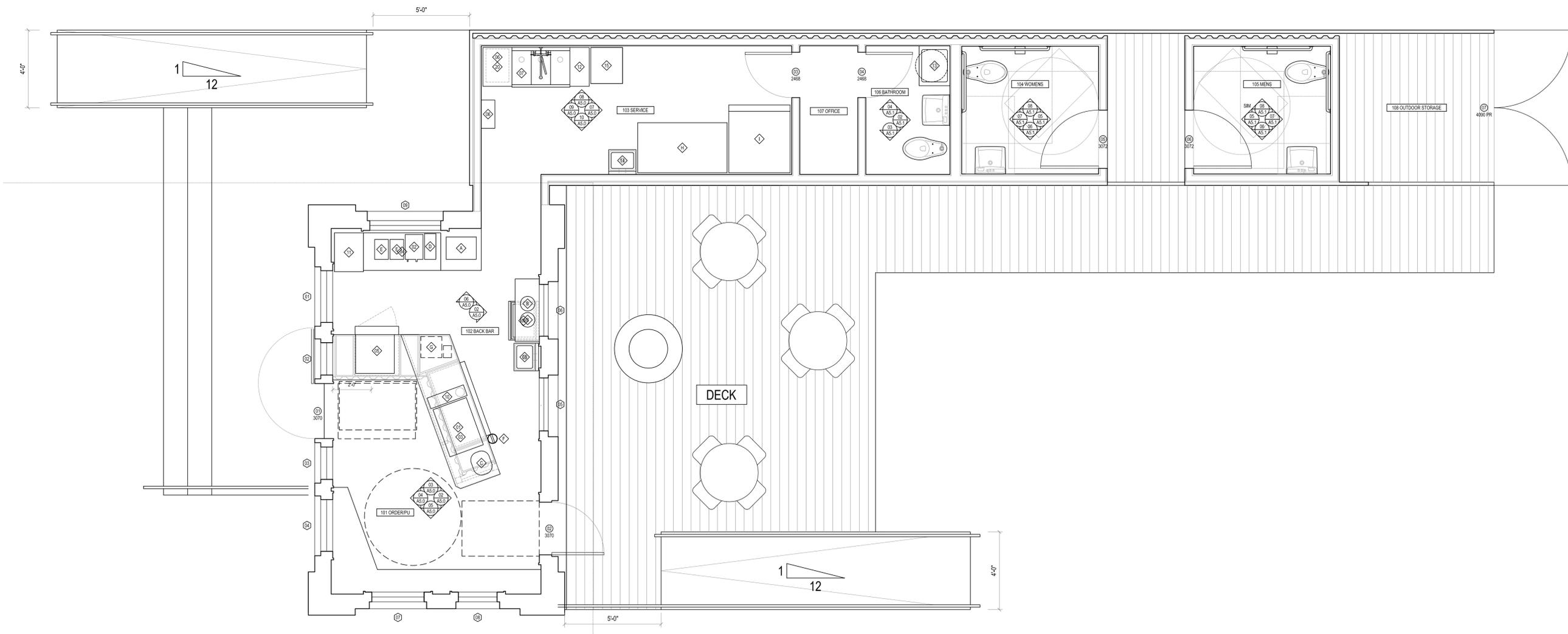
COFFEE SHOP
TENANT BUILDOUT

This document and the information herein is the property of kinneymorrow, LLC. No part hereof shall be copied, duplicated, distributed, disclosed or used to any extent whatsoever except as expressly authorized by kinneymorrow, LLC.
Any person, firm, or corporation receiving this document, however obtained, shall be deemed to have agreed to the foregoing restrictions and that this document will be held in trust and confidence subject only to the private use expressly authorized by kinneymorrow, LLC.

ISSUE: 10.16.14 FOR PERMIT/CONSTRUCTION
ISSUE: 111614 REVISION 01



SITE PLAN



- 01 DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS IN FIELD
- 02 ALL DIMENSIONS ARE TO FACE OF FRAMING/MASONRY UNLESS OTHERWISE NOTED
- 03 WHERE DISCREPANCIES ARISE NOTIFY ARCHITECT PRIOR TO INSTALLATION

