

# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



**PLANNING &  
DEVELOPMENT  
DEPARTMENT**

**PROPERTY**

Address 747 Arlington 020254000001  
 Historic District / Landmark Heights South HCAD # 020 2540000025  
 Subdivision Houston Heights Lot 1A/1B Block 258

**DESIGNATION TYPE**

- Landmark
- Contributing
- Protected Landmark
- Noncontributing
- Archaeological Site
- Vacant

**PROPOSED ACTION**

- Alteration or Addition
- Relocation
- Restoration
- Demolition
- New Construction
- Excavation

**DOCUMENTS**

Application checklist for each proposed action and all applicable documentation listed within are attached

**OWNER**

Name Ed and Kelley Duckworth  
 Company \_\_\_\_\_  
 Mailing Address 803 Branard St  
Houston TX 77006  
 Phone 713.373.7776  
 Email [REDACTED]  
 Signature Kelley Duckworth  
 Date 5.1.15

**APPLICANT** (if other than owner)

Name Karen Brasier  
 Company Design 3  
 Mailing Address 3108 Houston Ave  
 Phone 281 908 9188  
 Email [REDACTED]  
 Signature Karen Brasier  
 Date 5.1.15

**ACKNOWLEDGEMENT OF RESPONSIBILITY**

**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Deed Restrictions:** You have verified that the work does not violate applicable deed restrictions.

**Public Records:** If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

**Compliance:** If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: \_\_\_\_\_ Application received: \_\_\_/\_\_\_/\_\_\_ Application complete: \_\_\_/\_\_\_/\_\_\_

# CERTIFICATE OF APPROPRIATENESS

## ALTERATION & ADDITON CHECKLIST

**Well in advance** of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable items and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-241 for approval criteria for alteration, rehabilitation, restoration and additions.

**PROPERTY ADDRESS:** 747 Arlington

**BUILDING TYPE**

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- carport
- accessory structure
- other

**ALTERATION TYPE**

- addition
- foundation
- wall siding or cladding
- windows or doors
- porch or balcony
- roof
- awning or canopy
- commercial sign
- ramp or lift
- other

**WRITTEN DESCRIPTION**

- property description, current conditions and any prior alterations or additions
- proposed work; plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new materials description; attach specification sheets if necessary

**PHOTOGRAPHS** label photos with description and location

- elevations of all sides *Front - couldn't access sides*
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

**DRAWINGS** scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

- current site plan - *Survey*
- proposed site plan
- current floor plans
- proposed floor plans
- current window and door schedule
- proposed window and door schedule
- demolition plan
- current roof plan
- proposed roof plan
- current elevations (all sides)
- proposed elevations (all sides)
- perspective and/or line of sight

**Proposed is a 2 story addition to 747 Arlington. The existing home is a 1920 Queen Anne style bungalow of 1568 square feet on a corner 50' x 132' lot. There is an existing non-contributing garage on the property which encroaches over the property line into the alley. We propose to demolish the garage and replace it with a two story new garage with a mother-in-law suite above. There was a previous addition of an office and deck at the rear of the home which will be demolished. The front porch details have also been previously modified and will be restored to more appropriate materials. The addition is 1568 square feet for a total of 3,127.**

**The second floor addition overlaps the original first floor by only 11'-7" feet, stopping short of the original ridge, on the 8<sup>th</sup> Street elevation. This portion of the addition is also set back from the first floor wall such that the original roofline is recognizable, and takes precedence over the addition. Some of the existing attic space will be finished out as conditioned floor area. It is important to note that the roofline has been designed with dormers beyond the original ridge line so that the majority of the encroachment on the south side of the home is not visible from the street. Looking at the attic framing, we can see that most of the original rafters on this side have already been replaced. Therefore, any openings in this portion of the roof are not likely to disturb the structural stability of the original framing.**

**The foundation of the existing house is pier and beam with a 33" finish floor height. The addition is proposed to match this.**

**The proposed addition will be clad in hardi-plank lap siding with a reveal of 6" to differentiate from the original 4" wood siding, which will be preserved and repaired as necessary. To further differentiate the addition, the wall will be inset at the original rear wall, so that the full form of the original home is clear from the 8<sup>th</sup> st view.**

**The front porch has been modified in previous renovations and is clearly not original. See photo documentation for more details. The proposed porch details will include straight wood 8" x 8" columns with simple detailing and a 42" tall wood railing. The proposed front steps will be brick. The front porch will be clad in a brick skirt and wood lattice panels will cover the crawl space around the sides and rear of the home. The existing diagonal wood lattice is in poor condition, not believed to be original, and is proposed to be replaced. We propose to replace the wood siding in the decorative gables with a period appropriate decorative wood shingle pattern.**

**We propose to replace the front door of the house to a period appropriate 3-lite, 3-panel door. The stained glass window currently in the door is not in a typical location or style of the period so we believe it to not be original. See following photos.**

**All original windows on the front and both sides are in good condition and will be preserved. One original window on the 8<sup>th</sup> St. elevation and two windows on the**

**interior elevation are proposed to be moved minimally to better complement the new floor plan and only one new window opening is proposed on the 8<sup>th</sup> St side for the same reason. All existing and proposed windows are to be wood 1/1.**

**The original roof has a pitch of 8:12 and is hipped with decorative gables on the front and side. The new proposed hipped roofs will have a 6:12 pitch, reducing the height and visual impact from the street, and one decorative gable on the addition, which is beyond the rear of the original home, will have an 8:12 pitch.**



**Rear of existing house, shows office previous addition to be removed**



**Existing Garage, non-contributing, to be removed**



**Front of Original house (porch has been modified)**



**Decorative Gable on 8<sup>th</sup> st side of original house**



**8<sup>th</sup> st side of original house**

## Column & Railing



Existing column with Simpson base bracket- not original



Replace floor and steps – not original



Proposed column- straight wood 8x8 w/ 1 panel & simple base / crown detail



Proposed simple wood railing



New rafters on Right (south-interior elevation), damaged rafters on left(north-8<sup>th</sup> st elevation)



Existing Front Door



Proposed door

## Door and window schedule

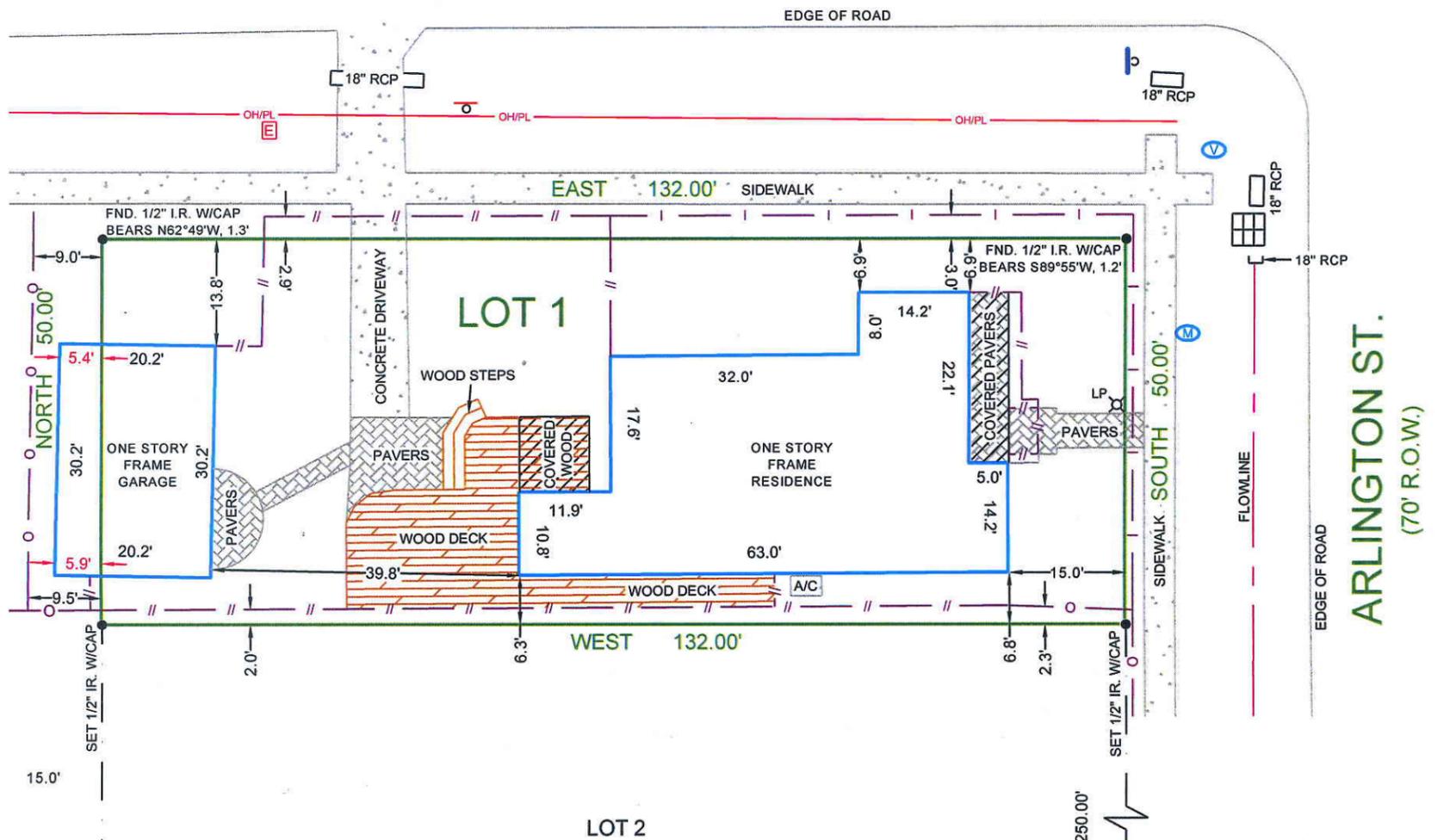
### Proposed windows

1. (2) 2'-6" x 2'-6" fixed windows, wood 1 lite
2. (2) 2'-6" x 6'-8" fixed doors, wood 1 lite
3. (4) 2' x 2' fixed, wood 1 lite
4. (2) 3'-0" x 4'-6", casement egress (divided to look like 1/1 dbl hung)
5. 3' x 4' dbl hung tempered bottom pane, wood 1/1
6. (2) 3'-0" x 4'-8" dbl hung egress, wood 1/1
7. 3' x 2' fixed wood 1 lite
8. 2'-3" x 6' dbl hung wood 1/1 to match existing
  
9. 3'-0" x 4'-8" dbl hung egress, wood 1/1
10. 3'-0" x 4'-8" dbl hung egress, wood 1/1
11. (2) 3'-0" x 4'-8" dbl hung egress, wood 1/1
12. 3' x 2' fixed vinyl tempered, 1 lite

### Proposed Doors

1. (2) 2'-6" x 8' French doors, 1 lite
2. (2) 2'-6" x 8' French doors, 1 lite
3. (2) 2'-6" x 8' French doors, 1 lite (1 operable, 1 fixed)
4. Front door, 3'x8' solid wood, 3 panel, 3 lite
5. 3'x8' wood 1 lite
6. 3'x8' wood solid, 2 panel
7. 16' overhead garage door, carriage style 6 panel, 6 lite
8. 3'x8' wood 1 lite

E. 8TH AVE.  
(70' R.O.W.)



256

LEGEND	
— OH/PL —	OVERHEAD POWER LINE
● PP	POWER POLE
⊞	ELECTRIC BOX
⊞	INLET
⊙	CONTROL MONUMENT
●	PROPERTY CORNER
⊞	SIGN
⊙	CABLE MARKER
⊙	LP
⊙	WATER METER
⊙	WATER VALVE
— // —	WOOD FENCE
— ○ —	CHAIN LINK FENCE
—   —	WROUGHT IRON FENCE

NOTES:

- SUBJECT TO APPLICABLE RESTRICTIVE COVENANTS LISTED IN ITEM NO. 1, SCHEDULE "B" OF TITLE COMMITMENT ISSUED BY OLD REPUBLIC TITLE COMPANY UNDER GF NO. 15001504. DATED 03-22-15.
  - SURVEYOR HAS NOT ABSTRACTED SUBJECT PROPERTY. ABSTRACTING BY TITLE COMPANY ONLY. THERE MAY BE ADDITIONAL EASEMENTS, BUILDING LINES AND OTHER MATTERS OF RECORD NOT SHOWN HEREON.
  - ONE STORY FRAME GARAGE IS OVER PROPERTY LINE AS SHOWN.
- IF CONSTRUCTION UPON OR A DIVISION OF SUBJECT TRACT IS PROPOSED AND IF TRACT LIES IN THE CITY OF HOUSTON OR ITS EXTRATERRITORIAL JURISDICTION, PLATTING AND OTHER REQUIREMENTS MAY APPLY PER CITY OF HOUSTON ORDINANCES.  
- BEARINGS SHOWN ARE BASED ON THE RECORDED PLAT.

