

# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



PLANNING &  
DEVELOPMENT  
DEPARTMENT

## PROPERTY

Address 707 Pizer St. Houston, Tx 77009  
Historic District / Landmark \_\_\_\_\_ HCAD # 062122 000015  
Subdivision East Norhill Lot 15 Block 209

## DESIGNATION TYPE

- Landmark  Contributing  
 Protected Landmark  Noncontributing  
 Archaeological Site  Vacant

## PROPOSED ACTION

- Alteration or Addition  Relocation  
 Restoration  Demolition  
 New Construction  Excavation

## DOCUMENTS

- Application checklist for each proposed action and all applicable documentation listed within are attached

## OWNER

Name \_\_\_\_\_  
Company \_\_\_\_\_  
Mailing Address \_\_\_\_\_  
Phone \_\_\_\_\_  
Email \_\_\_\_\_  
Signature \_\_\_\_\_  
Date \_\_\_\_\_

## APPLICANT (if other than owner)

Name Heath Long  
Company Paragon Homes, LLC  
Mailing Address 7070 W 43rd Suite 202  
Houston, Tx 77092  
Phone 832-460-5026  
Email \_\_\_\_\_  
Signature [Signature]  
Date 4-12-16

## ACKNOWLEDGEMENT OF RESPONSIBILITY

**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Deed Restrictions:** You have verified that the work does not violate applicable deed restrictions.

**Public Records:** If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

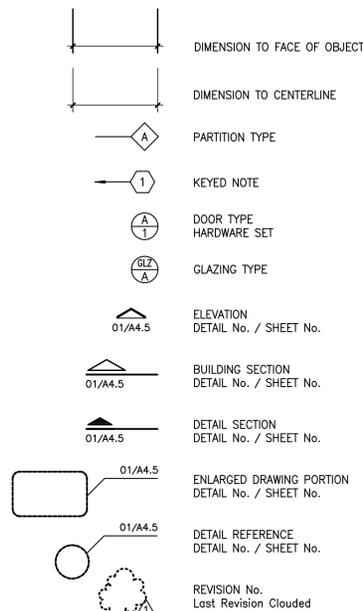
**Compliance:** If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: \_\_\_\_\_ Application received: \_\_\_/\_\_\_/\_\_\_ Application complete: \_\_\_/\_\_\_/\_\_\_

- Floor elevation to be 1' higher than nearest sanitary sewer manhole serving house or 4' higher than crown of street in front of house, whichever is higher.
- Smoke detectors shall be wired directly into house circuits.
- All glazing in hazardous locations shall comply with 2000 IRC.
- Double key cylinder locks are not permitted on required front exit.
- On all shower and tub surrounds, tile, cultured marble, or equal hard non-absorbent surface shall be installed to a minimum height of not less than 70" above the drain inlet.
- Where wood frame walls & partitions are covered on the interior with plaster, tile or other similar materials and are subject to water splash, the framing shall be protected with kraft waterproof building paper or asphalt saturated rag felt. Such protection shall be free from holes and breaks except those fasteners and attachments to walls lapped not less than 2" and at horizontal joints and not less than 6" at vertical joints.
- There shall be a floor or landing on each side of a door. The door may open at a landing that is not more than 7 1/2" lower than the floor level providing the door does not swing over the landing.
- Landings shall have a width not less than the width of the stairway or door, whichever is greater. The landing length measured in direction of travel not less than 36".
- Handgrip portions of handrails shall not be less than 1 1/4" or more than 1 1/2" in cross sectional dimension or the shape shall provide an equivalent gripping surface.
- Handrails on staircase shall be 36" high. Where balustrade is necessary, no opening shall be greater than 4" measured horizontally.
- Guardrails along open balconies shall be 42" high. Where balustrade is necessary, no opening shall be greater than 4" measured horizontally.
- Type "X" 5/8" sheetrock shall be installed under all staircases and on the ceilings and walls of attached garages.
- A non-corrosive drain pan that drains to the outside shall be installed under all water heaters. Each water heater shall be placed over a load bearing partition or beam and placed within 20" of attic access. The water heater and pan shall be placed on a 30" square platform with 24" wide clear pathway from attic access.
- Electrical contractor shall locate 110v outlet within 25" of A/C compressor (GFI if not in soffit).
- Brick metal wall ties (22 ga. X 1" galv. metal) shall be used to reinforce a maximum of 2 sq. ft. 18" O.C. horizontal and 16" vertically.
- Fireplace hearth shall be 3/8" thick non-combustible material.
- Fireplace chimney shall be 2' higher than any obstruction within 10'.
- Maximum window sill height shall be 44" in all habitable rooms.
- All brick veneer non-corrosive steel lintels (ASTM-36A) to extend 4" beyond spanned opening on both sides so that bearing surface on each side is 3 1/2" x 4".
- All installation must have Flame Spread R rating not to exceed 25 and a Smoke Density not to exceed 450.
- All polyfoam sheathing shall be a minimum of 1/2" thick and must have a Flame Spread Rating not to exceed 75 and a Smoke Density not to exceed 450.

GENERAL NOTES

06



- |        |                        |        |                    |
|--------|------------------------|--------|--------------------|
| U.N.O  | Unless Noted Otherwise | GC     | General Contractor |
| A.F.F. | Above Finished Floor   | F.O.S. | Face Of Stud       |
| N.T.S. | Not To Scale           | T.B.D. | To Be Determined   |
| N.I.C. | Not in contract        |        |                    |

SYMBOL LEGEND

05

**PROJECT LOCATION:** 707 Pizer Street  
Houston, TX 77009

**STORIES:** One story

**CODES:** **Residential**  
2012 IRC Houston Amendments  
**Electrical**  
2014 NEC Houston Amendments  
**Mechanical**  
2012 UMC Houston Amendments  
**Plumbing**  
2012 UPC Houston Amendments

**Residential Energy**  
2009 IECC Houston Amendments

**LOT 15, BLOCK 209**  
**EAST NORHILL**  
VOL. 6, PG. 65, VOL. 641, PG. 109, VOL. 1690, PG. 85  
H.C.C.F. NO. H007800, N095548, N620331

**Type of Construction Occupancy:** Single Family

CONSTRUCTION DATA

04

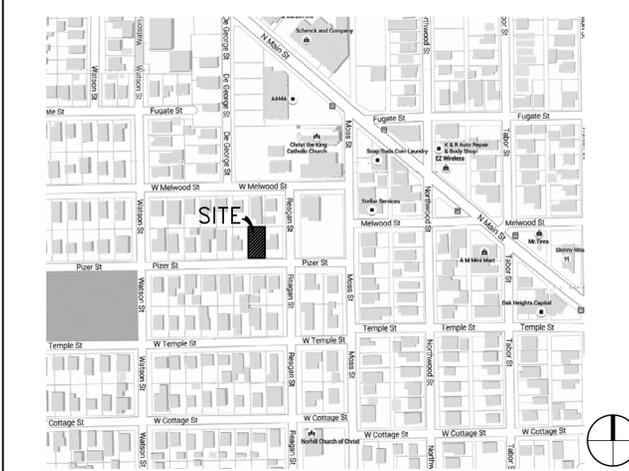
VICINITY MAP

N.T.S.