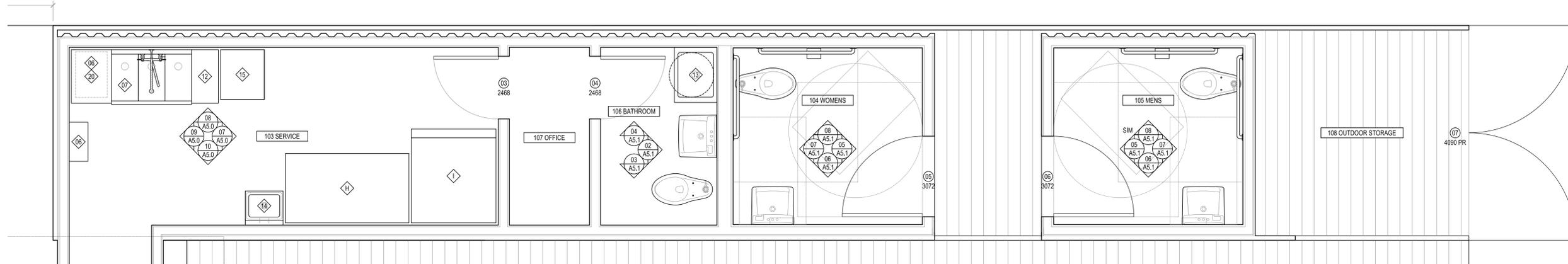
**COFFEE SHOP
TENANT BUILDOUT**

This document and the information herein is the property of kinneymorrow, LLC. No part hereof shall be copied, duplicated, distributed, disclosed or used to any extent whatsoever except as expressly authorized by kinneymorrow, LLC.
Any person, firm, or corporation receiving this document, however obtained, shall by virtue hereof, be deemed to have agreed to the foregoing restrictions and that this document will be held in trust and confidence subject only to the private use expressly authorized by kinneymorrow, LLC.