SCALE: 1" = 20'

SUBJECT PROPERTY IS LOCATED WITHIN FLOOD ZONE "X" ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 48201C0670M, DATED: 06-09-14. THIS INFORMATION IS BASED ON GRAPHIC PLOTTING ONLY. WE DO NOT ASSUME RESPONSIBILITY FOR EXACT DETERMINATION.

LOT	SUBDIVISION
1	HOUSTON HEIGHTS
BLOCK	SECTION
258	-
COUNTY	STATE
HARRIS	TEXAS
LENDER Co.	GOLD STAR MORTGAGE FINANCIAL GROUP, CORP.
TITLE Co.	OLD REPUBLIC TITLE COMPANY
PURCHASER	EDWARD DUCKWORTH
ADDRESS	747 ARLINGTON ST. HOUSTON, TEXAS

RECORDATION  
VOL. 1-A, PG. 114, H.C.M.R.

I HEREBY CERTIFY THAT THIS PLAT REPRESENTS THE RESULTS OF A SURVEY MADE ON THE GROUND ON THE 3rd DAY OF APRIL, 2015.



*Handwritten signature of Ronnie Willis*



TEL. (713) 722-7541 FAX (713) 722-7613

JOB No.	15-28348	
G.F. No.	15001504	
FIELD WORK	04-03-15	LH
DRAFTED BY	04-07-15	IA
CHECKED BY	04-07-15	RW
KEY MAP	493A	
REVISION	-	

**MERIDIAN SURVEYING & MAPPING**  
FIRM NO. 10073700  
1080 W. SAM HOUSTON PKWY. N., STE. 113  
HOUSTON, TEXAS 77043  
COPYRIGHT 2015 MERIDIAN SURVEYING & MAPPING. ALL RIGHTS RESERVED.

# CERTIFICATE OF APPROPRIATENESS APPLICATION

## PART I – GENERAL FORM



**PLANNING &  
DEVELOPMENT  
DEPARTMENT**

Complete all sections and attach all necessary documentation as an incomplete application may cause delays in processing. A complete application includes two parts: part 1- general form; and part 2 - COA checklist(s) for project type and all applicable documentation requested within the checklist(s). Please review the criteria to be considered by the HAHC for Certificates of Appropriateness in the Houston Code of Ordinances, Historic Preservation Ordinance, Chapter 33 VII, Sections 33-240 through 33-249. Refer to the Historic Preservation section on the City of Houston Planning Department website for more information at [www.houstontx.gov/planning](http://www.houstontx.gov/planning).

### OWNER <sup>1</sup>

Name Edward and Kelley Duckworth		
Company		
Mailing Address 803 Bravard ST.		
City Houston	State TX	Zip 77006
Phone 713-222-7226		
Email [REDACTED]		
Signature Kelly Duckworth 4-25-15		

### APPLICANT (if other than owner)

Name Karen Brasier		
Company Design 3 Studio		
Mailing Address 3108 Houston Ave		
City Houston	State TX	Zip 77009
Phone 281-908-9188		
Email [REDACTED]		
Signature		Date

### SITE

Address 747 Arlington	City Houston	State TX
	Zip	
Subdivision Houston Heights South	Lot TR 1A & B BLK 258	Block

### PROPOSED ACTION (refer to definitions on next page)

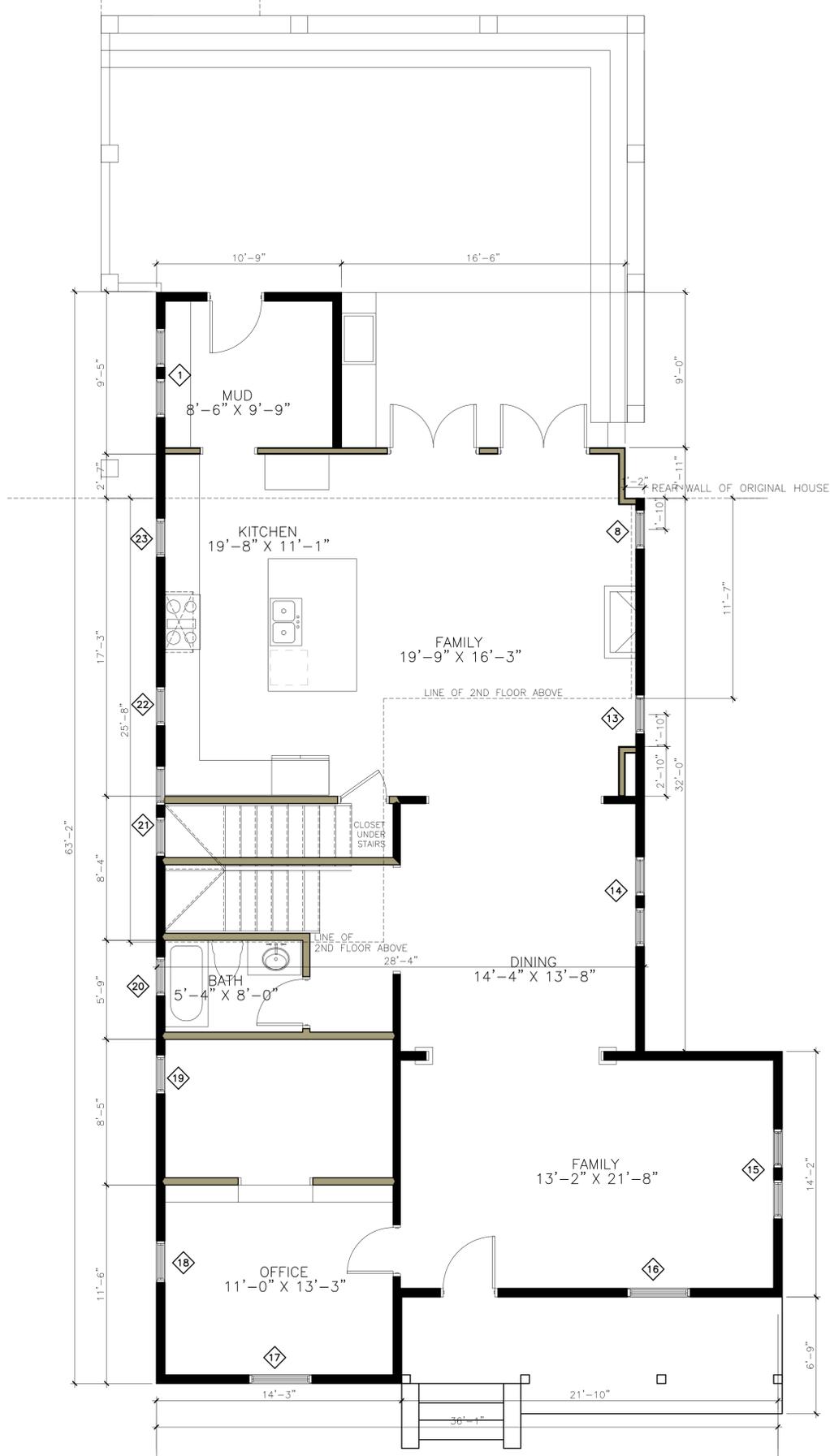
- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Addition, Alteration, Rehabilitation and/or Restoration <sup>3</sup> | <input checked="" type="checkbox"/> New Construction in an historic district |
| <input type="checkbox"/> Relocation <sup>3</sup>   | <input type="checkbox"/> Demolition <sup>3</sup>                             |
| <input type="checkbox"/> Mandatory Repair by order or citation <sup>3</sup>                              | <input type="checkbox"/> Excavation of an archaeological site                |

### ATTACHED DOCUMENTATION

- Written Description** detailing existing site conditions including lot size, structures on lot, area of structures in square feet, setbacks, driveways, and other unique conditions, AND detailed description of the proposed activity; refer to checklists for details
- Current Photographs** showing the overall structure for each elevation visible from a public right-of-way
- Renderings** illustrating existing conditions and proposed activity; refer to checklists for project-specific rendering requirements
- Deed Restriction** compliance of proposed activity and approval of neighborhood or civic association, if applicable
- Application Checklist<sup>4</sup>** for each proposed action checked above and all applicable documentation listed within checklist

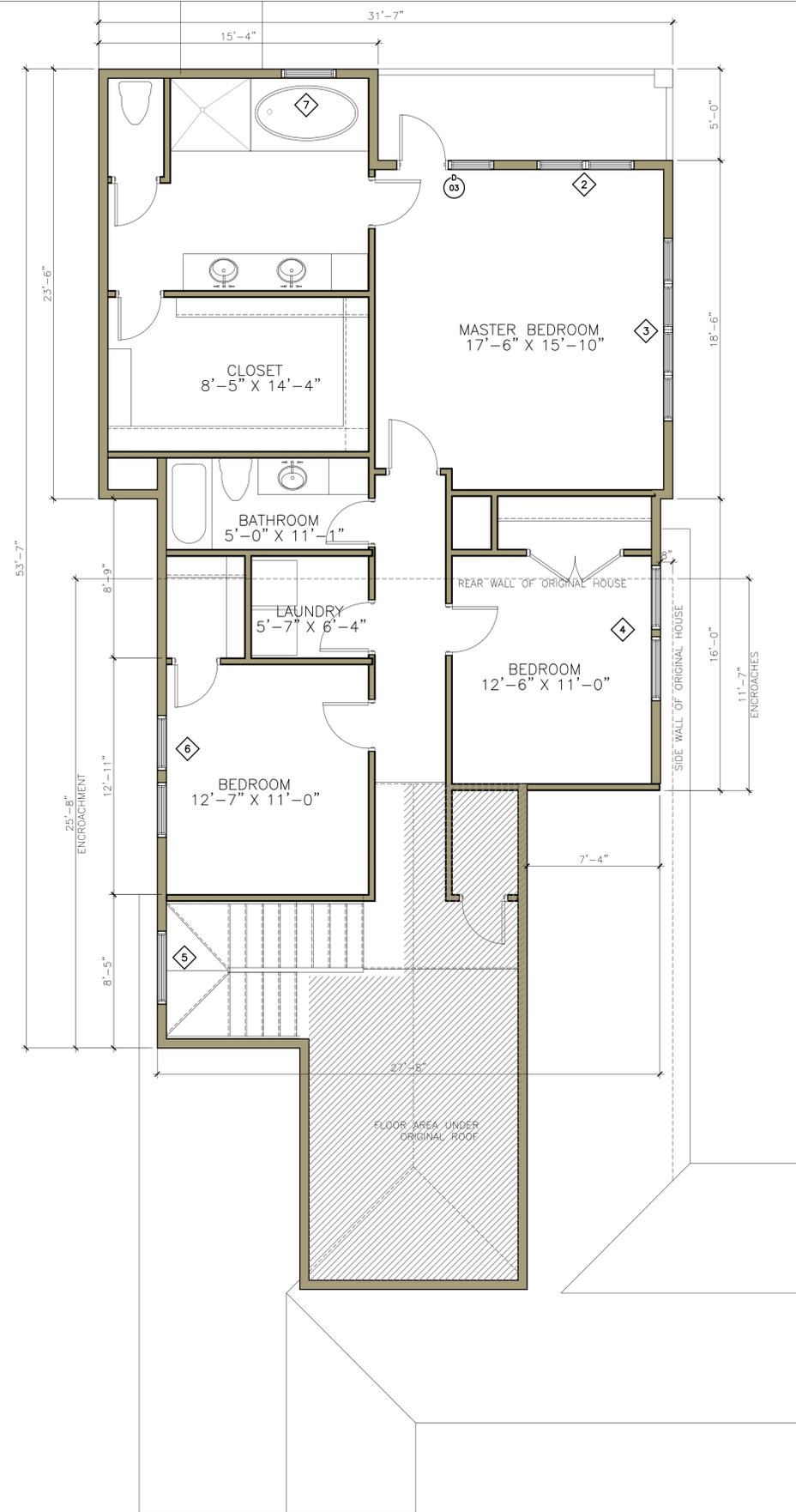
<sup>1</sup> Owner is the record title property owner. Applicant may be owner, tenant, architect, contractor, etc.  
<sup>2</sup> Application will not be accepted as complete without a signature of the record title property owner  
<sup>3</sup> Applies to any landmark, protected landmark, or structure within a historic district or archaeological site  
<sup>4</sup> Submit a separate checklist for each proposed action (i.e. a project including an **Addition** to a house and **New Construction** of a detached garage)