03

LIST OF DRAWINGS

02

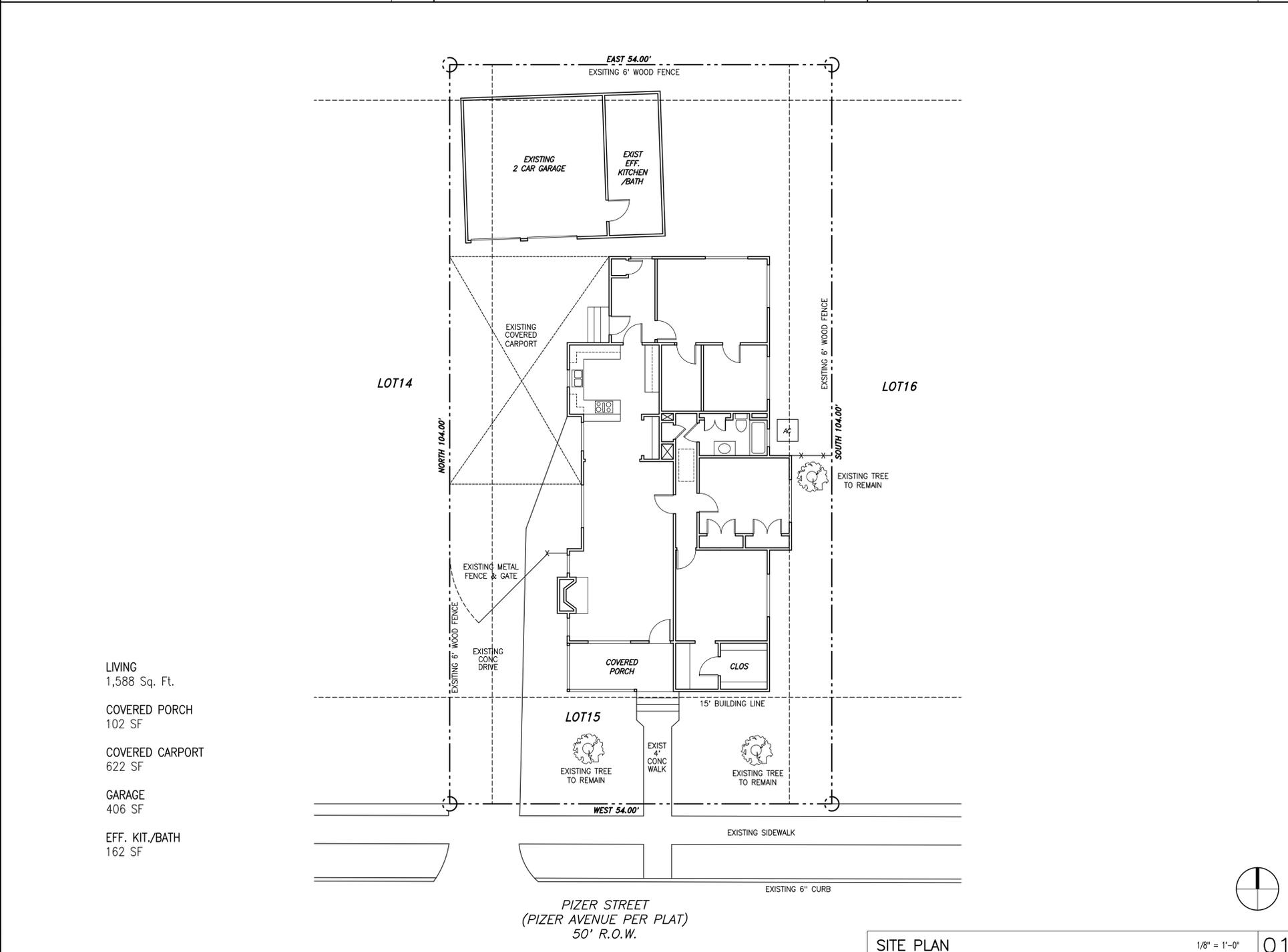


ARCHITECTURAL

- A1.0 PROJECT INFORMATION / SITE PLAN
- A1.2 DEMOLITION PLAN
- A2.1 ARCH. FLOOR PLAN
- A3.0 ELEVATIONS
- A3.1 SECTIONS / DOOR SCHEDULES/ELEVATIONS

M.E.P.

- E1.0 ELECTRICAL PLANS
- M1.0 MECHANICAL PLANS
- P1.0 PLUMBING PLAN



PIZER STREET  
(PIZER AVENUE PER PLAT)  
50' R.O.W.

SITE PLAN

1/8" = 1'-0"

01

**MAKI-TECT**  
One Northwest Centre  
Suite 239  
13831 Northwest Freeway  
Houston, TX 77040  
Phone: 281.763.0428  
Phone: 713.240.8544  
Fax: 281.758.0228  
Web: Maki-Tect.com

CONSULTING ENGINEER

**Nedu Engineering SERVICES**  
12225 Katy Road, Suite 200  
Houston, TX 77070  
Phone: 281.488-1888  
Fax: 281.488-1889  
Type No. E-5029

NO.	DATE	ISSUE
	03/08/16	REVIEW

Proposed Renovation  
  
707 PIZER STREET  
HOUSTON, TX 77009

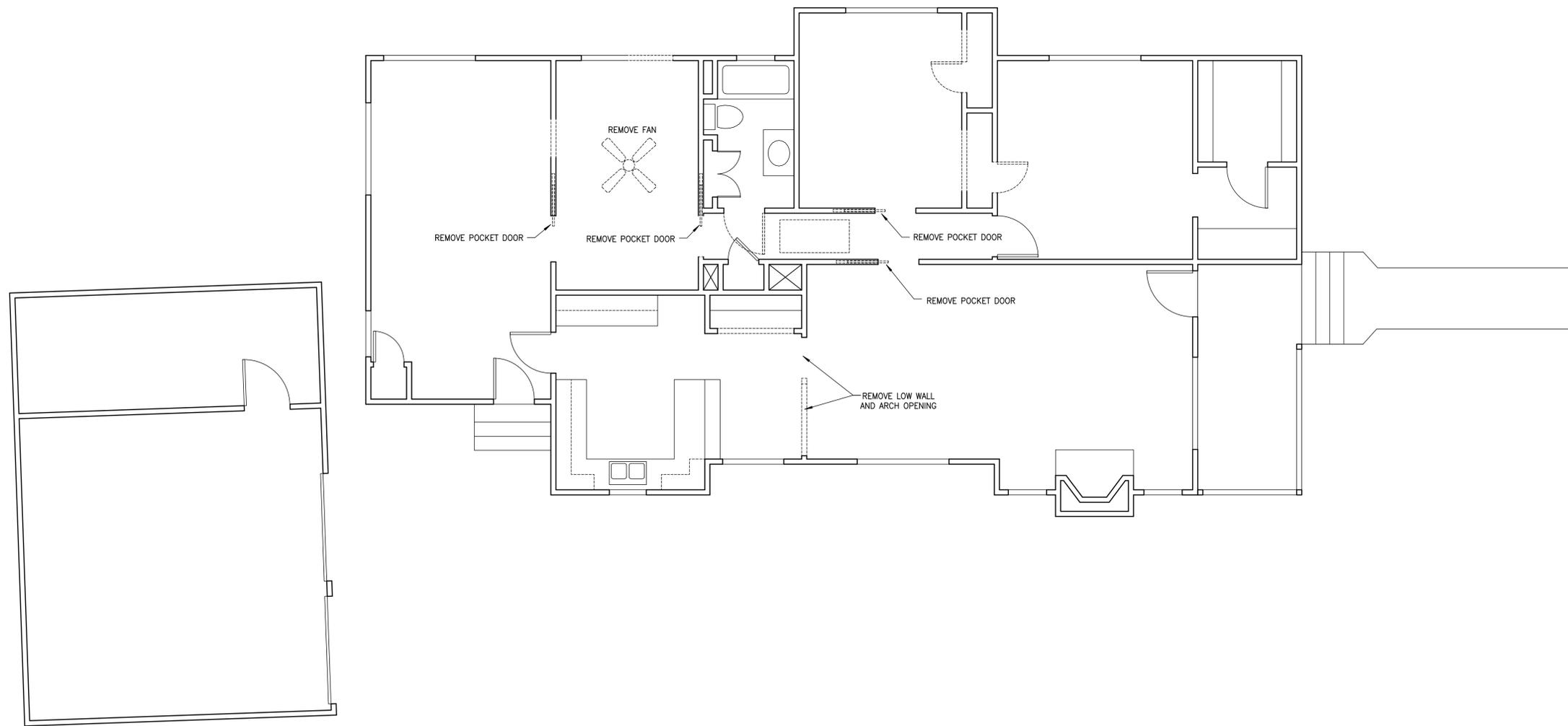
PROJECT INFORMATION  
SITE PLAN

IA0216 / CD **A1.0**

03 LEGEND

----- EXISTING TO BE REMOVED  
===== EXISTING TO REMAIN

02



DEMOLITION PLAN

1/4" = 1'-0"