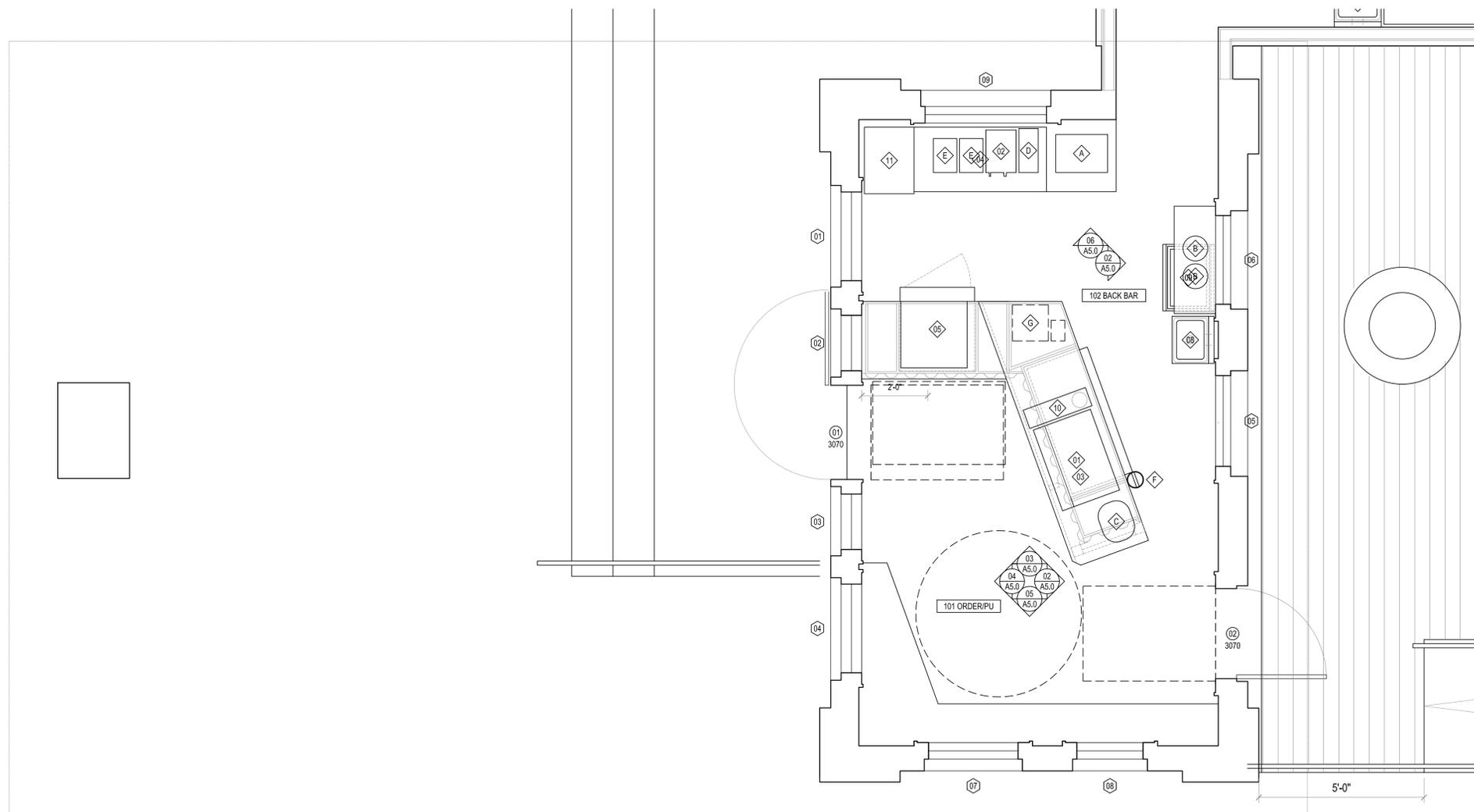
ISSUE: 10.16.14 FOR PERMIT/CONSTRUCTION
ISSUE: 111614 REVISION 01



**BUILDING FLOOR
PLAN**



04 SERVICE PLAN
1/2"=1'-0"



03 COFFEE BAR PLAN
1/2"=1'-0"



01

EQUIPMENT SCHEDULE				
RM #	RM NAME	DESCRIPTION	NSF CERTIFIED	
01	102	BACK BAR	ESPRESSO MACHINE	X
02	102	BACK BAR	COFFEE BREWER	X
03	102	BACK BAR	MILK COOLER	X
04	102	BACK BAR	BOTTLE COOLER	X
05	102	BACK BAR	OVERFLOW COOLER	X
06	103	SERVICE	WATER FILTRATION SYSTEM	X
07	103	SERVICE	3-COMPARTMENT SINK & FAUCET	X
08	102	BACK BAR	HAND SINK & FAUCET	X
09	102	BACK BAR	ICE BIN	X
10	102	BACK BAR	PITCHER RINSER	X
11	102	BACK BAR	FILLER TABLE	X
12	103	SERVICE	FILLER TABLE	X
13	106	BATHROOM	MOP SINK	X
14	103	SERVICE	HANDSINK & FAUCET	X
15	103	SERVICE	ICE MACHINE	X
16	104	WOMENS ROOM	LAVATORY & FAUCET	X
17	104	WOMENS ROOM	TOILET	X
18	105	MENS ROOM	LAVATORY & FAUCET	X
19	105	MENS ROOM	TOILET	X
20	103	SERVICE	FILLER TABLE	X
21	106	BATHROOM	LAVATORY & FAUCET	X
22	106	BATHROOM	TOILET	X

02 EQUIPMENT SCHEDULE

- 01 DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS IN FIELD
- 02 ALL DIMENSIONS ARE TO FACE OF FRAMING/MASONRY UNLESS OTHERWISE NOTED
- 03 WHERE DISCREPANCIES ARISE NOTIFY ARCHITECT PRIOR TO INSTALLATION

01 KEYED NOTES

COFFEE SHOP TENANT BUILDOUT

This document and the information herein is the property of kinneymorrow, LLC. No part hereof shall be copied, duplicated, distributed, disclosed or used to any extent whatsoever except as expressly authorized by kinneymorrow, LLC. Any person, firm, or corporation receiving this document, however obtained, shall be deemed to have agreed to the foregoing restrictions and that this document will be held in trust and confidence subject only to the private use expressly authorized by kinneymorrow, LLC.