To be completed by PLANNING STAFF:	Application received by: Accepted as complete by:	Date: Date:
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01 1ST FLOOR CONSTRUCTION PLAN

1/4" = 1'-0"



02 2ND FLOOR CONSTRUCTION PLAN

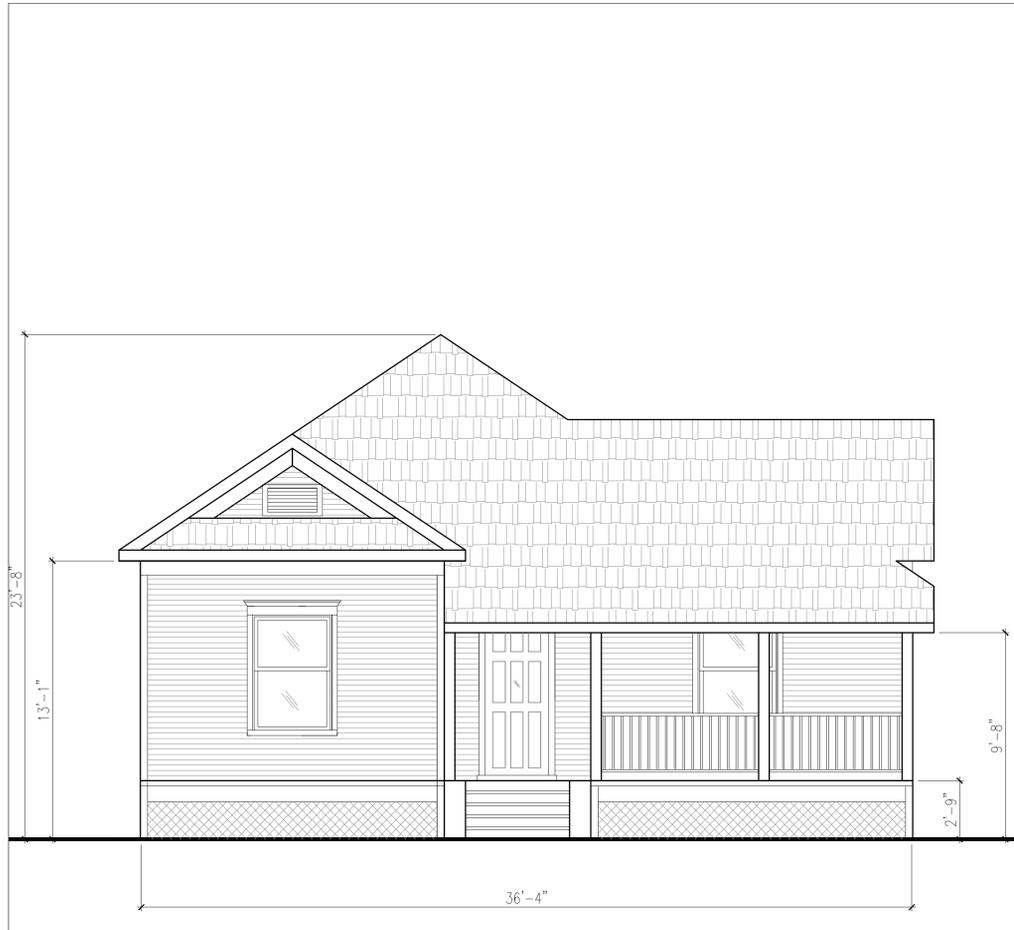
1/4" = 1'-0"

**747 Arlington**  
Houston, TX 77007  
**CONSTRUCTION PLAN**

Issue/Revision:  
04.29.15 HAHG REVIEW

Drawing Description:  
**CONSTRUCTION PLAN**

Dwg. Name:	Layer mgr: XX	Sheet No.:
Scale: AS NOTED	Drawn by:	<b>A 1.1</b>
Proj. Mgr.:	Date:	May 05, 2015 - 1:08pm



01 ORIGINAL FRONT (EAST) ELEVATION FACING ARLINGTON 1/4"



03 EXISTING SOUTH (LEFT) ELEVATION 1/4" = 1'-0"



04 EXISTING NORTH (RIGHT) ELEVATION FACING 8TH ST 1/4" = 1'-0"

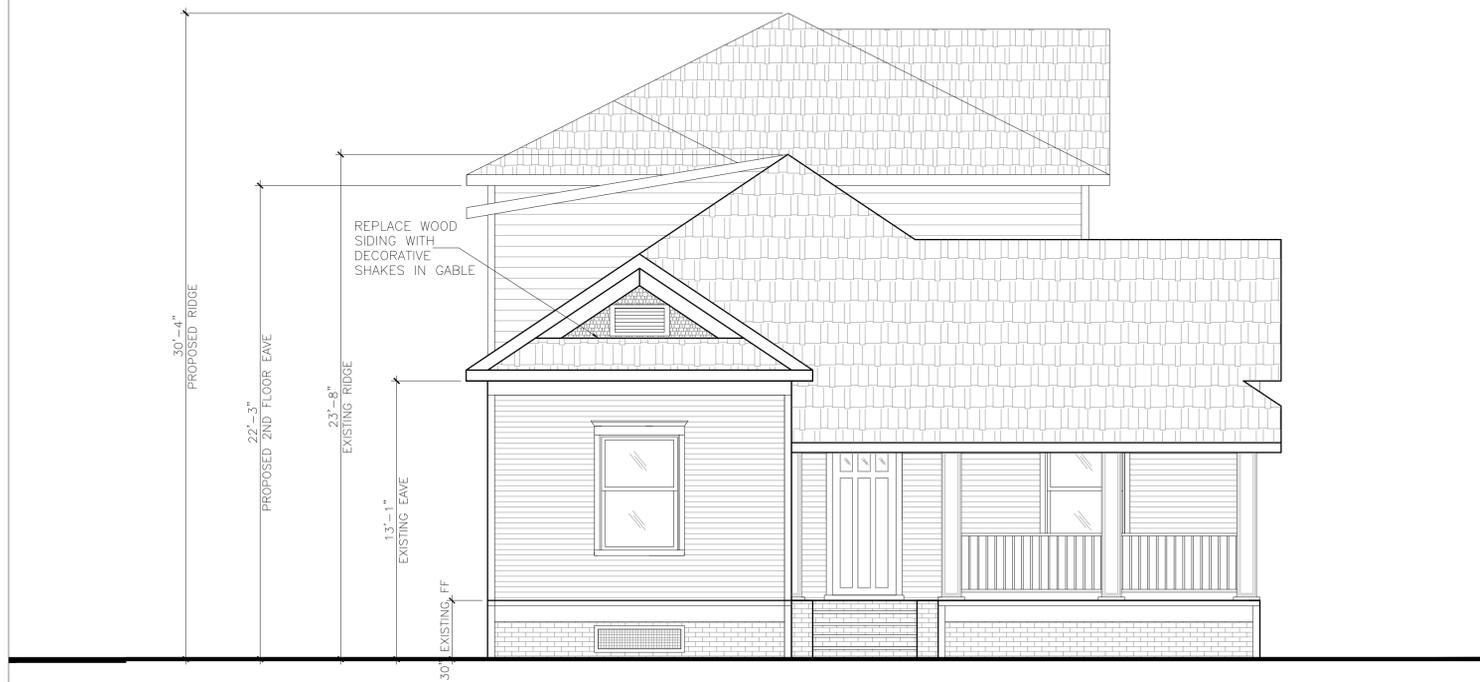


01 EXISTING REAR ELEVATION 1/4" = 1'

**747 Arlington**  
 Houston, TX 77007

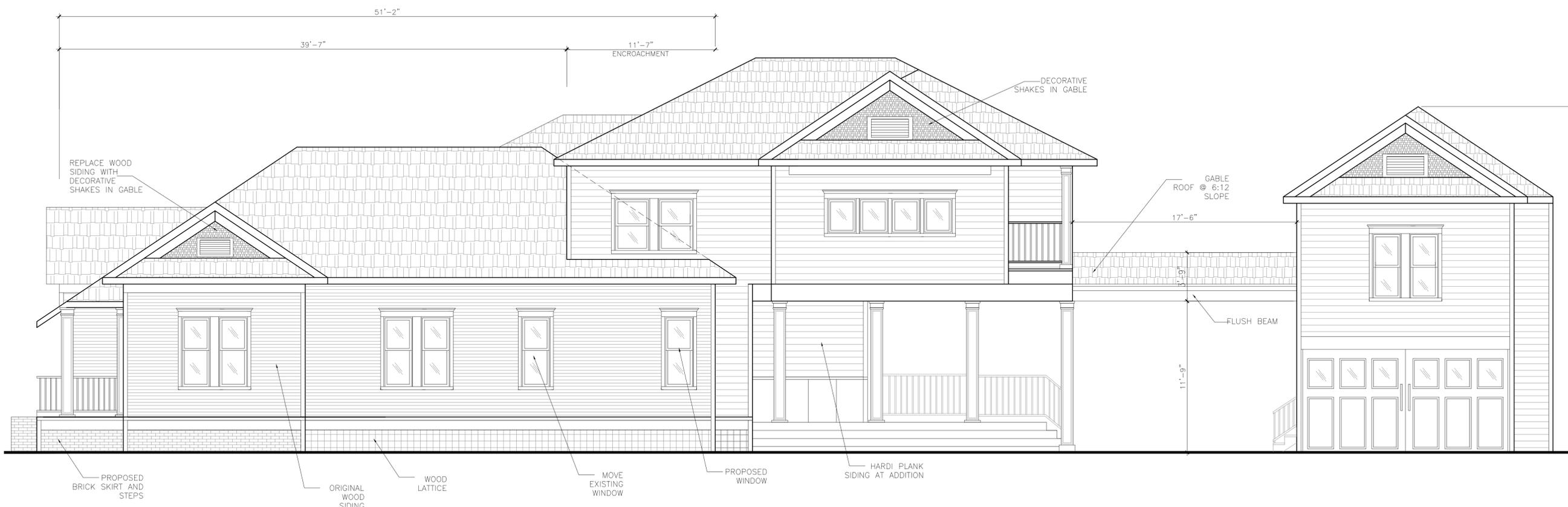
**EXISTING ELEVATIONS**

Issue/Revision:	
04.29.15	HAHC REVIEW
Drawing Description:	
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Dwg. Name:	Sheet No.:
Layer mgr: XX	AS NOTED
Scale:	<b>A 3.0</b>
Drawn by:	Date:
Proj. Mgr.:	May 05, 2015 - 10:20am



03 PROPOSED FRONT ELEVATION

1/4" = 1'-0"



04 PROPOSED LEFT SIDE ELEVATION

1/4" = 1'-0"

**747 Arlington**  
Houston, TX 77007

**PROPOSED ELEVATIONS**

Issue/Revision:  
04.29.15 HAHC REVIEW

Drawing Description:

**ELEVATIONS**

Dwg. Name:

Layer mgr: XX

Scale: AS NOTED

Drawn by:

Proj. Mgr.:

Date:

Sheet No.:

**A 3.1**

May 05, 2015 - 1024km



03 PROPOSED BACK ELEVATION

1/4" = 1'-0"



04 PROPOSED RIGHT SIDE ELEVATION

1/4" = 1'-0"

747 Arlington  
Houston, TX 77007

ELEVATIONS

Issue/Revision:  
04.29.15 HAHC REVIEW

Drawing Description:

ELEVATIONS

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Scale: AS NOTED

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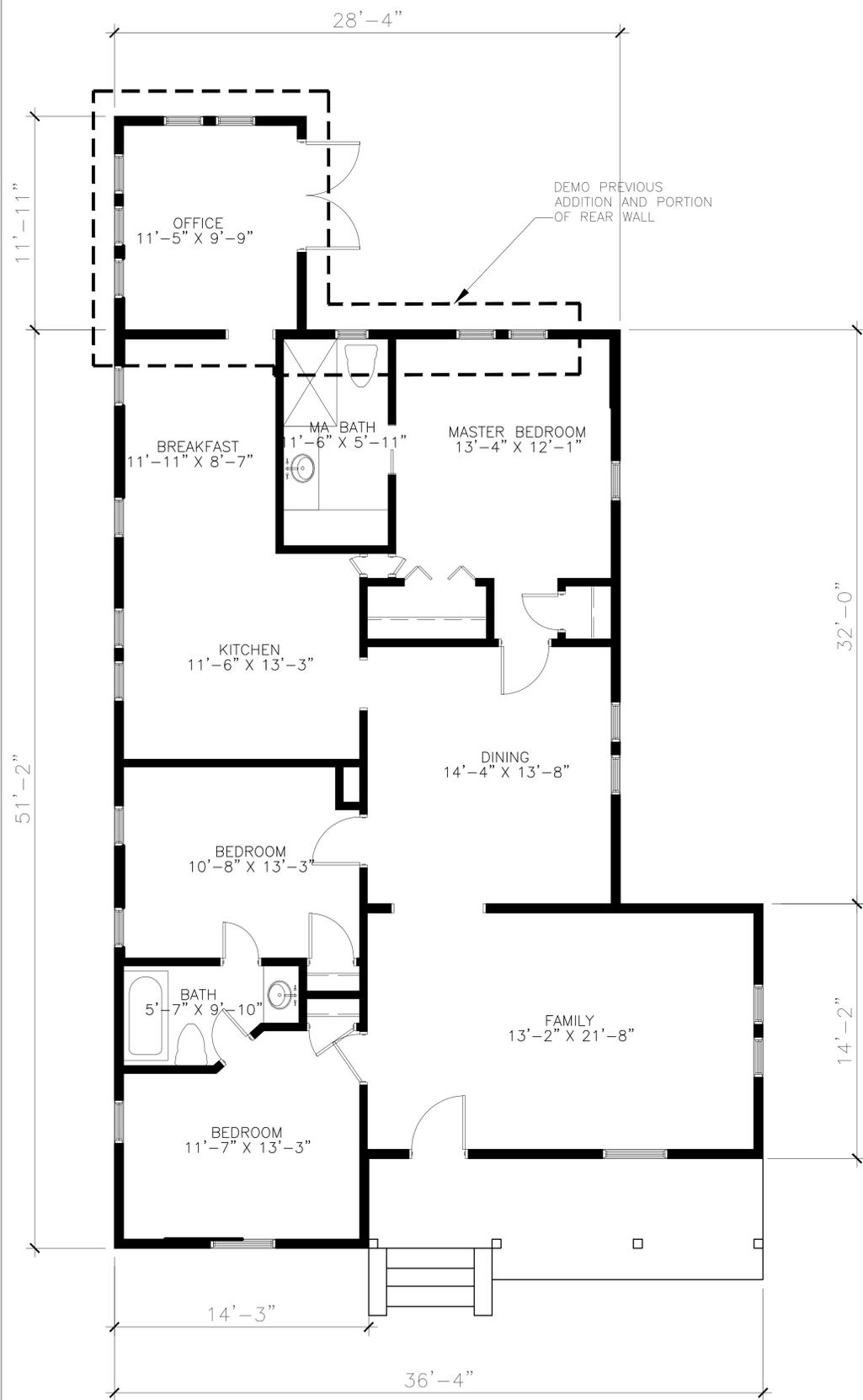
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Sheet No.:

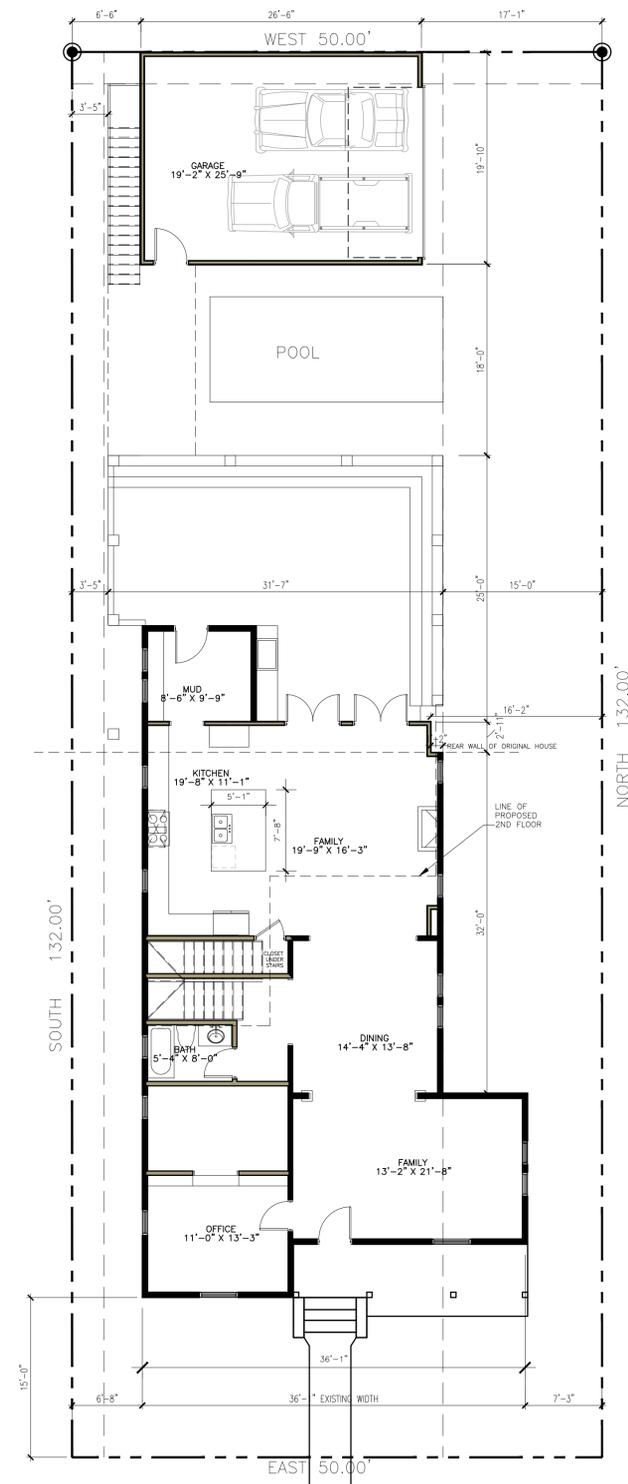
A 3.2

May 05, 2015 - 1:28pm



02 EXISTING FLOOR PLAN

1/4" = 1'



03 NEW SITE PLAN

1/8" = 1'-0"

**747 Arlington**  
Houston, TX 77007

**SITE PLAN**

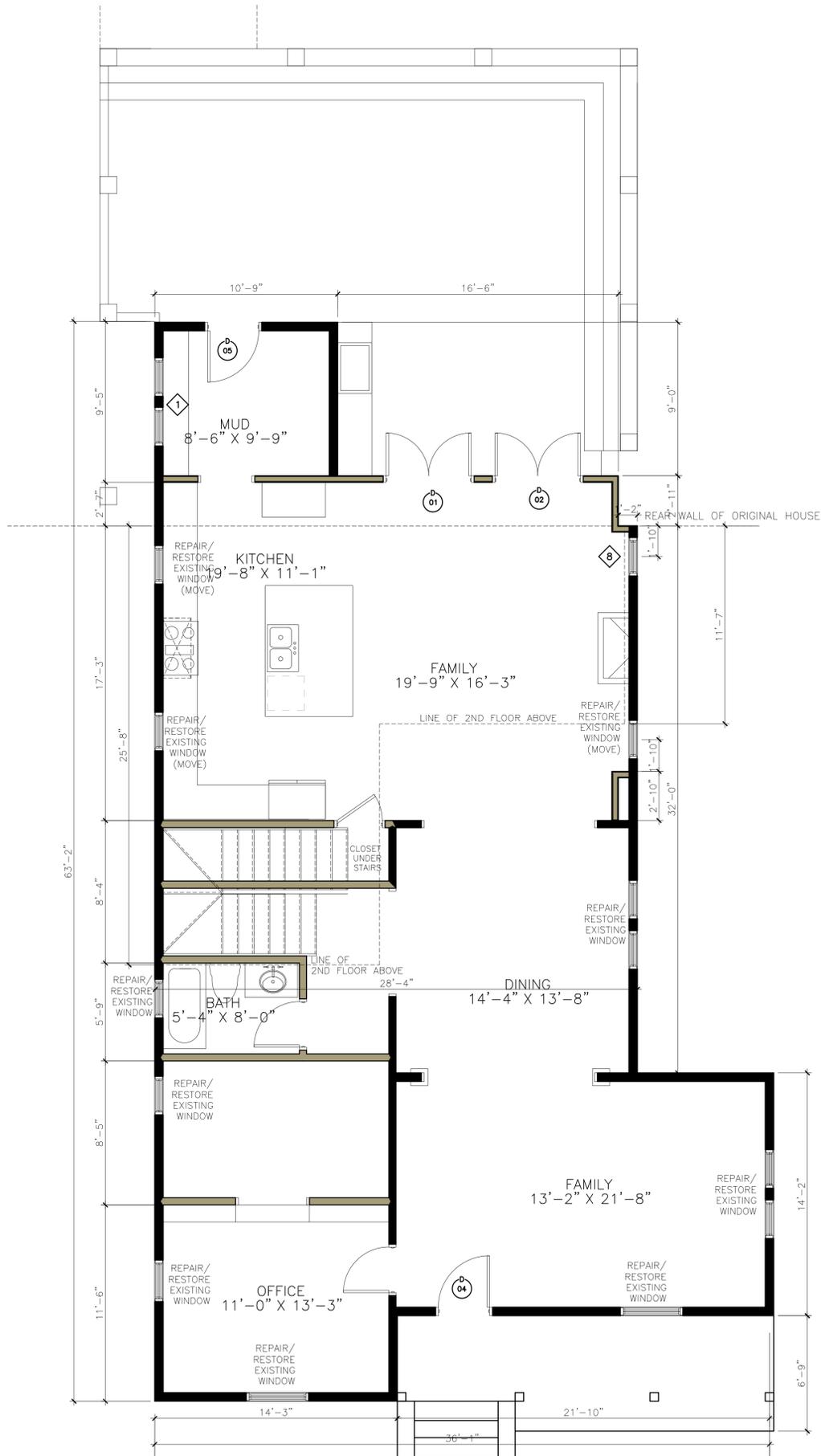
Issue/Revision:  
04.29.15 HAHG REVIEW

Drawing Description:

**SITE PLAN**

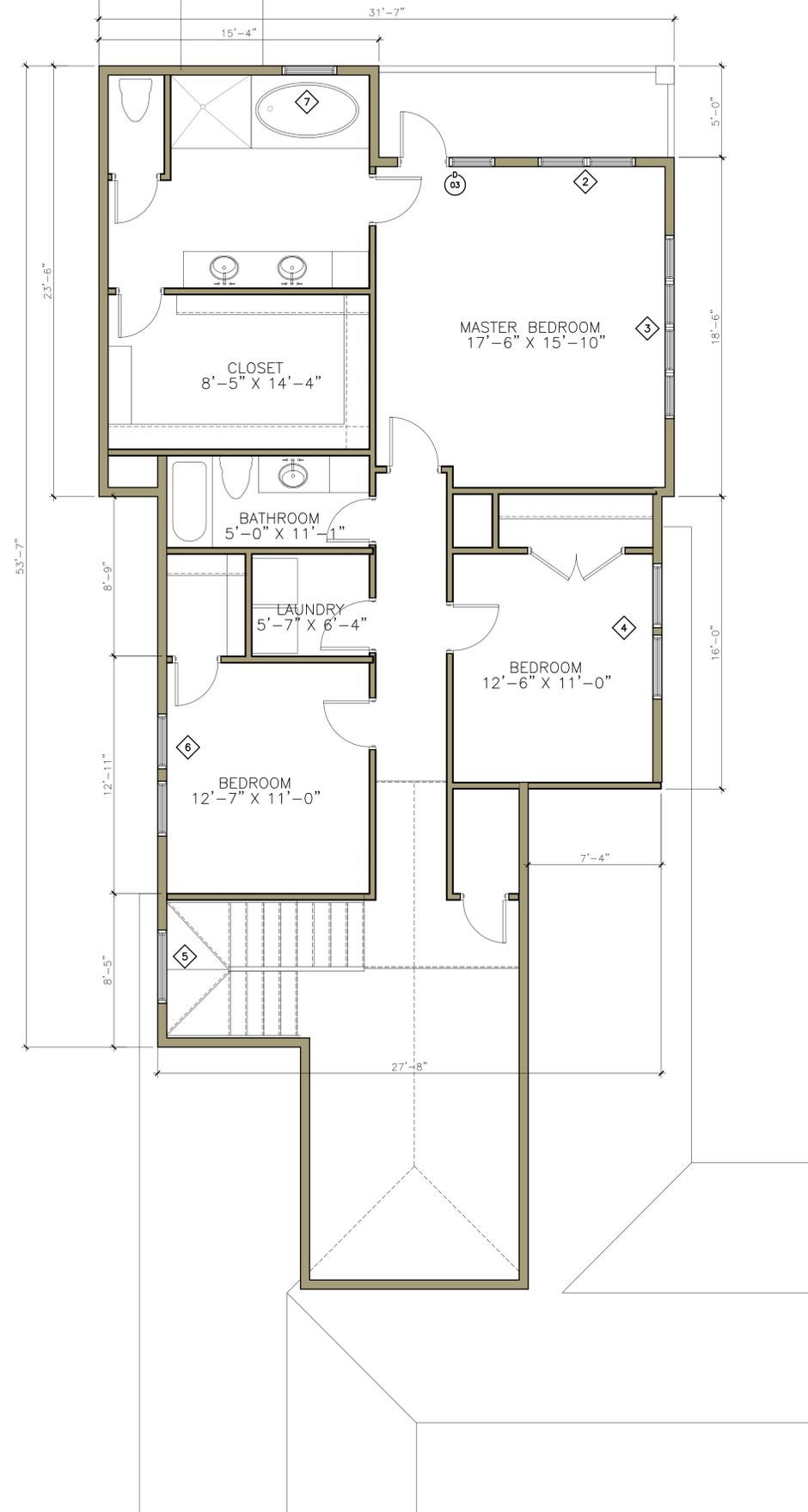
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Proj. Mgr.:  
Date:

Sheet No.:  
**A 1.0**  
Apr 29, 2015 - 1032am



01 1ST FLOOR CONSTRUCTION PLAN

1/4" = 1'-0"



02 2ND FLOOR CONSTRUCTION PLAN

1/4" = 1'-0"

**747 Arlington**  
Houston, TX 77007

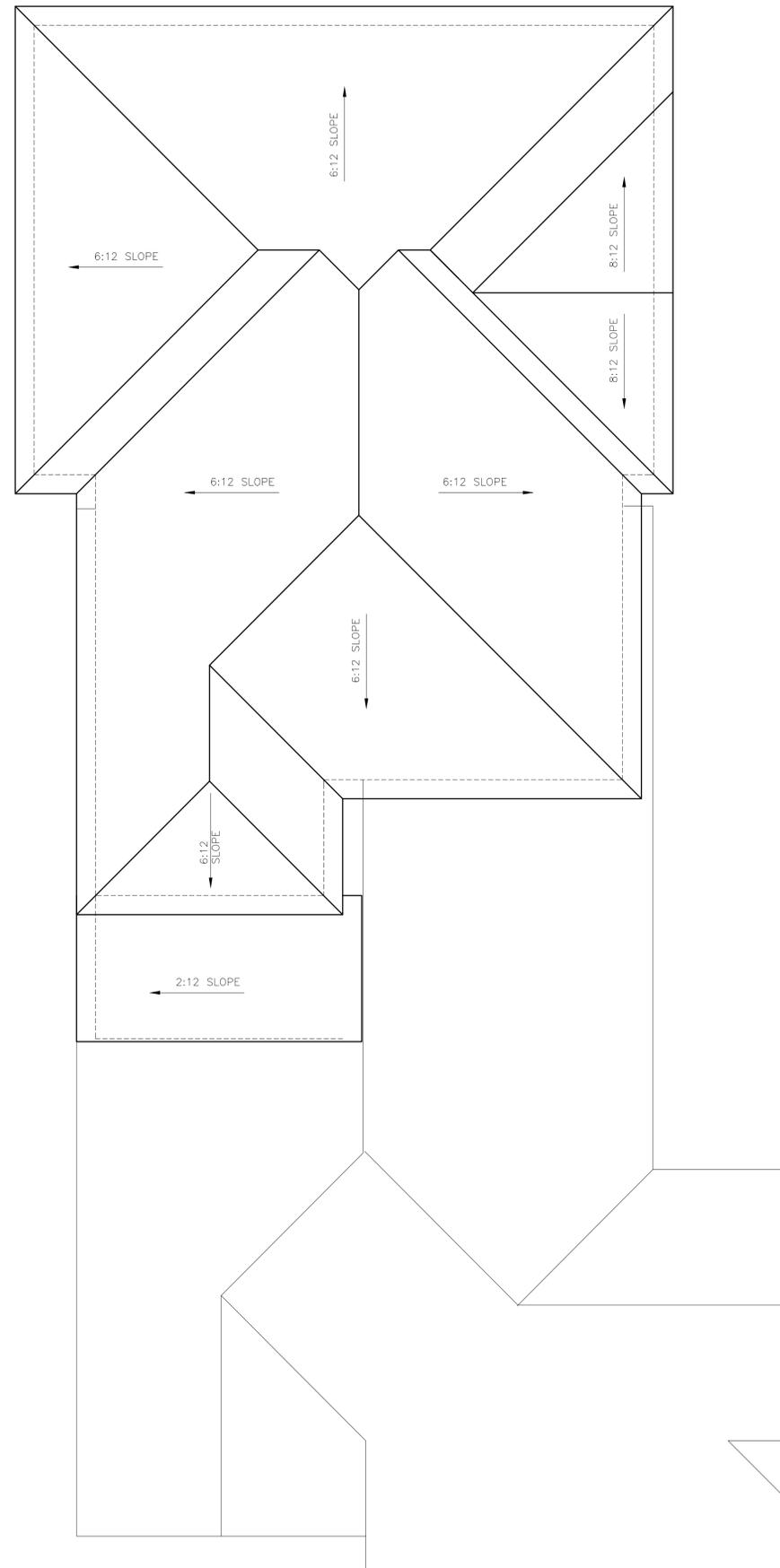
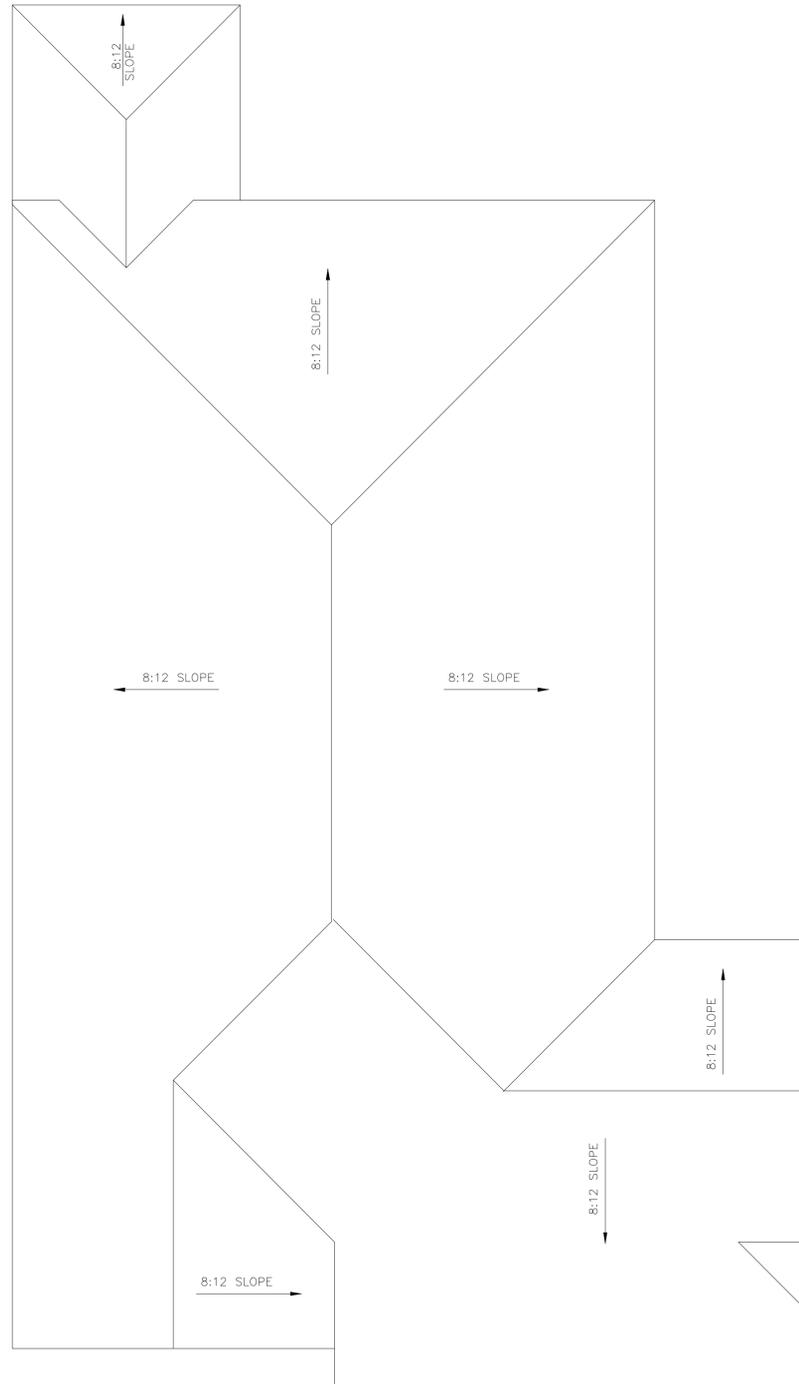
**CONSTRUCTION PLAN**

Issue/Revision:  
04.29.15 HAHG REVIEW

Drawing Description:

**CONSTRUCTION PLAN**

Dwg. Name:	Layer mgr: XX	Sheet No.:
Scale: AS NOTED	Drawn by:	<b>A 1.1</b>
Proj. Mgr.:	Date:	Apr 29, 2015 - 11:33am



**747 Arlington**  
 Houston, TX 77007

**ROOF PLAN**

Issue/Revision:	
04.29.15	HAHC REVIEW

Drawing Description:

**ROOF PLAN**

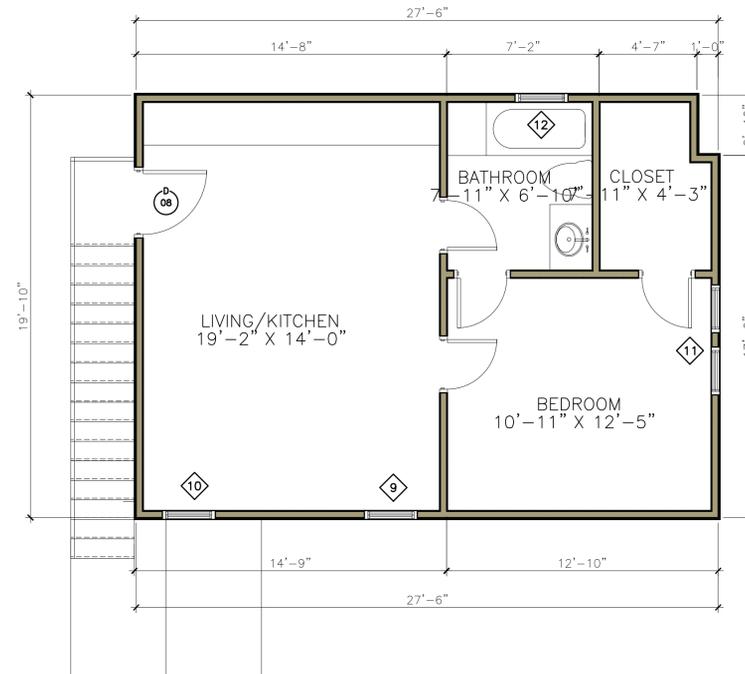
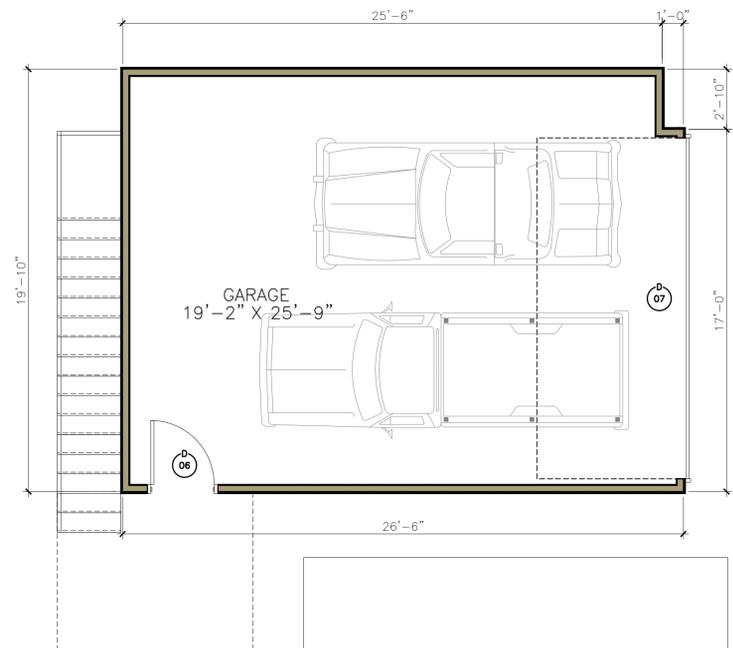
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Layer mgr:	XX	
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Drawn by:		
Proj. Mgr.:		
Date:		<b>A 1.3</b>

01 EXISTING ROOF PLAN

1/4" = 1'-0"

01 PROPOSED ROOF PLAN

1/4" = 1'-0"



**747 Arlington**  
 Houston, TX 77007

**CONSTRUCTION PLAN**

Issue/Revision:
04.29.15 HAHG REVIEW

Drawing Description:

**CONSTRUCTION PLAN**

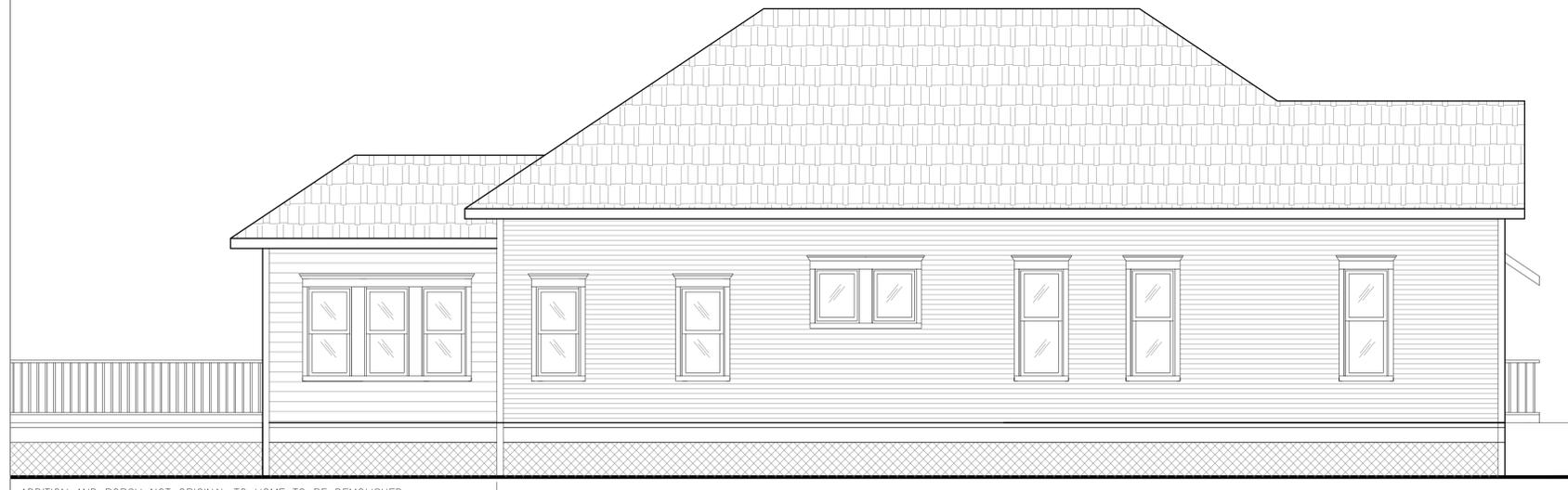
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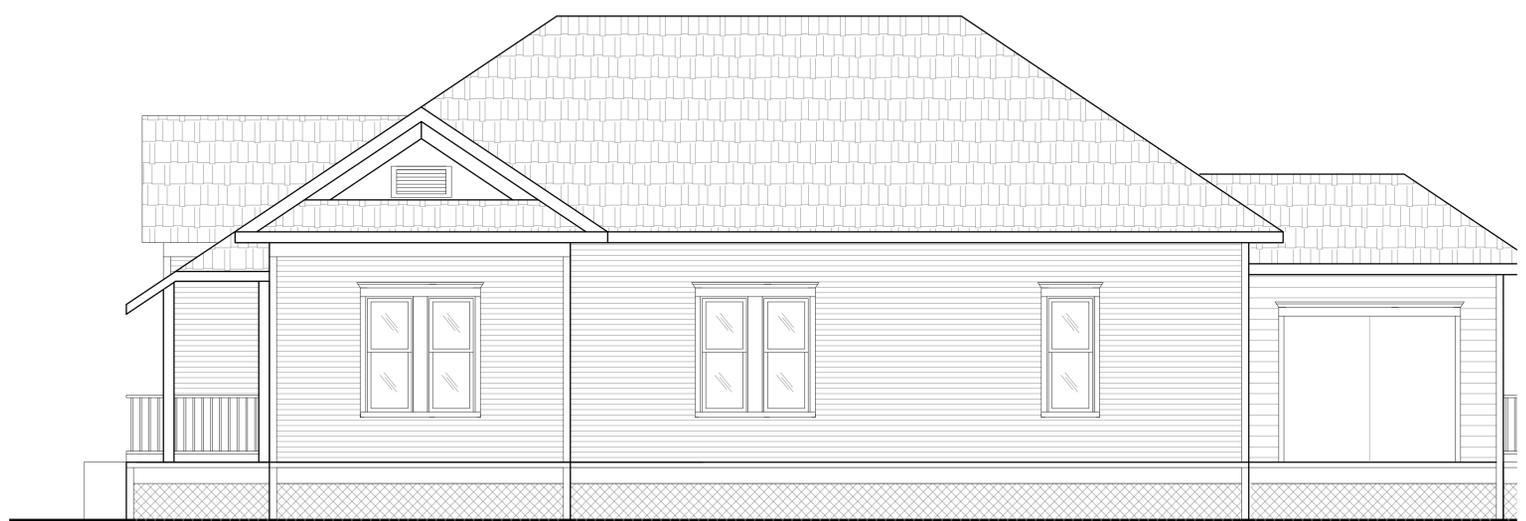
Apr 29, 2015 - 11:34am