01

NO.	DATE	ISSUE
	03/08/16	REVIEW

Proposed Renovation

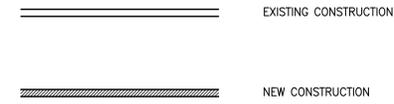
707 PIZER STREET  
HOUSTON, TX 77009

DEMOLITION PLAN

1A0216 / CD

A1.2

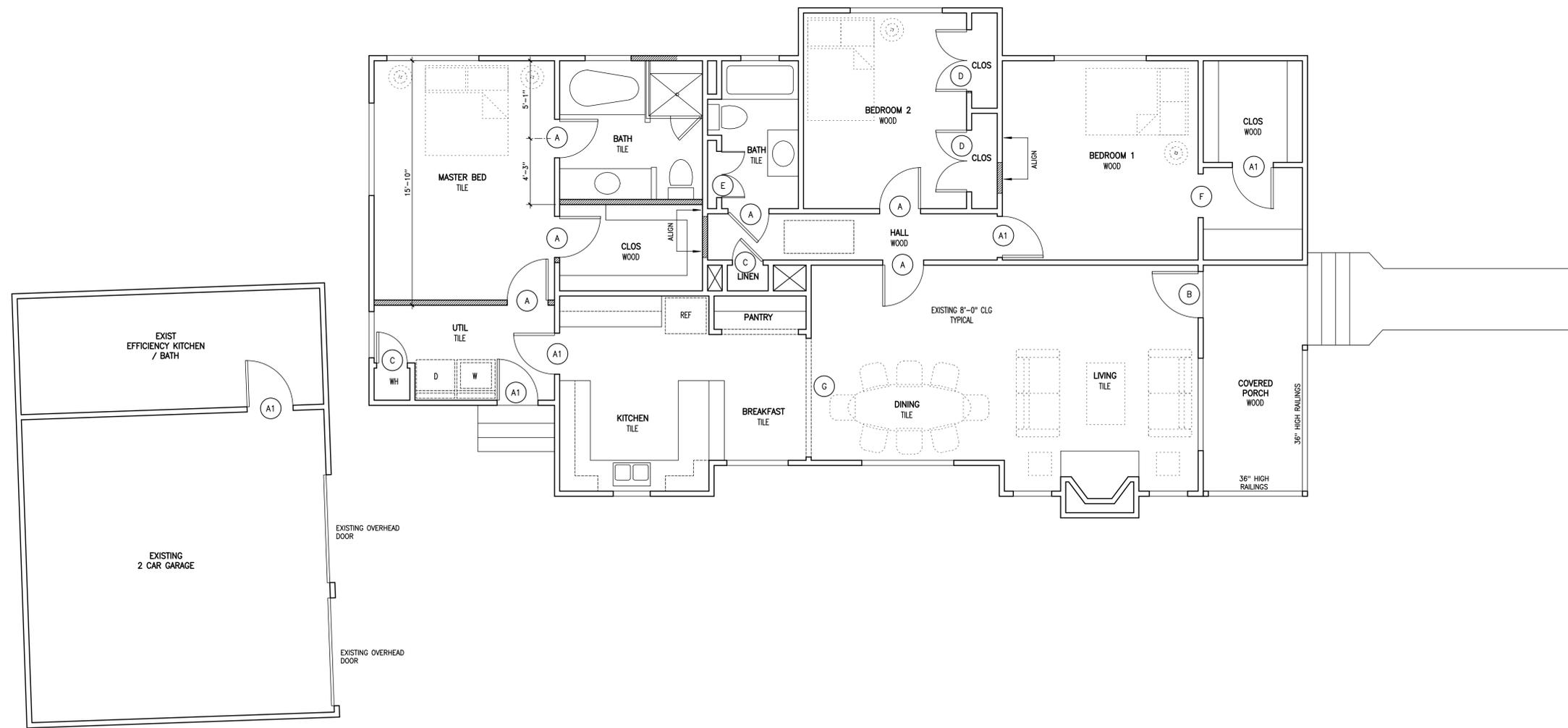
- Written dimensions on drawings take precedence over scaled dimension. Contractor shall verify all dimensions. If any discrepancies are found the Owner shall be notified immediately for clarification.
- The Contractor shall obtain and pay for all fees, surveys, testing, permits, and inspections required in connection with the execution of all work and as required by the City of Houston.
- The Contractor shall conform to all local, state, and national codes and ordinances applicable to this work in effect at the time this work is performed, and in cases where conflicts arise, the more stringent interpretation will govern.
- The Contractor is responsible for the installation and connection of all new and existing utilities required for this project. Verify locations of existing utilities.
- The Contractor shall field inspect and verify all existing conditions of the site, utilities, existing drainage, and adjacent properties prior to starting any work herein described by these documents. Contractor shall notify the Owner of any conditions that differ from these documents prior to the execution of any work for direction in resolving the difference (if any.)
- The Contractor shall coordinate all aspects of the project as related to the execution of these documents. Contractor shall notify the Owner of discrepancies found within these documents during any phase of the work. The Contractor shall receive direction from the Owner to resolve the discrepancies (if any) prior to commencing that area of the work or commencing any related work affecting the area in question.
- The Contractor shall maintain free and safe passage to and from residence.
- Contractor shall keep the premises free from accumulation of waste material and rubbish caused by the Contractor's operations and shall provide for the removal of these items as required at least every week and as required by the City of Houston. The work site shall be swept daily.
- All excavated soil from foundation shall be removed from the construction site and may not be used as fill dirt unless specifically called for on the structural plans.
- All escape/rescue windows from sleeping rooms will have a min. clear opening of 5.7 sq. ft. Min. clear opening width 20" min. clear height 24", per IRC R310.4
- Mechanical access in attic opening shall be large enough to allow removal of the largest appliance. The rough opening shall be 30" x 54" and the stair load capacity shall be minimum of 350 pounds capacity. Per. IRC M1305.1.3.
- Garage is existing and existing laning complies with code.



GENERAL NOTES

03 LEGEND

02



FLOOR PLAN

1/4" = 1'-0"

01

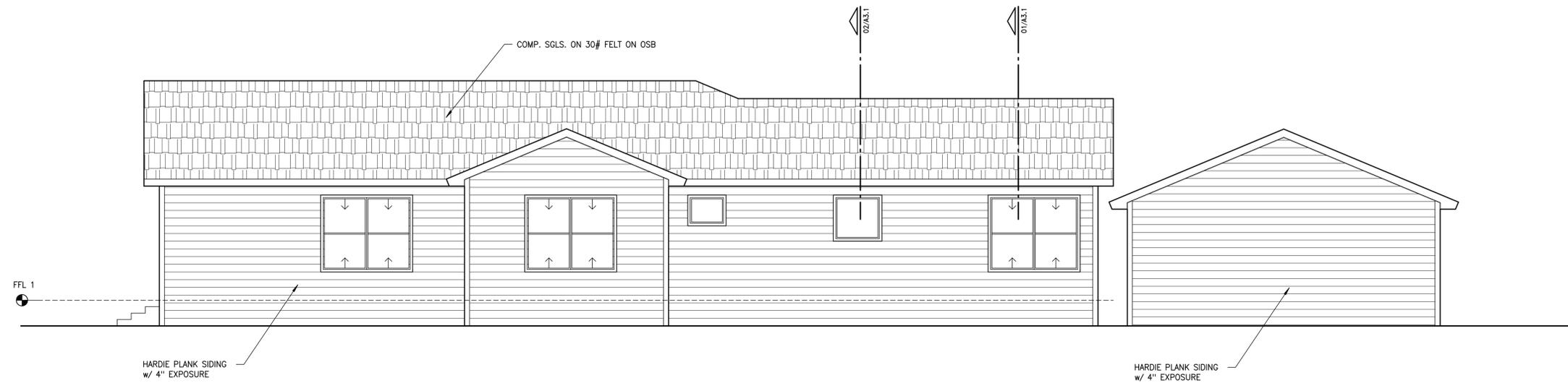
CONSULTING ENGINEER

NO.	DATE	ISSUE
	03/08/16	REVIEW

Proposed Renovation  
  
 707 PIZER STREET  
 HOUSTON, TX 77009

FLOOR PLAN  
 INTERIOR ELEVATIONS

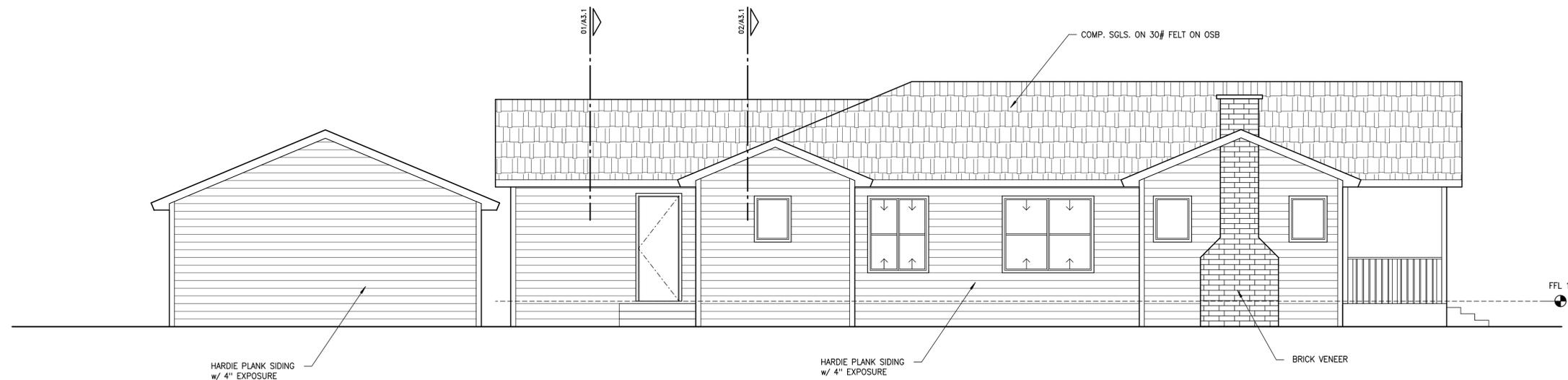
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SIDE ELEVATION

1/4" = 1'- 0"

03

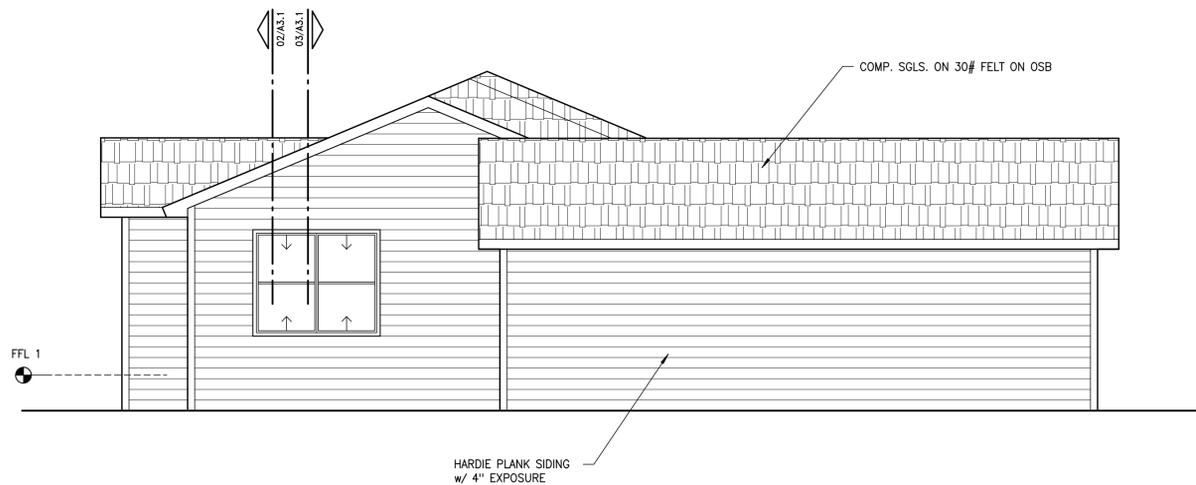


SIDE ELEVATION

1/4" = 1'- 0"