ISSUE: 10.16.14 FOR PERMIT/CONSTRUCTION
 ISSUE: 111614 REVISION 01

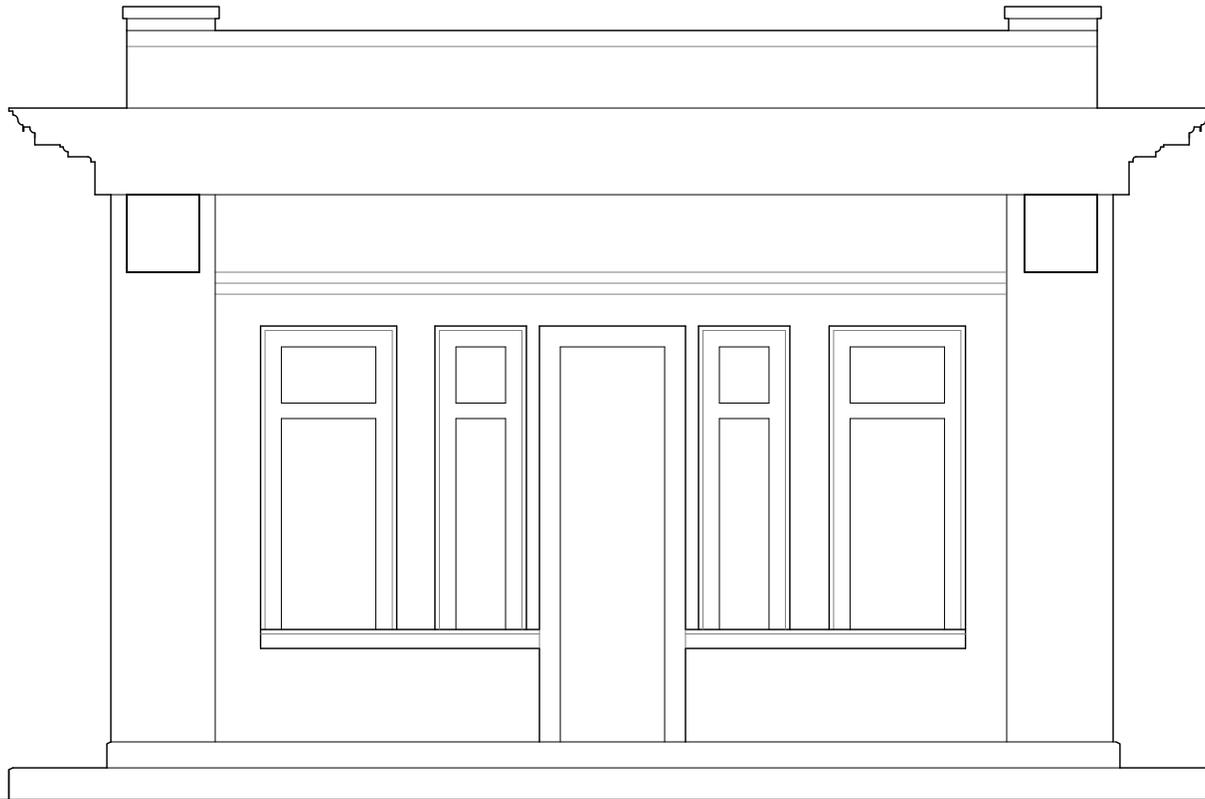


ENLARGED FLOOR PLANS

A2.0



WEST ELEVATION 1
1/4" 1'-0"



WEST ELEVATION 2

1/4" 1'-0"



NORTH ELEVATION

1/4" 1'-0"



EAST ELEVATION

1/4" 1'-0"



SOUTH ELEVATION

1/4" 1'-0"

DOOR SCHEDULE																		HARDWARE SCHEDULE									
#	LOCATION		TYPE		SIZE (NOM)		MATERIAL						ENERGY CODE				REMARKS	TYPE	REMARKS								
							DOOR			FRAME			GLAZING			U-FACTOR				SHGC	SOLAR ORIENTATION	PROJECTION FACTOR					
RM #	DESCRIPTION	EXTERIOR	INTERIOR	WIDTH	HEIGHT	SOLID WOOD	METAL	INSULATED METAL	STOREFRONT	FINISH	WOOD	HOLLOW METAL	STOREFRONT	FINISH	NONE		< 50%	AREA (<50%)	AREA (> 50%)				SAFETY GLAZING	U-FACTOR	SHGC	SOLAR ORIENTATION	PROJECTION FACTOR
01	101	FRONT W/ TRANSOM	X		3'-0"	7'-0"	X			PAINT	X			PAINT		X	10		X			W			EXISTING DOOR	DEADBOLT W/ CLOSER	REMAIN OPEN SIGN
02	101	BACK W/ TRANSOM	X		3'-0"	7'-0"	X			PAINT	X			PAINT		X	10		X			E			EXISTING DOOR	DEADBOLT W/ CLOSER	REMAIN OPEN SIGN
03	101	SERVICE		X	2'-4"	6'-8"	X			PAINT	X			PAINT	X						NA	NA	NA	NA	1HR FIRE RATING	DEADBOLT W/ CLOSER	
04	106	BATHROOM		X	2'-4"	6'-8"	X			PAINT	X			PAINT	X						NA	NA	NA	NA	1HR FIRE RATING	DEADBOLT W/ CLOSER	
05	104	WOMEN'S RESTROOM	X		3'-0"	7'-2"	X			PAINT	X			PAINT	X						NA	NA	NA	NA	1HR FIRE RATING	DEADBOLT W/ CLOSER	
06	105	MEN'S RESTROOM	X		3'-0"	7'-2"	X			PAINT	X			PAINT	X						NA	NA	NA	NA	1HR FIRE RATING	DEADBOLT W/ CLOSER	
07	108	OUTDOOR STORAGE	X		4'-0" PR	9'-0" PR		X		PAINT		X		PAINT	X						NA	NA	NA	NA	CONTAINER DOOR	PANIC BAR	