01 ORIGINAL FRONT (EAST) ELEVATION FACING ARLINGTON 1/4"



03 EXISTING SOUTH (LEFT) ELEVATION 1/4" = 1'-0"



04 EXISTING NORTH (RIGHT) ELEVATION FACING 8TH ST 1/4" = 1'-0"



01 EXISTING REAR ELEVATION 1/4" = 1'

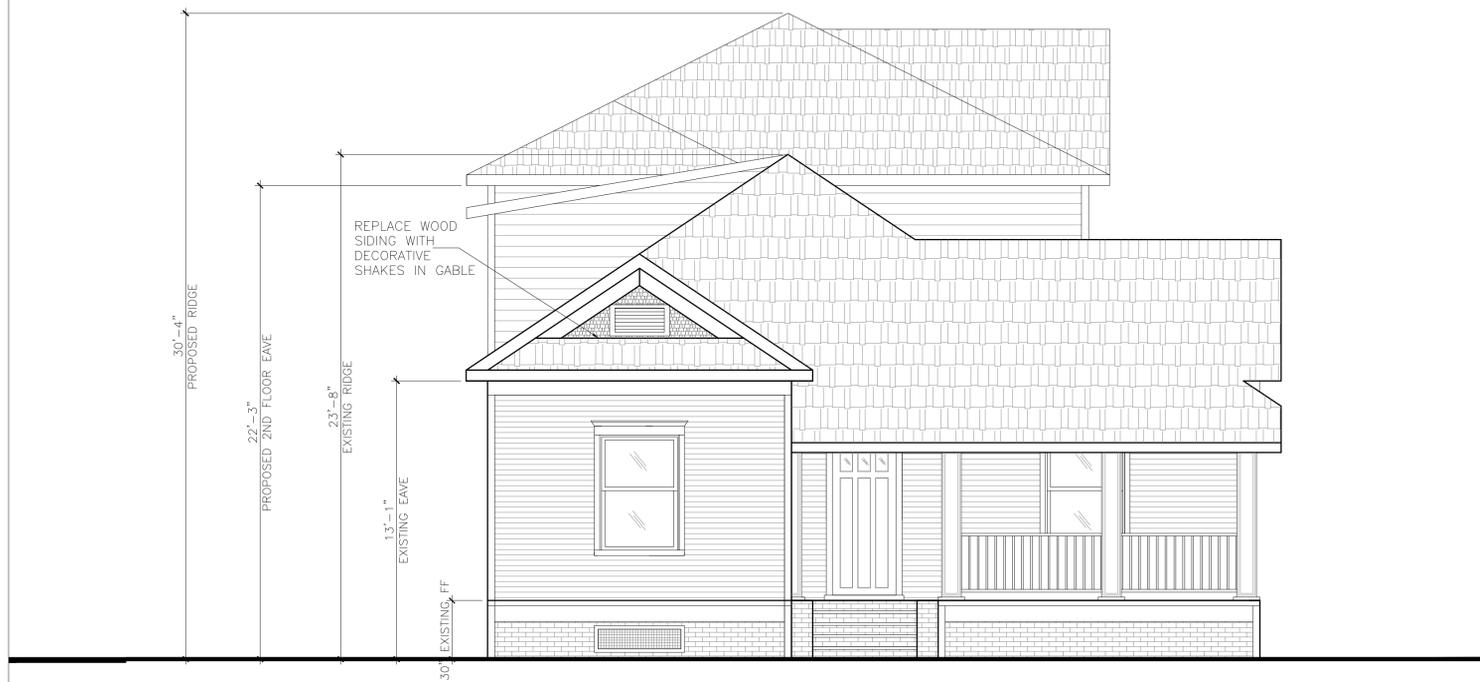
**747 Arlington**  
 Houston, TX 77007

**EXISTING ELEVATIONS**

Issue/Revision:  
 04.29.15 HAHG REVIEW

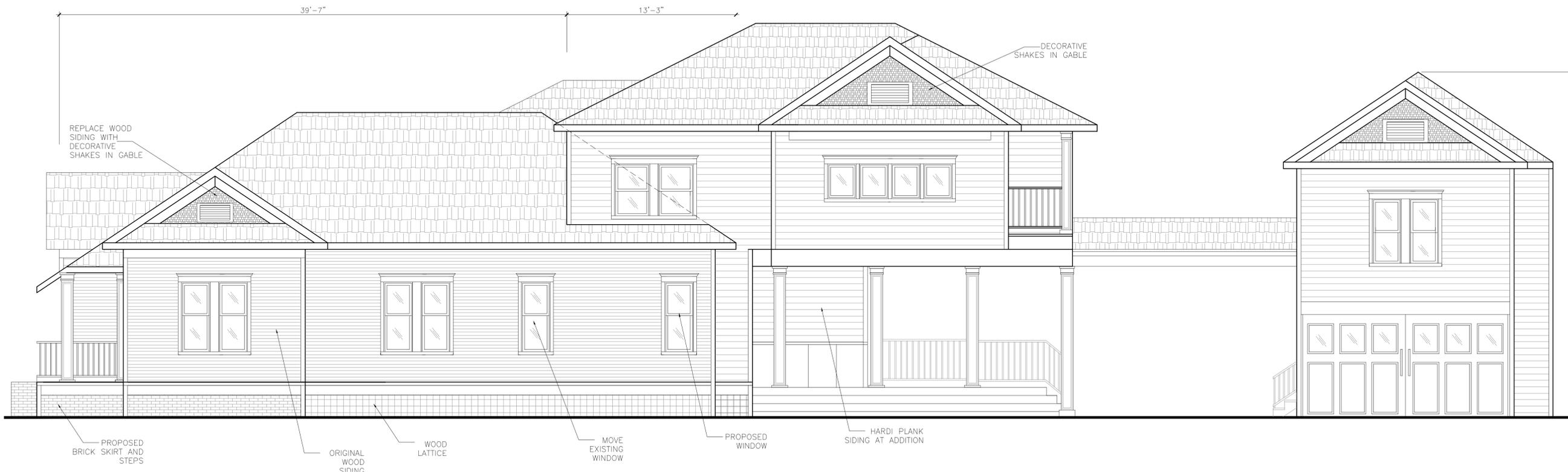
Drawing Description:  
**EXISTING ELEVATIONS**

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Proj. Mgr.:	Date:	Apr 28, 2015 - 7:33pm



03 PROPOSED FRONT ELEVATION

1/4" = 1'-0"



04 PROPOSED LEFT SIDE ELEVATION

1/4" = 1'-0"

**747 Arlington**  
Houston, TX 77007  
**PROPOSED ELEVATIONS**

Issue/Revision:  
04.29.15 HAHC REVIEW

Drawing Description:

**ELEVATIONS**

Dwg. Name:

Layer mgr: XX

Scale: AS NOTED

Drawn by:

Proj. Mgr.:

Date:

Sheet No.:

**A 3.1**

Apr 29, 2015 - 9:52am



03 PROPOSED BACK ELEVATION

1/4" = 1'-0"



04 PROPOSED RIGHT SIDE ELEVATION

1/4" = 1'-0"

**747 Arlington**  
Houston, TX 77007

**ELEVATIONS**

Issue/Revision:  
04.29.15 HAHC REVIEW

Drawing Description:

**ELEVATIONS**

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Layer mgr: XX

Scale: AS NOTED

Drawn by:

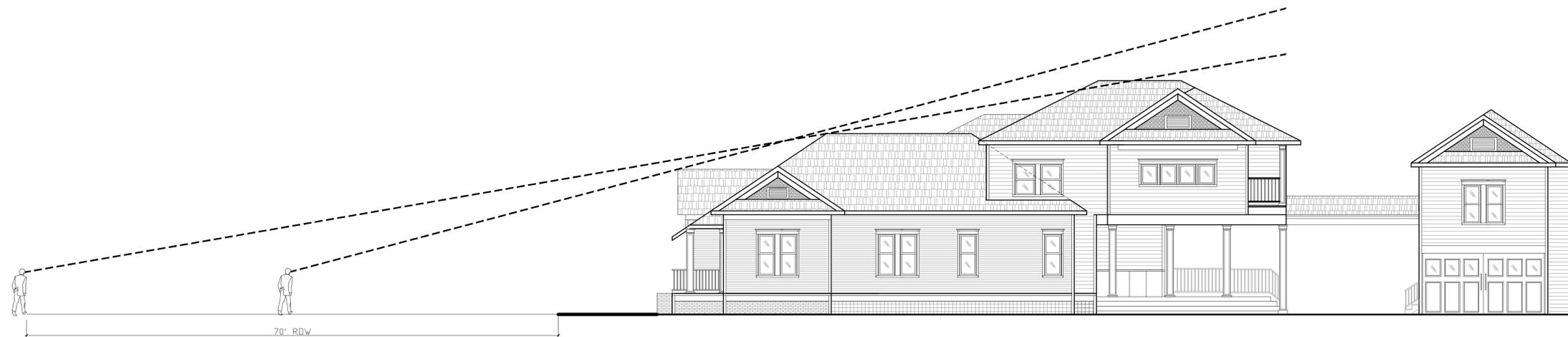
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Sheet No.:

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Apr 29, 2015 - 9:53am



**747 Arlington**  
Houston, TX 77007

**ELEVATIONS**

Issue/Revision:

04.29.15 HAHK REVIEW

Drawing Description:

**ELEVATIONS**

Dwg. Name:

Layer mgr: XX

Scale: AS NOTED

Drawn by:

Proj. Mgr.:

Date:

Sheet No.:

**A 3.3**

Apr 29, 2015 - 1056am











## Door and window schedule

### Proposed windows

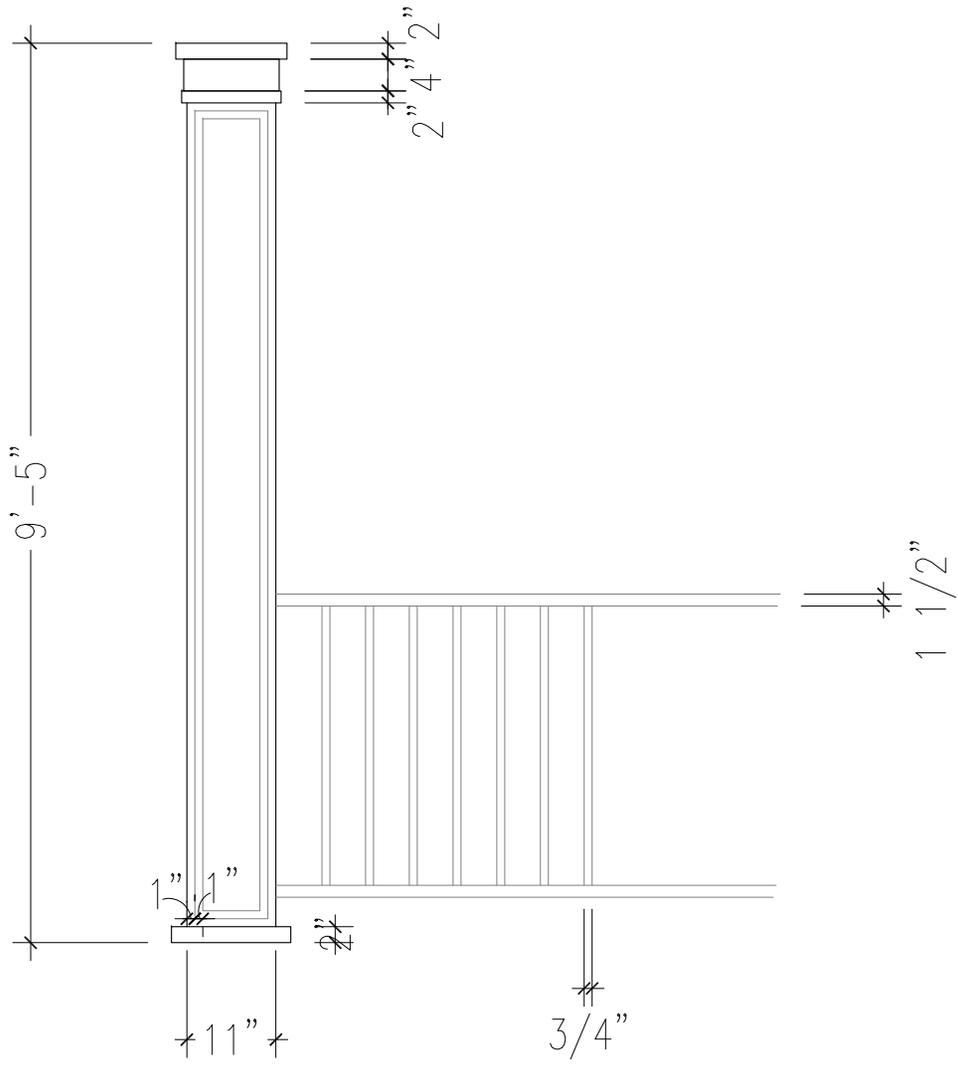
1. (2) 2'-6" x 2'-6" fixed windows, wood 1 lite
2. (2) 2'-6" x 6'-8" fixed doors, wood 1 lite
3. (4) 2' x 2' fixed, wood 1 lite
4. (2) 3'-0" x 4'-6", casement egress (divided to look like 1/1 dbl hung)
5. 3' x 4' dbl hung tempered bottom pane, wood 1/1
6. (2) 3'-0" x 4'-8" dbl hung egress, wood 1/1
7. 3' x 2' fixed wood 1 lite
8. 2'-3" x 6' dbl hung wood 1/1 to match existing
  
9. 3'-0" x 4'-8" dbl hung egress, wood 1/1
10. 3'-0" x 4'-8" dbl hung egress, wood 1/1
11. (2) 3'-0" x 4'-8" dbl hung egress, wood 1/1
12. 3' x 2' fixed vinyl tempered, 1 lite