02

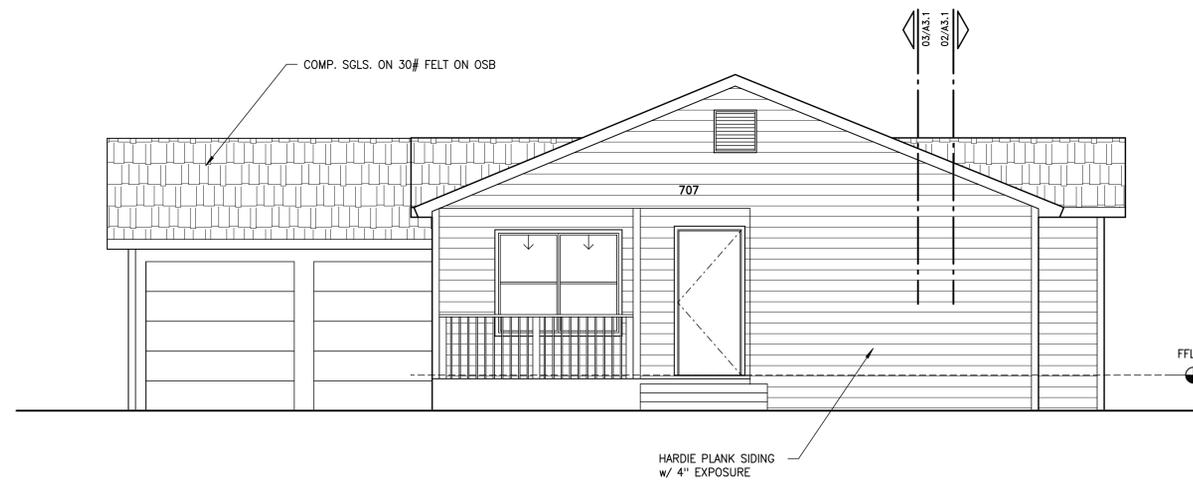
All escape/rescue windows from sleeping rooms will have a min. clear opening of 5.7 sq. ft. Min. clear opening width 20" min. clear height 24", per IRC R310.4



REAR ELEVATION

1/4" = 1'- 0"

04



FRONT ELEVATION

1/4" = 1'- 0"

01

NO.	DATE	ISSUE
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Proposed Renovation

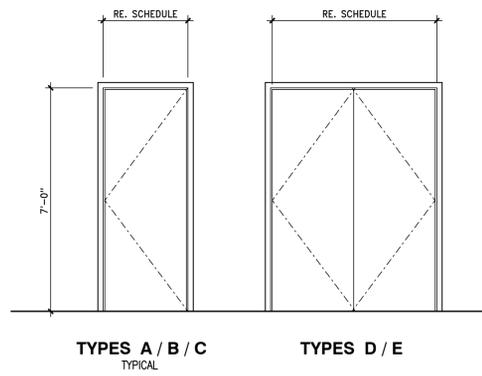
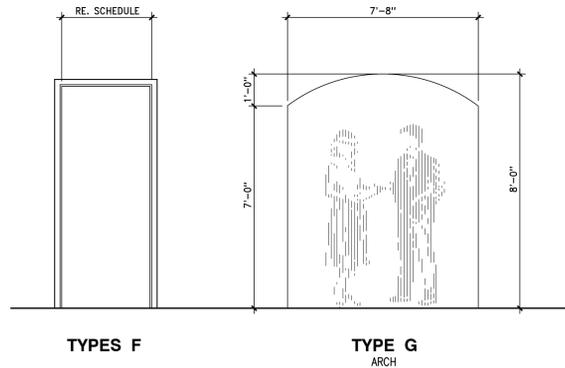
707 PIZER STREET  
 HOUSTON, TX 77009

ELEVATIONS

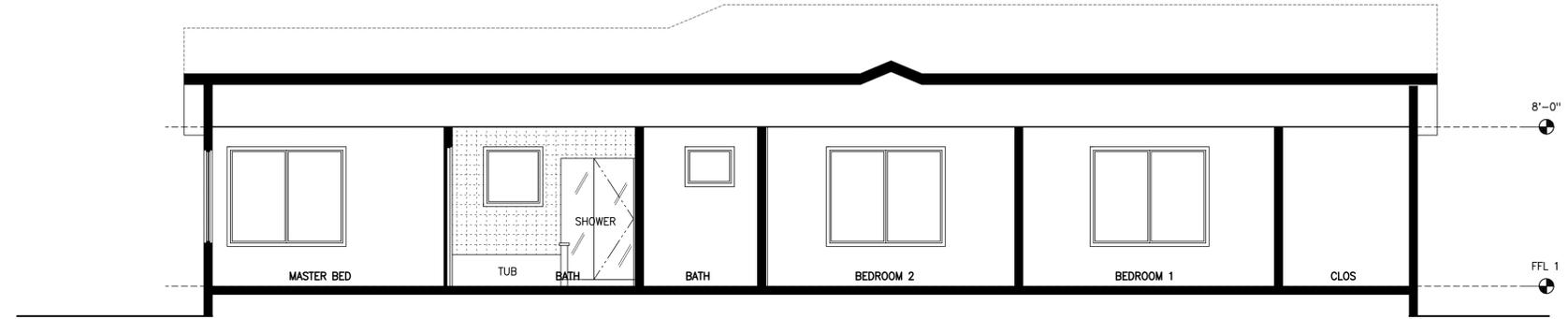
1A0216 / CD

A3.0

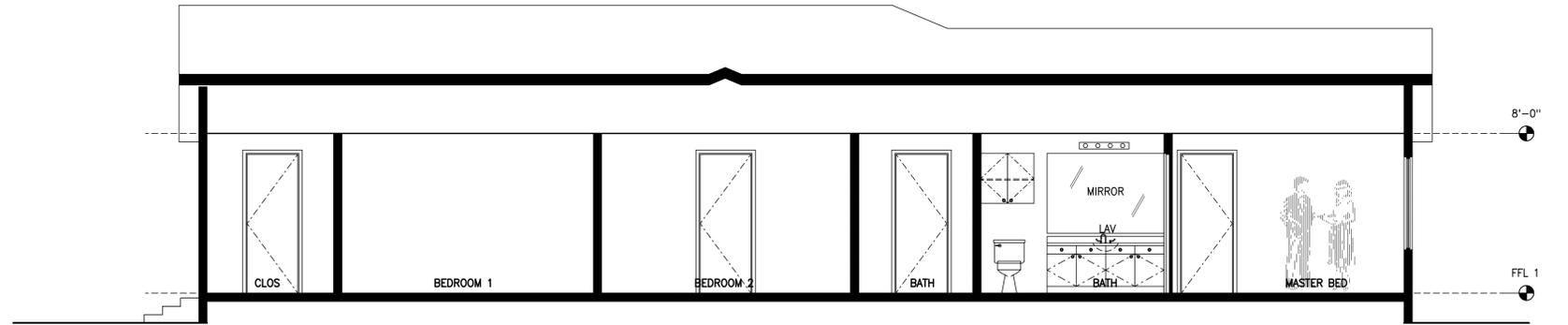
DOOR TYPE	DOOR SIZE		MATERIAL / FINISH		REMARKS
	Width X Height X Thickness	Pair	Door	Frame	
A	2'-8" x 7'-0" x 1 3/4"		SC WOOD / WOOD VENEER	WOOD / PAINT	NEW DOOR
A1	2'-8" x 7'-0" x 1 3/4"		SC WOOD / WOOD VENEER	WOOD / PAINT	EXISTING DOOR
B	3'-0" x 7'-0" x 1 3/4"		SC WOOD / WOOD VENEER	WOOD / PAINT	EXISTING DOOR
C	2'-0" x 7'-0" x 1 3/4"		SC WOOD / WOOD VENEER	WOOD / PAINT	EXISTING DOOR
D	2'-0" x 7'-0" x 1 3/4"	X	SC WOOD / WOOD VENEER	WOOD / PAINT	EXISTING DOOR
E	1'-6" x 7'-0" x 1 3/4"	X	SC WOOD / WOOD VENEER	WOOD / PAINT	EXISTING DOOR
F	2'-10" x 7'-0" x 1 3/4"		NONE	WOOD / PAINT	EXISTING CASED OPENING
G	7'-8" x 8'-0"		NONE	NONE	ARCHED OPENING 12" RISE