GENERAL INFILTRATION REQUIREMENTS:

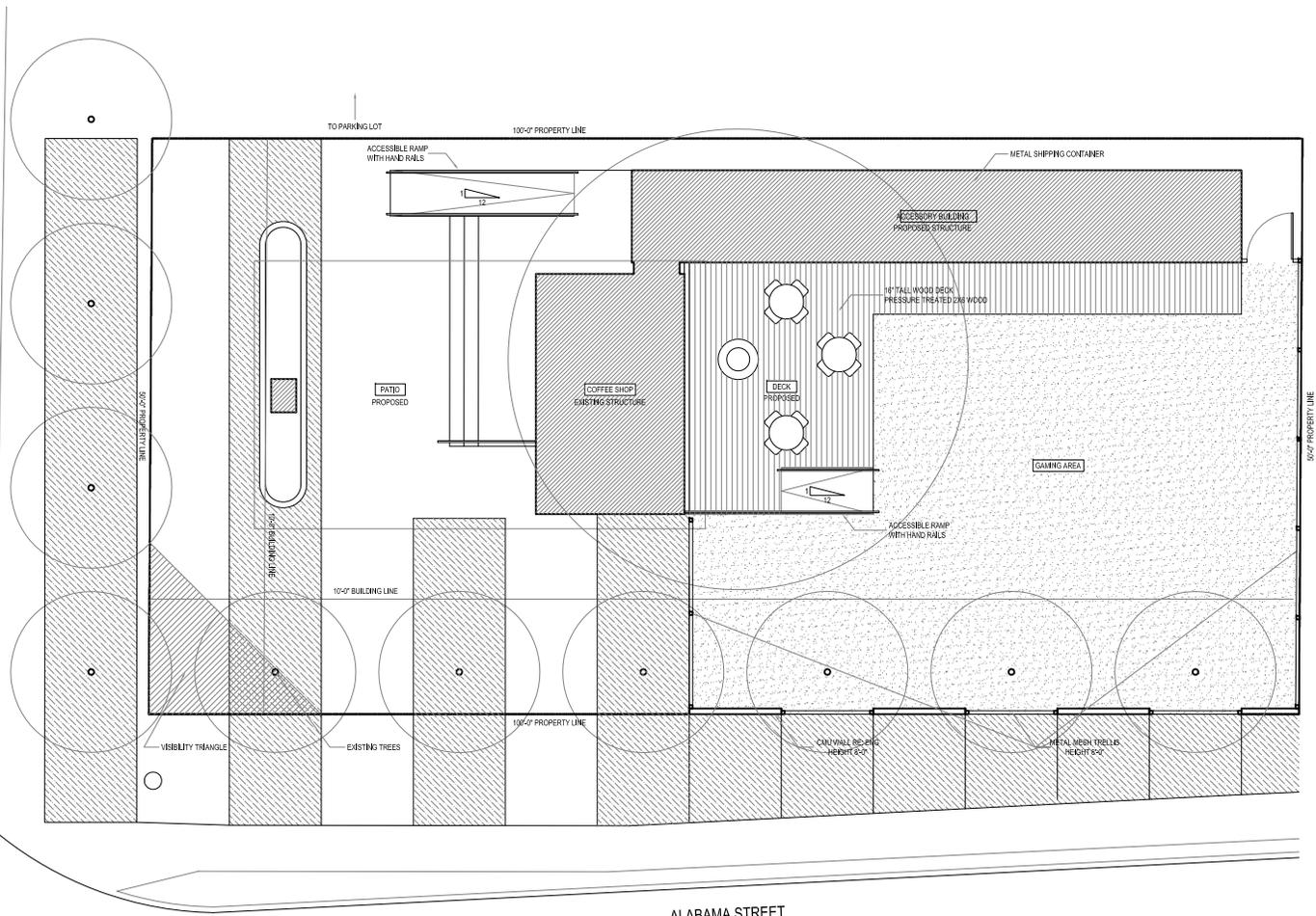
1. ALL EXTERIOR JOINTS AND OPENINGS IN THE BUILDING ENVELOPE THAT ARE AN OBSERVABLE SOURCE OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED.
2. SITE CONSTRUCTED DOORS, WINDOWS AND SKYLIGHTS SHALL BE CAULKED BETWEEN THE UNIT AND THE BUILDING AND SHALL BE WEATHER-STRIPPED (EXCEPT FOR UNFRAMED GLASS DOORS AND FIRE DOORS)
3. MANUFACTURED DOORS AND WINDOWS INSTALLED SHALL HAVE AIR INFILTRATION RATES CERTIFIED BY THE MANUFACTURER.
4. ALL INSULATING MATERIAL SHALL BE INSTALLED IN COMPLIANCE WITH FLAME SPREAD RATING AND SMOKE DENSITY REQUIREMENTS OF THE 2000 IBC WITH CITY OF HOUSTON AMENDMENTS.