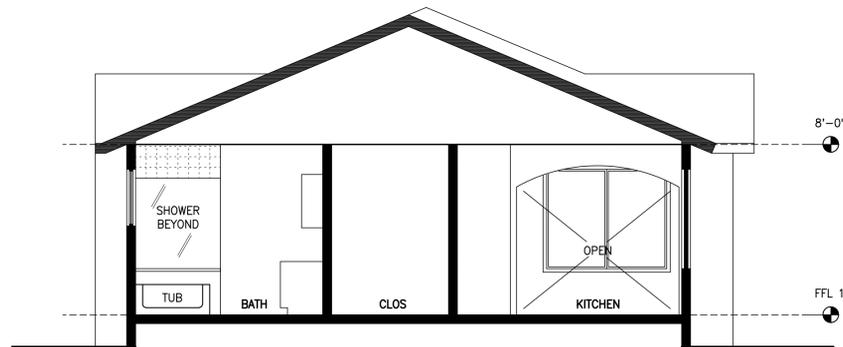
DOOR & FRAME ELEVATIONS / DOOR SCHEDULE 3/8" = 1'- 0" 05



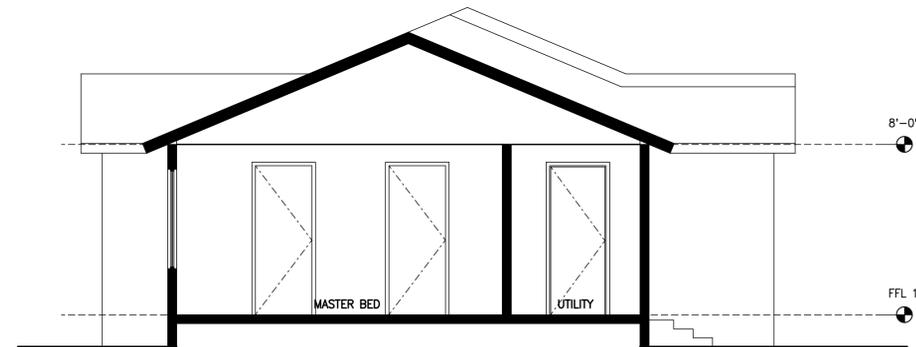
SECTION 1/4" = 1'- 0" 03



SECTION 1/4" = 1'- 0" 02



SECTION 1/4" = 1'- 0" 04



SECTION 1/4" = 1'- 0" 05

NO.	DATE	ISSUE
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Proposed Renovation  
 707 PIZER STREET  
 HOUSTON, TX 77009

SECTIONS  
 DOOR / FRAME ELEV.  
 DOOR SCHEDULE

FILE: X:\03\0001\_X\03X1WF

- ELECTRICAL INSTALLATION IS TO BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED ELECTRICAL PERMIT AND INSPECTIONS.
- ALL EXTERIOR RECEPTACLES ARE TO BE WATERPROOF AND GROUND FAULT INTERRUPTERS. (WP/GFI)
- PROVIDE ELECTRICAL DISCONNECTS AT A/C COMPRESSORS WHEN MAIN ELECTRICAL PANEL IS OUT OF SIGHT.
- ALL SMOKE DETECTORS ARE TO BE 110V AND INTERCONNECTED INTO MAIN HOUSE ELECTRICAL SYSTEM AND HAVE BATTERY BACKUP
- ALL CEILING FAN LOCATIONS AND ANY FUTURE LOCATIONS AND ANY HANGING FIXTURES ARE TO BE SECURELY BLOCKED.
- FIELD VERIFY ROUGH-IN LOCATIONS FOR ALL LIGHTS AND EQUIPMENT BEFORE INSTALLATION.
- ALL WET AREA PLUGS SHALL BE INSTALL WITH GFI AS REQUIRED PER CODE.
- VERIFY EXACT REQUIREMENTS FOR ELECTRICAL EQUIPMENT WITH OWNER FOR THIS PROJECT. IN THE CASE OF A DISCREPANCY BETWEEN THE ACTUAL SELECTION OF EQUIPMENT AND THESE DRAWINGS, ADVISE THE OWNER BEFORE WORK BEGINS.
- FIELD VERIFY ROUGH-IN LOCATIONS FOR ALL LIGHTS AND EQUIPMENT BEFORE INSTALLATION.
- POWER OUTLETS SHALL BE INSTALLED AT 18" A.F.F. TO BOTTOM OF OUTLET UNLESS NOTED OTHERWISE.
- LIGHT SWITCHES SHALL BE INSTALLED AT 42" A.F.F. TO TOP OF SWITCHES UNLESS NOTED OTHERWISE.
- CONTRACTOR HAVE TO FURNISH A FILE SYSTEM FOR ALL EQUIPMENT AND MAINTENANCE OF EACH PIECE OF EQUIPMENT.
- ALL ELECTRICAL CIRCUITS HAVE TO BE MARKED AS TO WHAT EACH CONTROLS. CONTRACTOR HAVE TO FURNISH PHONE CONTACTS FOR WARRANTY SHOULD CONTRACTOR NOT BE LIABLE.

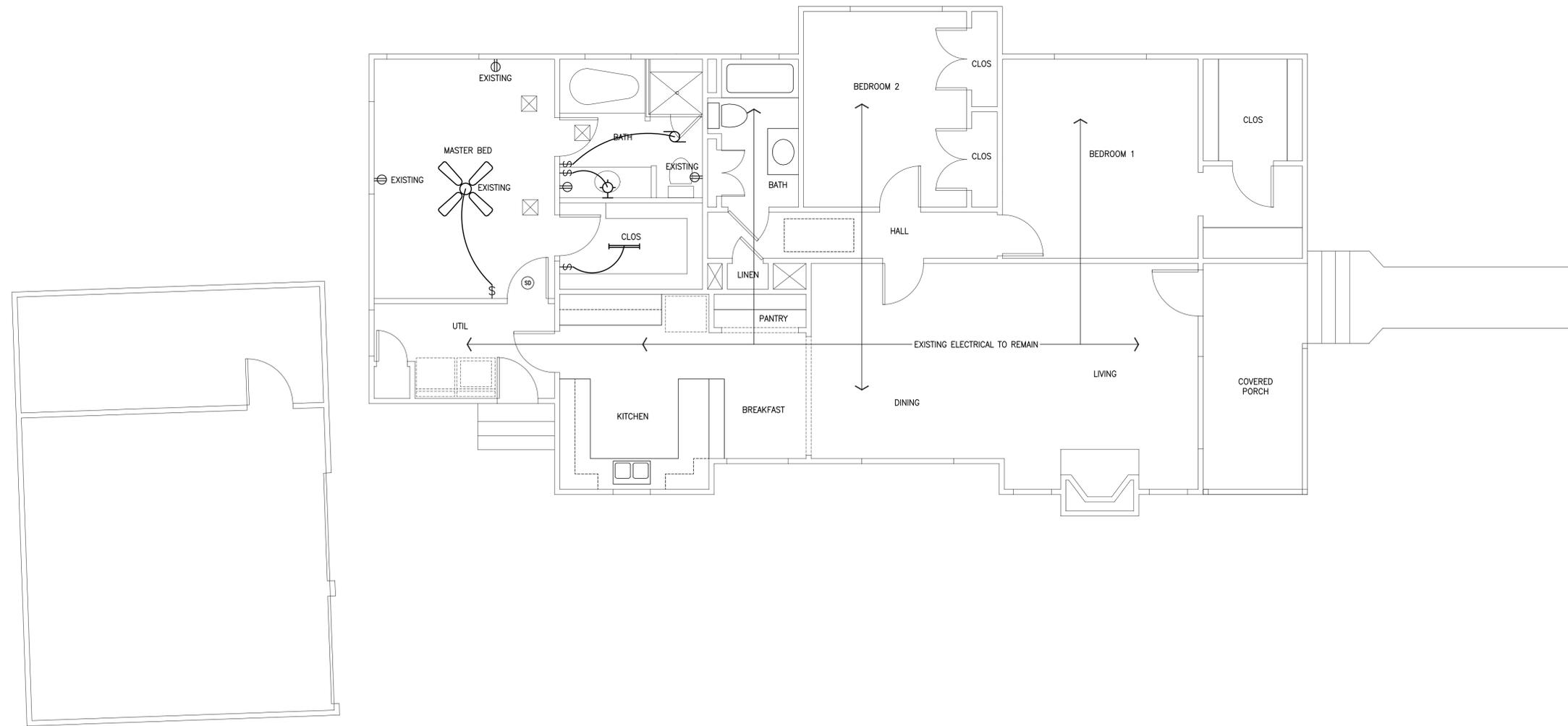
- |  |                                    |  |  |
|--|------------------------------------|--|--|
|  | CEILING FAN W/WO/ LIGHT KIT        |  | DUPLEX OUTLET                                      |
|  | RECESSED DOWNLIGHT                 |  | DUPLEX OUTLET - CEILING MOUNTED                    |
|  | WALL SCONCE / EXTERIOR FLOOD LIGHT |  | 220v OUTLET  |
|  | LIGHT SWITCH                       |  | GROUND FAULT INTERRUPT                             |
|  | 3-WAY LIGHT SWITCH                 |  | CABLE TV / SATELLITE                               |
|  | INCANDESCENT LIGHT FIXTURE         |  | TELEPHONE / DATA OUTLET                            |
|  | CHANDALIER                         |  | DOOR BELL  |
|  | FLUORESCENT FIXTURE                |  | WATERPROOF   |
|  | EXHAUST FAN                        |  | SMOKE DETECTOR w/ BATTERY BACKUP (HARDWIRE & LINK) |
|  | INCANDESCENT LIGHT / EXHAUST FAN   |  |  |

GENERAL NOTES

03

LEGEND

02



ELECTRICAL PLAN

1/4" = 1'-0"

01

NO.	DATE	ISSUE
	03/08/16	REVIEW

Proposed Renovation

707 PIZER STREET  
 HOUSTON, TX 77009

ELECTRICAL PLANS

IA0216 / CD

E1.0

NO.	DATE	ISSUE
	03/08/16	REVIEW

Proposed Renovation  
 707 PIZER STREET  
 HOUSTON, TX 77009

**MECHANICAL PLAN**

1. RETURN AIR AND SUPPLY AIR TRUNKS SHALL BE 1" FIBERGLASS DUCTBOARD AS MANUFACTURED BY CERTAINTEE OR APPROVED EQUAL.
2. SUPPLY AIR BRANCHES, METAL DUCTPIPE SHALL BE EXTERNALLY INSULATED AS WITH A MINIMUM OF 2" FOIL BACKED DUCTWRAP. FOIL-BACKED FLEXDUCT MAY BE USED, BUT NOT TO EXCEED 14'-0" PER INDIVIDUAL LENGTH. SUGGESTED MANUFACTURER - ALCO OR APPROVED EQUAL.
3. STARTING COLLAR WITH DAMPER WILL PRECEDE EACH SUPPLY AIR DIFFUSER IN IT'S INDEPENDANT DUCT BRANCH OR AS SHOWN BY DRAWINGS.
4. CONTRACTOR SHALL BALANCE ENTIRE SYSTEM UPON INSTALLATION OF SAME TO THE SATISFACTION OF OWNERS APPROVAL AND ACCEPTANCE.
5. OUTSIDE AIR INTAKE SHALL BE 15'-0" FROM PLUMBING VENTS. MECHANICAL SYSTEM SHALL BE ROOF APPROVED. ALL EQUIPMENT SHALL BE ELECTRICAL.
6. FRESH AIR MAKE-UP REQ. SHALL BE PROVIDED THROUGH THE A/C SYSTEM AS REQUIRED BY LOCAL CODE.
7. EXHAUST SYSTEM SHALL HAVE AIR SUPPLIED (MAKEUP AIR) TO THE ROOM EQUAL TO THE AMOUNT OF AIR TO BE EXHAUSTED.
8. PER CODE PROVIDE DUCT ENCLOSURE & CONSTRUCT SHAFT ENCLOSURE. DUCT ENCLOSURE SHALL BE OF AT LEAST ONE-HOUR FIRE-RESISTIVE CONSTRUCTION. SMOKE DETECTORS SHALL BE PROVIDED IN SUPPLY AND RETURN PER CODE SMOKE DETECTORS SHALL BE PROVIDED IN SUPPLY AND RETURN PER CODE

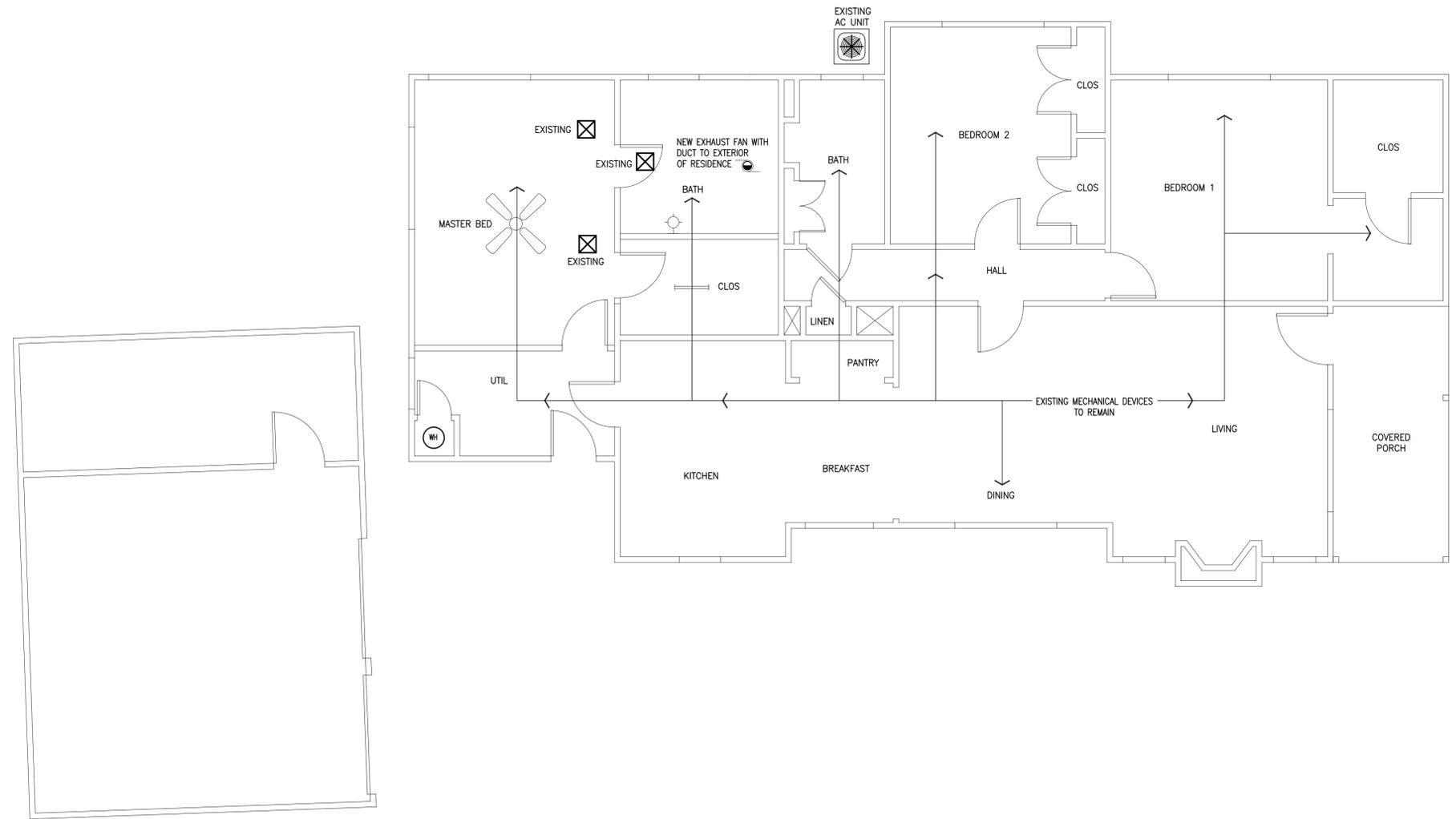
- NOTES ON ENERGY CODE:**
1. AN INTEGRATED AIR ECONOMIZER IS REQUIRED FOR INDIVIDUAL COOLING SYSTEMS OVER 90 kBtu/h OR 3,000 CFM IN THE SELECTED CLIMATE. AN INTEGRATED ECONOMIZER ALLOWS SIMULTANEOUS OPERATION OF OUTDOOR-AIR AND MECHANICAL COOLING.
  2. HEAT TRAPS ARE REQUIRED ON NONCIRCULATING WATER HEATING SYSTEMS ON BOTH INLET AND OUTLET CONNECTIONS. HEAT TRAPS MAY BE PURCHASED.
  3. PIPE INSULATION FOR THE SPECIFIED NON CIRCULATING SERVICE HOT WATER SYSTEM IS REQUIRED FOR ALL PIPING IN THE FOLLOWING CATAGORIES,
    1. THE FIRST 8'-0" OF OUTLET PIPING FROM ANY CONST. TEMP.
    2. INSULATION MUST BE ATLEAST 1/2" AND HAVE A CONDUCTIVITY NO)0.28 BTU-IN/H-FT. (2°F) IN THE PIPING BETWEEN THE STORAGE TANK AND HEAT TRAP.



MECHANICAL GENERAL NOTES

03 LEGEND

02



MECHANICAL PLAN

1/4" = 1'-0"