WINDOW SCHEDULE																	
#	LOCATION		SIZE (NOM)		MATERIAL						ENERGY				REMARKS		
					FRAME			GLAZING			U-FACTOR	SHGC	SOLAR ORIENTATION	PROJECTION FACTOR			
RM #	DESCRIPTION	WIDTH	HEIGHT	WOOD	HOLLOW METAL	STOREFRONT	FINISH	AREA	TYPE	U-FACTOR					SHGC	SOLAR ORIENTATION	PROJECTION FACTOR
01	102	BACK BAR	2'-8"	6'-0"	X			PAINT	12 SF					NEW FROM VINTAGE STOCK TO MATCH ORIGINAL	W		DOUBLE HUNG WITH FIXED TRANSOM
02	102	BACK BAR	1'-8"	6'-0"	X			PAINT	6 SF					NEW FROM VINTAGE STOCK TO MATCH ORIGINAL	W		DOUBLE HUNG WITH FIXED TRANSOM
03	101	ORDER/PU	1'-8"	6'-0"	X			PAINT	6 SF					NEW FROM VINTAGE STOCK TO MATCH ORIGINAL	W		DOUBLE HUNG WITH FIXED TRANSOM
04	101	ORDER/PU	2'-8"	6'-0"	X			PAINT	12 SF					ORIGINAL WINDOW	W		DOUBLE HUNG WITH FIXED TRANSOM
05	102	BACK BAR	2'-8"	6'-0"	X			PAINT	13 SF					NEW FROM VINTAGE STOCK TO MATCH ORIGINAL	E		DOUBLE HUNG WITH FIXED TRANSOM
06	102	BACK BAR	2'-8"	6'-0"	X			PAINT	13 SF					NEW FROM VINTAGE STOCK TO MATCH ORIGINAL	E		DOUBLE HUNG WITH FIXED TRANSOM
07	101	ORDER/PU	2'-8"	4'-7"	X			PAINT	8 SF					NEW FROM VINTAGE STOCK TO MATCH ORIGINAL	S		DOUBLE HUNG WITH FIXED TRANSOM
08	101	ORDER/PU	2'-0"	4'-7"	X			PAINT	6 SF					ORIGINAL WINDOW	S		DOUBLE HUNG WITH FIXED TRANSOM
09	102	BACK BAR	3'-8"	6'-0"	X			PAINT	17 SF					NEW FROM VINTAGE STOCK TO MATCH ORIGINAL	N		DOUBLE HUNG WITH FIXED TRANSOM

GENERAL INFILTRATION REQUIREMENTS:

1. ALL EXTERIOR JOINTS AND OPENINGS IN THE BUILDING ENVELOPE THAT ARE AN OBSERVABLE SOURCE OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED.
2. SITE CONSTRUCTED DOORS, WINDOWS AND SKYLIGHTS SHALL BE CAULKED BETWEEN THE UNIT AND THE BUILDING AND SHALL BE WEATHER-STRIPPED (EXCEPT FOR UNFRAMED GLASS DOORS AND FIRE DOORS)
3. MANUFACTURED DOORS AND WINDOWS INSTALLED SHALL HAVE AIR INFILTRATION RATES CERTIFIED BY THE MANUFACTURER.
4. ALL INSULATING MATERIAL SHALL BE INSTALLED IN COMPLIANCE WITH FLAME SPREAD RATING AND SMOKE DENSITY REQUIREMENTS OF THE 2000 IBC WITH CITY OF HOUSTON AMENDMENTS.