01

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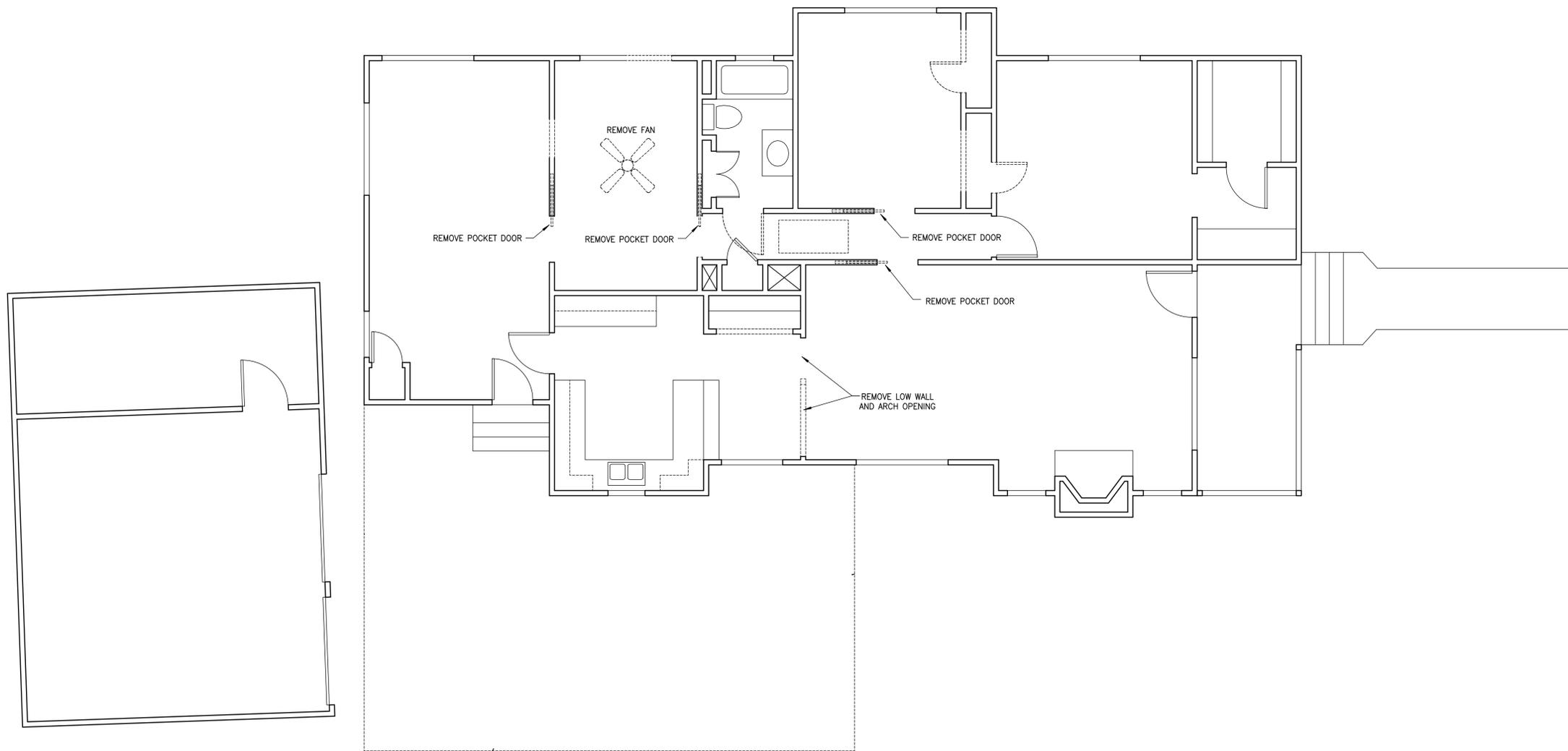




03 LEGEND

----- EXISTING TO BE REMOVED  
 ===== EXISTING TO REMAIN

02



DEMOLITION PLAN

1/4" = 1'-0"

01

NO.	DATE	ISSUE
	03/08/16	REVIEW
	03/14/16	PERMIT & CONSTRUCTION

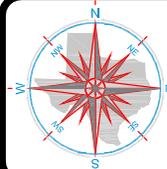
Proposed Renovation

707 PIZER STREET  
 HOUSTON, TX 77009

DEMOLITION PLAN

IA0216 / CD

A1.2



# 707 Pizer Street

Being Lot Fifteen (15), in Block Two Hundred Nine (209), of EAST NORHILL, a subdivision in Harris County, Texas, according to the map or plat thereof, recorded in Volume 6, Page 65 of the Map Records of Harris County, Texas.

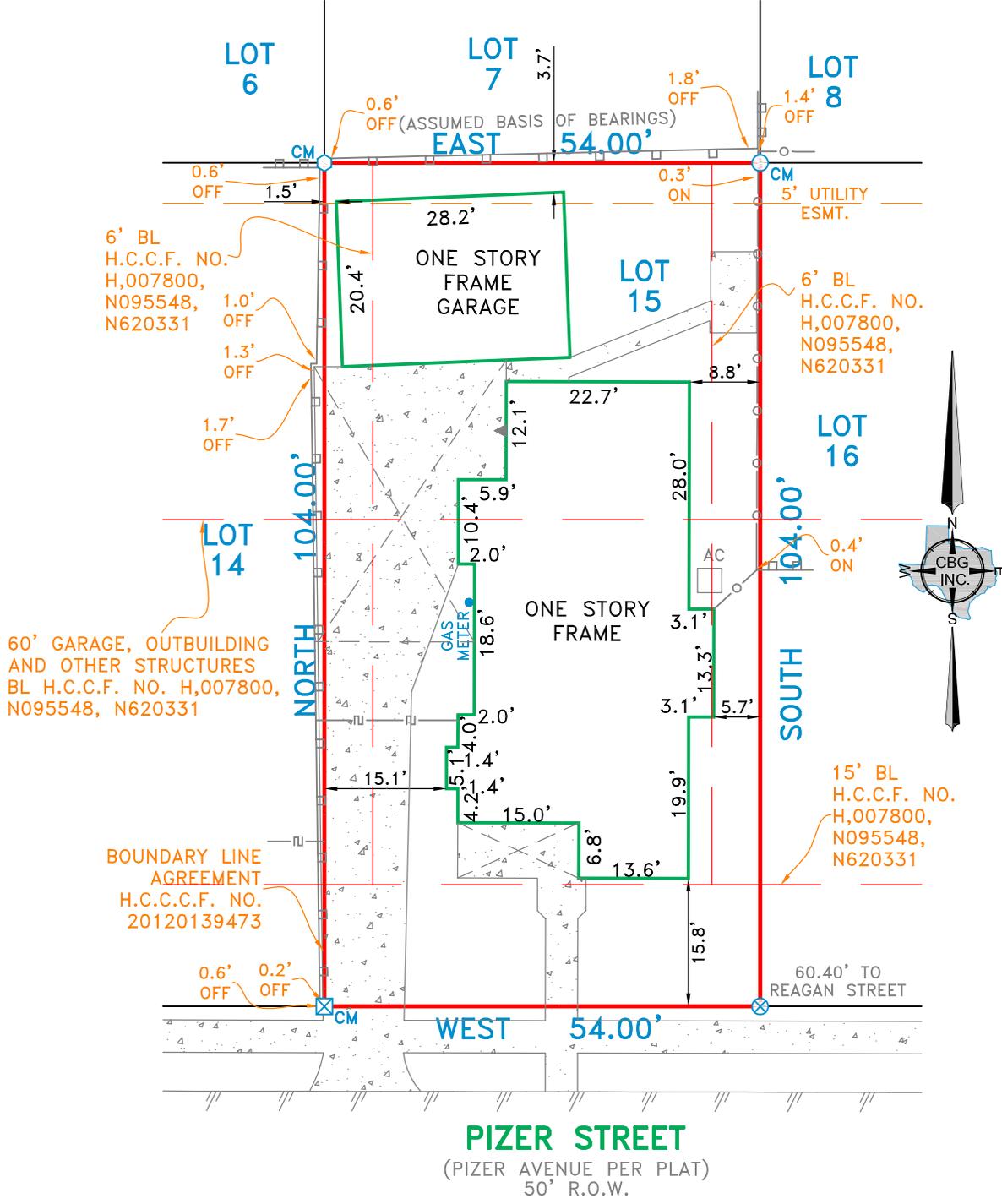


Alamo Title Company



### LEGEND

- 1/2" ROD FOUND
- ⊗ 1/2" ROD SET
- 2" PIPE FOUND
- ⊗ "X" FOUND/SET
- ⊕ 60d NAIL FOUND
- FENCE POST FOR CORNER
- CM CONTROLLING MONUMENT
- AC AIR CONDITIONER
- PE POOL EQUIPMENT
- TE TRANSFORMER PAD
- BRICK COLUMN
- POWER POLE
- ▲ UNDERGROUND ELECTRIC
- △ OVERHEAD ELECTRIC
- OHP— OVERHEAD ELECTRIC POWER
- OES— OVERHEAD ELECTRIC SERVICE
- CHAIN LINK
- WOOD FENCE 0.5' WIDE TYPICAL
- II— IRON FENCE
- X— BARBED WIRE
- /// EDGE OF ASPHALT
- /// EDGE OF GRAVEL
- CONCRETE
- COVERED AREA



### EXCEPTIONS:

NOTE: PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENT RECORDED IN VOL. 6, PG. 65, VOL. 641, PG. 109, VOL. 1690, PG. 85, H.C.C.F. NO. H007800, N095548, N620331

### NOTES:

NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

FLOOD NOTE: According to the F.I.R.M. No. 48201C0670 M, this property does lie in Zone X and does not lie within the 100 year flood zone.

This survey is made in conjunction with the information provided by Alamo Title Company. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Accepted by: \_\_\_\_\_  
Purchaser

Date: \_\_\_\_\_  
Purchaser

Drawn By: CMR

Scale: 1" = 20'

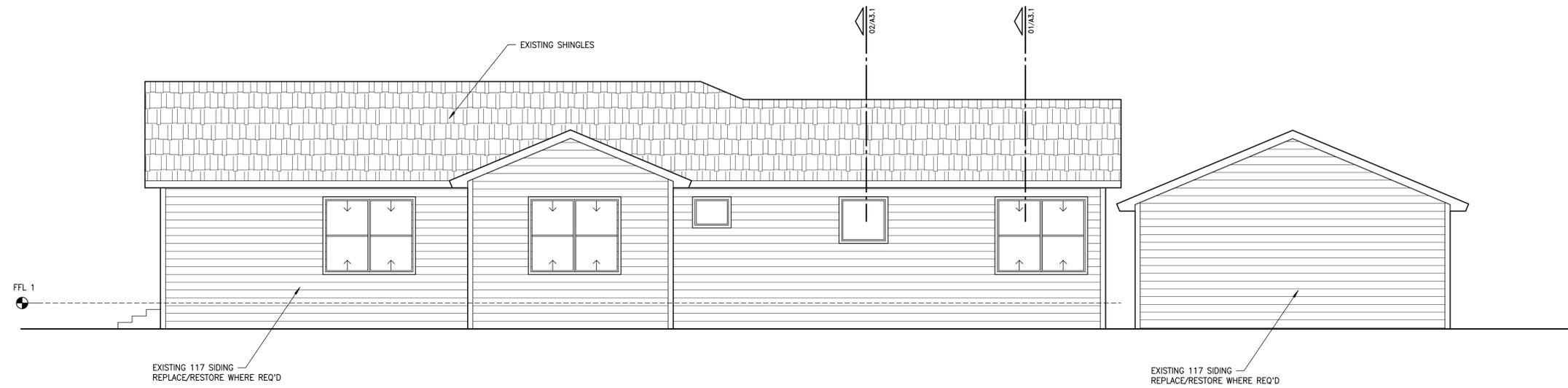
Date: 02/18/16

ATD-26-  
GF No.: 6000261  
600326-SS

Job No. 1602660

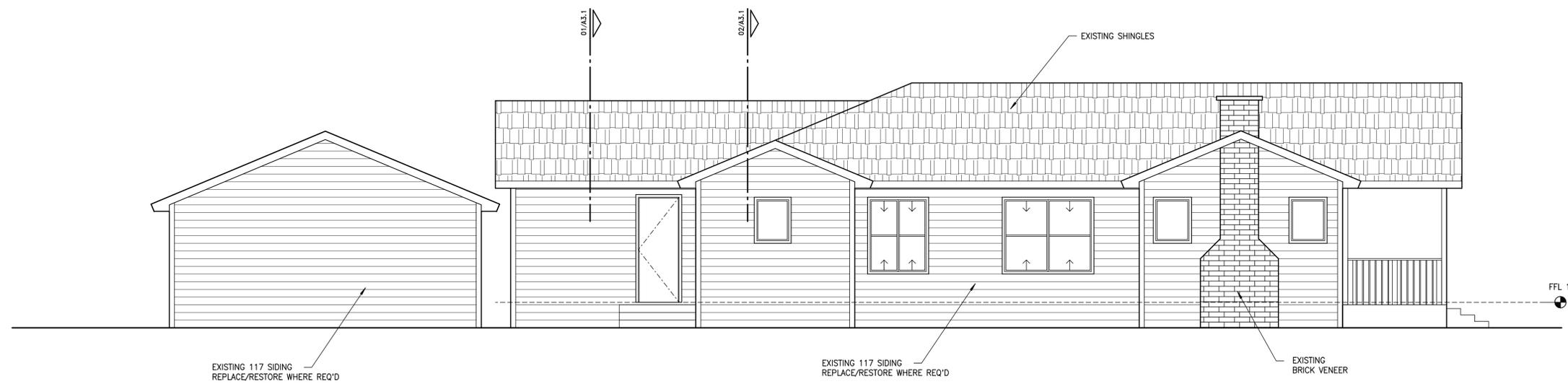
**C.B.G. Surveying, Inc.**  
12025 Shiloh Road, Ste. 230  
Dallas, TX 75228  
P 214.349.9485  
F 214.349.2216  
Firm No. 10168800  
[www.cbgsfw.com](http://www.cbgsfw.com)

J.T. THOMPSON  
4604  
PROFESSIONAL SURVEYOR  
STATE OF TEXAS  
REGISTERED



SIDE ELEVATION – EXISTING

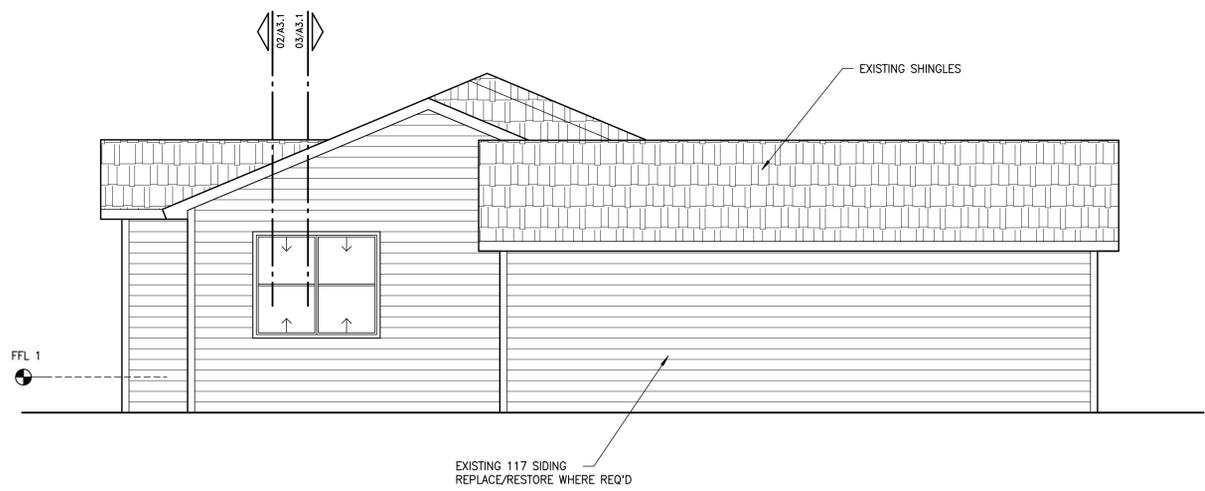
1/4" = 1'- 0" 03



SIDE ELEVATION – EXISTING

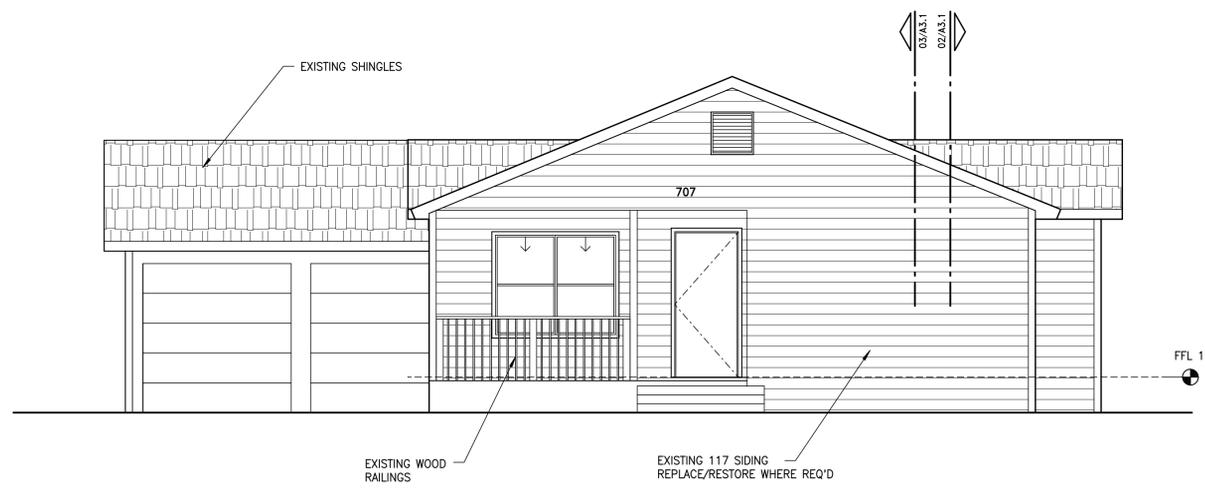
1/4" = 1'- 0" 02

All escape/rescue windows from sleeping rooms will have a min. clear opening of 5.7 sq. ft. Min. clear opening width 20" min. clear height 24", per IRC R310.4



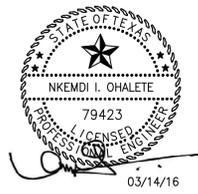
REAR ELEVATION – EXISTING

1/4" = 1'- 0" 04



FRONT ELEVATION – EXISTING

1/4" = 1'- 0" 01



NO.	DATE	ISSUE
	03/08/16	REVIEW
	03/14/16	PERMIT & CONSTRUCTION
	04/26/16	REVISION

Proposed Renovation  
 707 PIZER STREET  
 HOUSTON, TX 77009

EXISTING ELEVATIONS



02/26/2016 01:46 AM



02/26/2016 01:46 AM



02/26/2016 01:46 AM



ELECTRIC FENCE  
CUTS UP EL ESTROGO  
CERRA EL BOTICA

02/26/2016 01:46 AM



02/26/2016 01:46 AM

02/26/2016 01:46 AM





02/26/2016 01:46 AM



02/26/2016 01:47 AM



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02/26/2016 01:47 AM

A close-up photograph showing significant damage to wooden siding and trim. The wood is heavily weathered, with large areas of missing material, exposing the underlying structure. The remaining wood is discolored and stained, particularly with dark brown spots. The image is taken from a low angle, looking up at the corner of a structure. A timestamp is visible in the bottom left corner.

02/26/2016 01:47 AM



02/26/2016 01:47 AM

02/26/2016 01:47 AM





02/26/2016 01:52 AM