LA BRANCH STREET



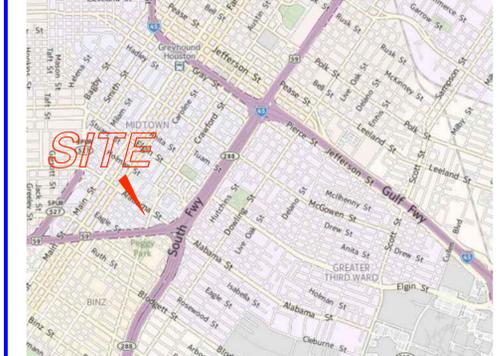
ALABAMA STREET

- DECKING
- CONCRETE PAVING
- LANDSCAPING
- GRAVEL

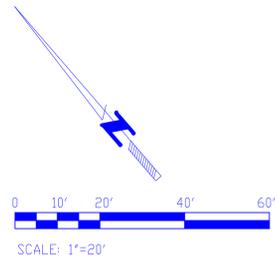
SITE / ROOF PLAN
1/16" = 1'-0"



AERIAL or DIGITAL
NOT TO SCALE



VICINITY MAP
NOT TO SCALE



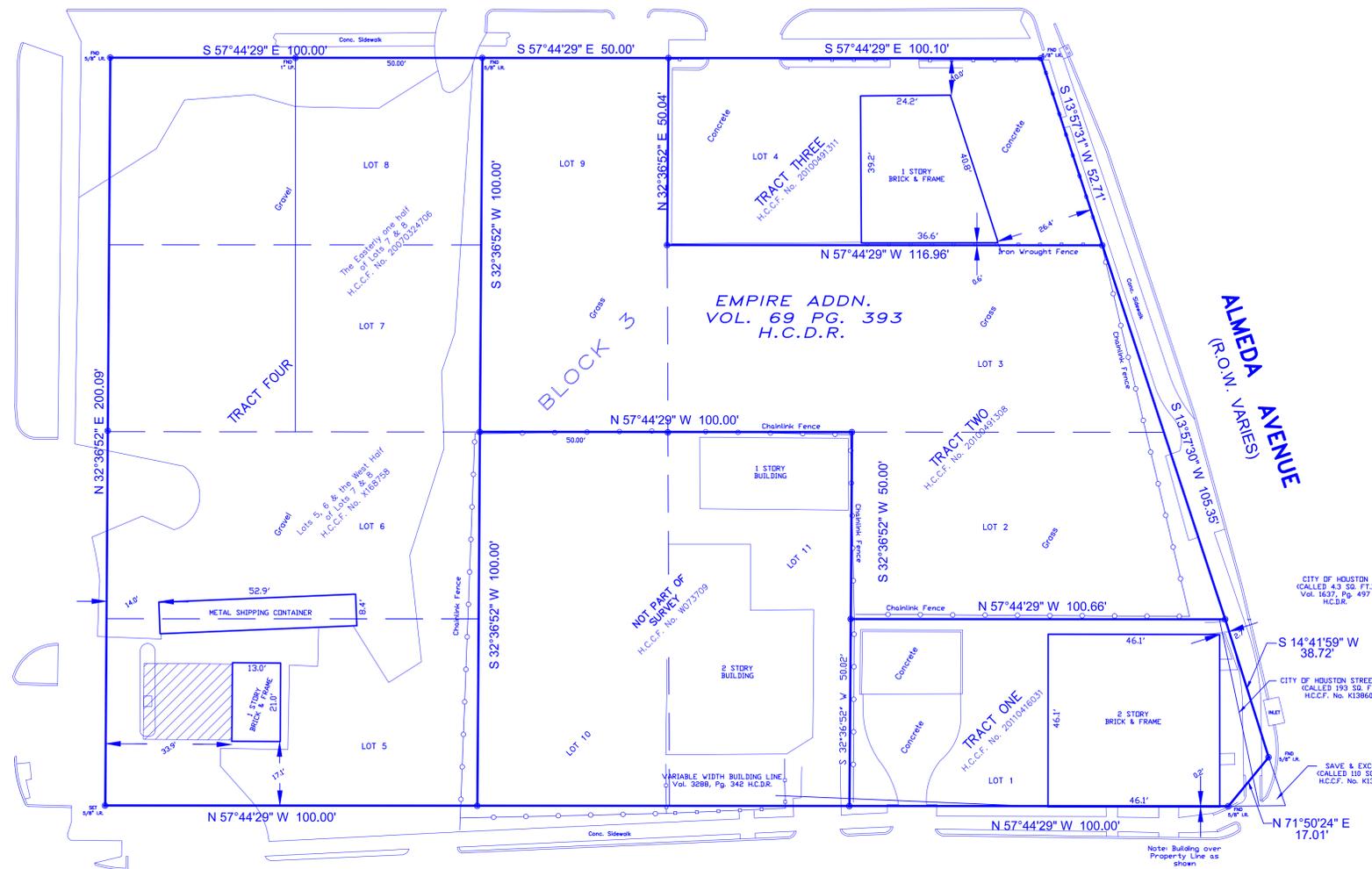
HARRIS COUNTY COMMUNITY COLLEGE CENTRAL CAMPUS
FILE CODE No. 808030 H.C.M.A.T.

WINBERN AVENUE
(50' R.O.W.)

LA BRANCH STREET
(80' R.O.W.)

ALMEDA AVENUE
(R.O.W. VARIES)

ALABAMA AVENUE
(71' R.O.W.)



LEGAL DESCRIPTIONS:

TRACT ONE:

1) LOT 1, BLOCK 3, EMPIRE ADDITION
Vol. 69, Pg. 393, Harris County, Deed Records, Harris County, Texas. Save & Except that portion deeded to the City of Houston per Harris County Clerks File No. K138603.

TRACT TWO:

1) LOTS 2, 3 and 9 BLOCK 3, EMPIRE ADDITION
Vol. 69, Pg. 393, Harris County, Deed Records, Harris County, Texas.

TRACT THREE:

1) LOT 4, BLOCK 3, EMPIRE ADDITION
Vol. 69, Pg. 393, Harris County, Deed Records, Harris County, Texas.

TRACT FOUR:

1) LOTS 5 thru 8, BLOCK 3, EMPIRE ADDITION
Vol. 69, Pg. 393, Harris County, Deed Records, Harris County, Texas.

GENERAL NOTES:

- 1) Subject Parcel lies within the City of Houston ETJ and therefore subject to building requirements and ordinances regarding use of said property, more specifically, but not limited to City of Houston ordinance No. 1999-262 regarding setback requirements and platting regulations. Additional information may be found in the City of Houston building codes. Ultimate approval rests with the City of Houston Planning Commission.
- 2) Survey depicts only visible and apparent evidence of improvement and utility location. Location of sub-surface utilities are beyond the scope of this survey unless otherwise noted.
- 3) The location, and existence of, utilities other than depicted on this survey, cannot be certified to. Utilities depicted on this survey are a compilation of field observation and records available through other sources.
- 4) No observable evidence of site use as a solid waste dump, sump or landfill.
- 5) No observable evidence of cemeteries, earth work moving, building construction or building additions within recent months.
- 6) The subject property has access to and from a duly dedicated and accepted public street or highway as indicated on the survey.
- 7) Basis of Bearings = State Plane Coordinate System (South Central Zone) NAD 83'

BOUNDARY SURVEY

OF LOTS 1 thru 9, BLOCK 3
EMPIRE ADDITION

Harris County, Texas
VOL. 69, PG. 393, Harris County Deed Records.

Date: 6.25.2013
Field Work: RJS
Drawn By: DB
Project No.: C 1317

Prepared For:
URBAN LIVING
ATTN: ADAM BRACKMAN

Project Location:
ALMEDA at ALABAMA
HOUSTON, TX
Key Map: 493 X

FLOOD DATA
THIS PROPERTY IS NOT IN THE 100 YEAR FLOOD ZONE, IS IN ZONE X PER FIRM MAP, COMMUNITY PANEL No. 48201C0660 L WHICH HAS AN EFFECTIVE DATE OF JUNE 18, 2007, AND IS NOT IN THE SPECIAL FLOOD HAZARD AREA.



Bowden Survey Co.
Professional Land Services
2223 PASO RELLO
Houston, Texas 77077
Phone: (281) 531-1900 Fax: (281) 531-4900