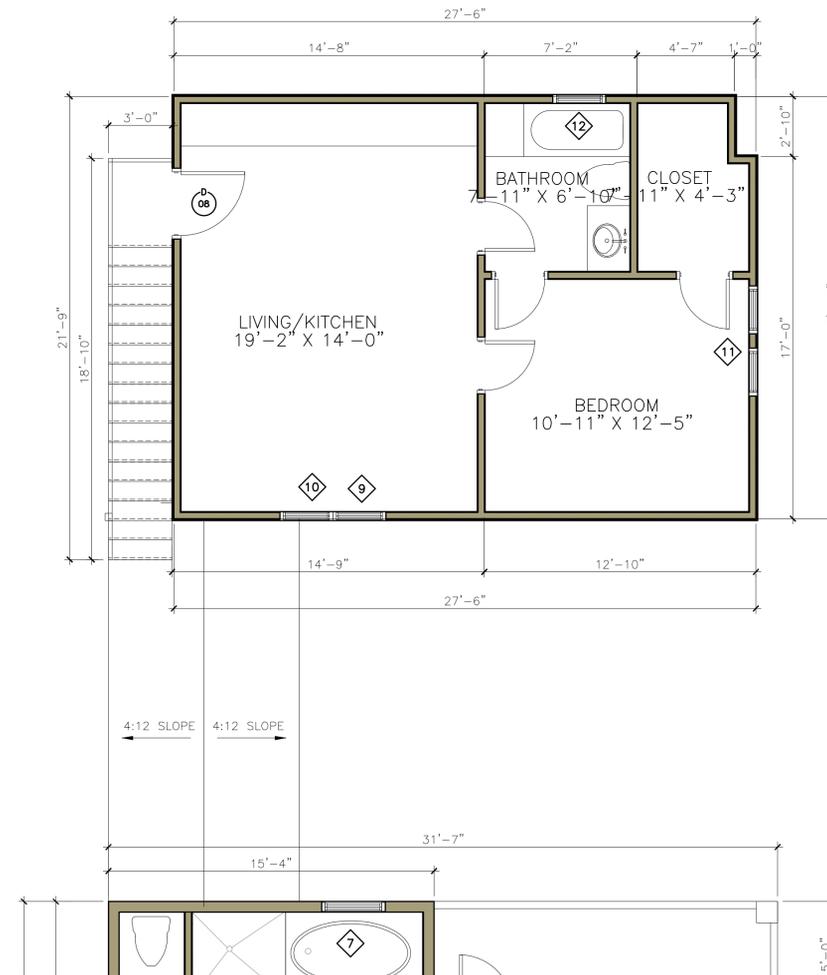
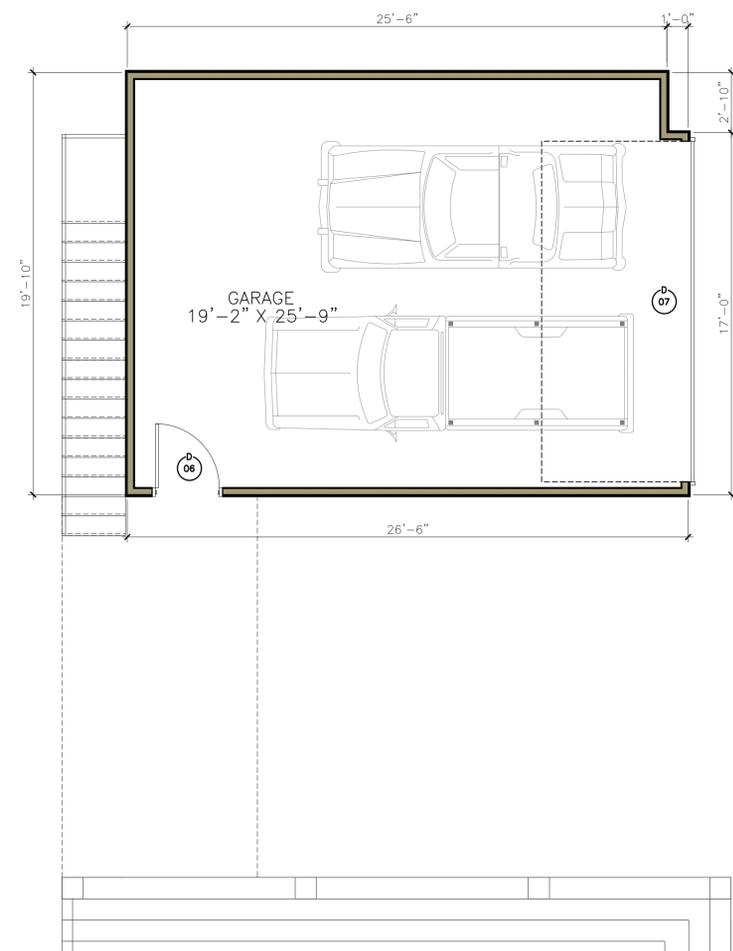
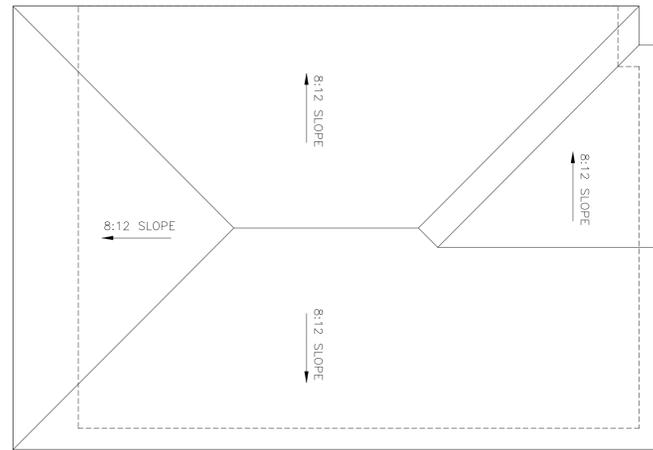
### Existing windows

13. 2'-3" x 6' dbl hung wood 1/1
14. (2) 2'-3" x 6' dbl hung wood 1/1
15. (2) 2'-3" x 6' dbl hung wood 1/1
16. 3'-4" x 6' dbl hung wood 1/1
17. 3'-4" x 6' dbl hung wood 1/1
18. 2'-3" x 6' dbl hung wood 1/1
19. 2'-3" x 6' dbl hung wood 1/1
20. 2'-3" x 6' dbl hung wood 1/1
21. (2) 2'-6" x 2'-6" wood dbl hung
22. 2'-3" x 5'-0" dbl hung wood 1/1
23. 2'-3" x 5'-0" dbl hung wood 1/1

### Proposed Doors

1. (2) 2'-6" x 8' French doors, 1 lite
2. (2) 2'-6" x 8' French doors, 1 lite
3. (2) 2'-6" x 8' French doors, 1 lite (1 operable, 1 fixed)
4. Front door, 3'x8' solid wood, 3 panel, 3 lite
5. 3'x8' wood 1 lite
6. 3'x8' wood solid, 2 panel
7. 16' overhead garage door, carriage style 6 panel, 6 lite
8. 3'x8' wood 1 lite





**747 Arlington**  
Houston, TX 77007

**CONSTRUCTION PLAN**

Issue/Revision:  
04.29.15 HAHG REVIEW

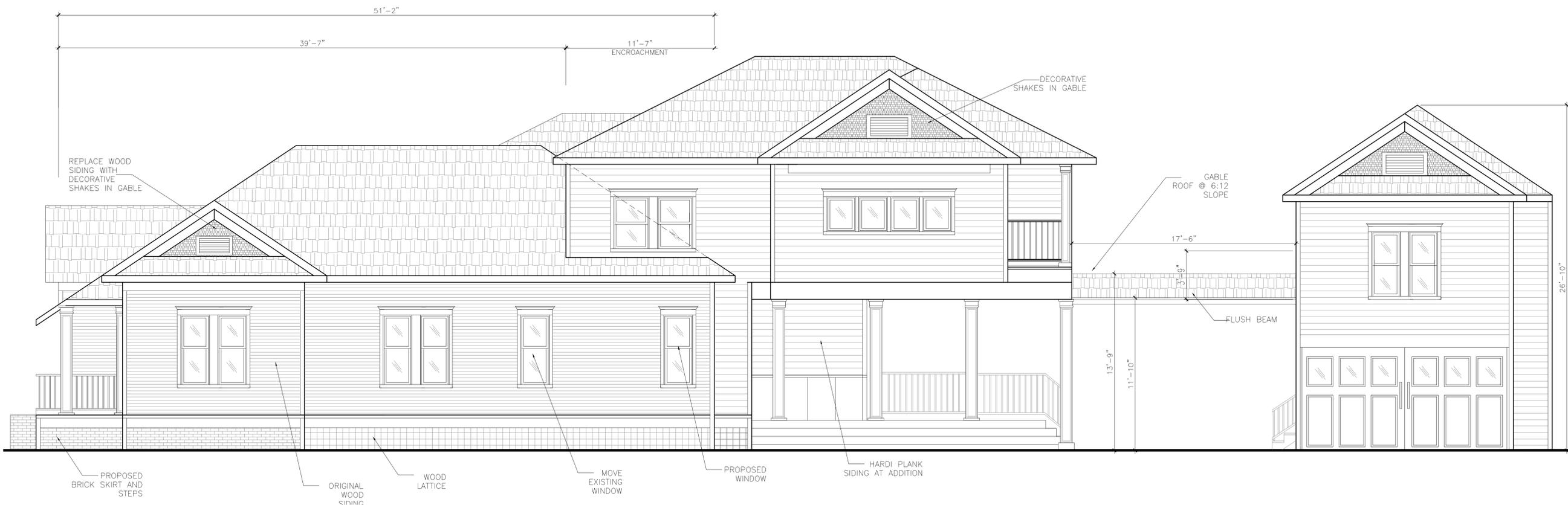
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**CONSTRUCTION PLAN**

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Scale: AS NOTED	Drawn by:	<b>A 1.3</b>
Proj. Mgr.:	Date:	May 07, 2015 - 1254pm



03 PROPOSED FRONT ELEVATION

1/4" = 1'-0"



04 PROPOSED LEFT SIDE ELEVATION

1/4" = 1'-0"

**747 Arlington**  
Houston, TX 77007

PROPOSED ELEVATIONS

Issue/Revision:  
04.29.15 HAHC REVIEW

Drawing Description:

ELEVATIONS

Dwg. Name:	Layer mgr: XX	Sheet No.:
Scale: AS NOTED	Drawn by:	A 3.1
Proj. Mgr.:	Date:	May 07, 2015 - 1:06pm



03 PROPOSED BACK ELEVATION

1/4" = 1'-0"



04 PROPOSED RIGHT SIDE ELEVATION

1/4" = 1'-0"

**747 Arlington**  
Houston, TX 77007

**ELEVATIONS**

Issue/Revision:  
04.29.15 HAHC REVIEW

Drawing Description:

**ELEVATIONS**

Dwg. Name:

Layer mgr: XX

Scale: AS NOTED

Drawn by:

Proj. Mgr.:

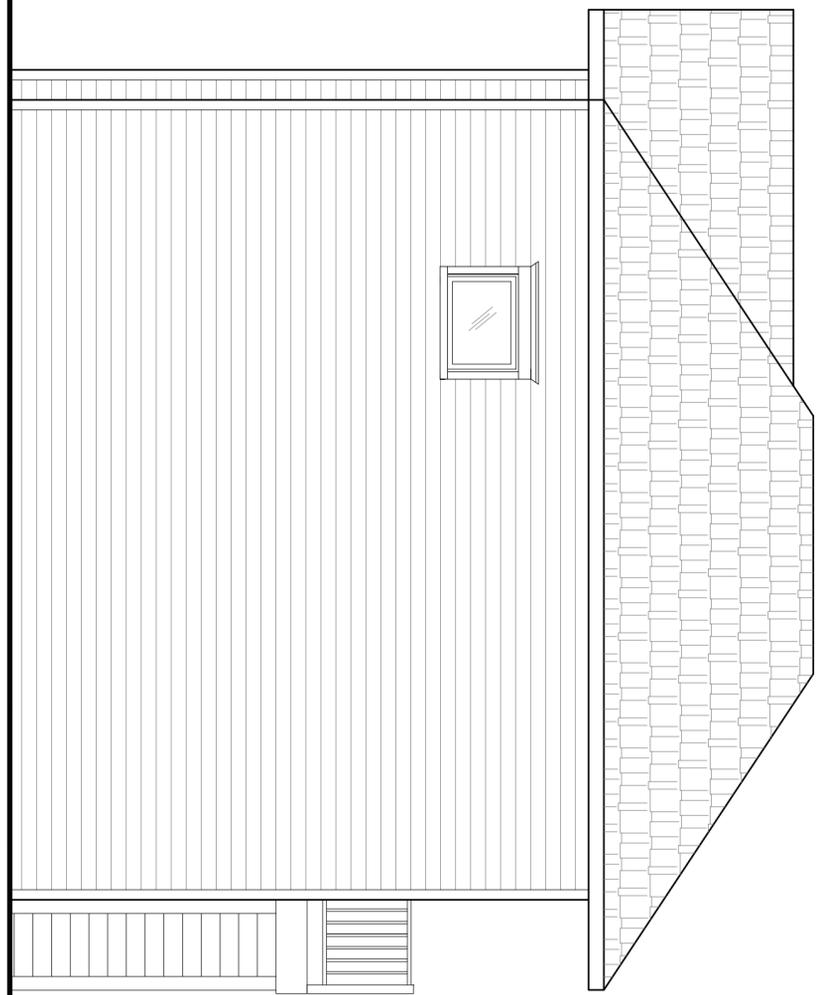
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**A 3.2**

May 07, 2015 - 1:06pm

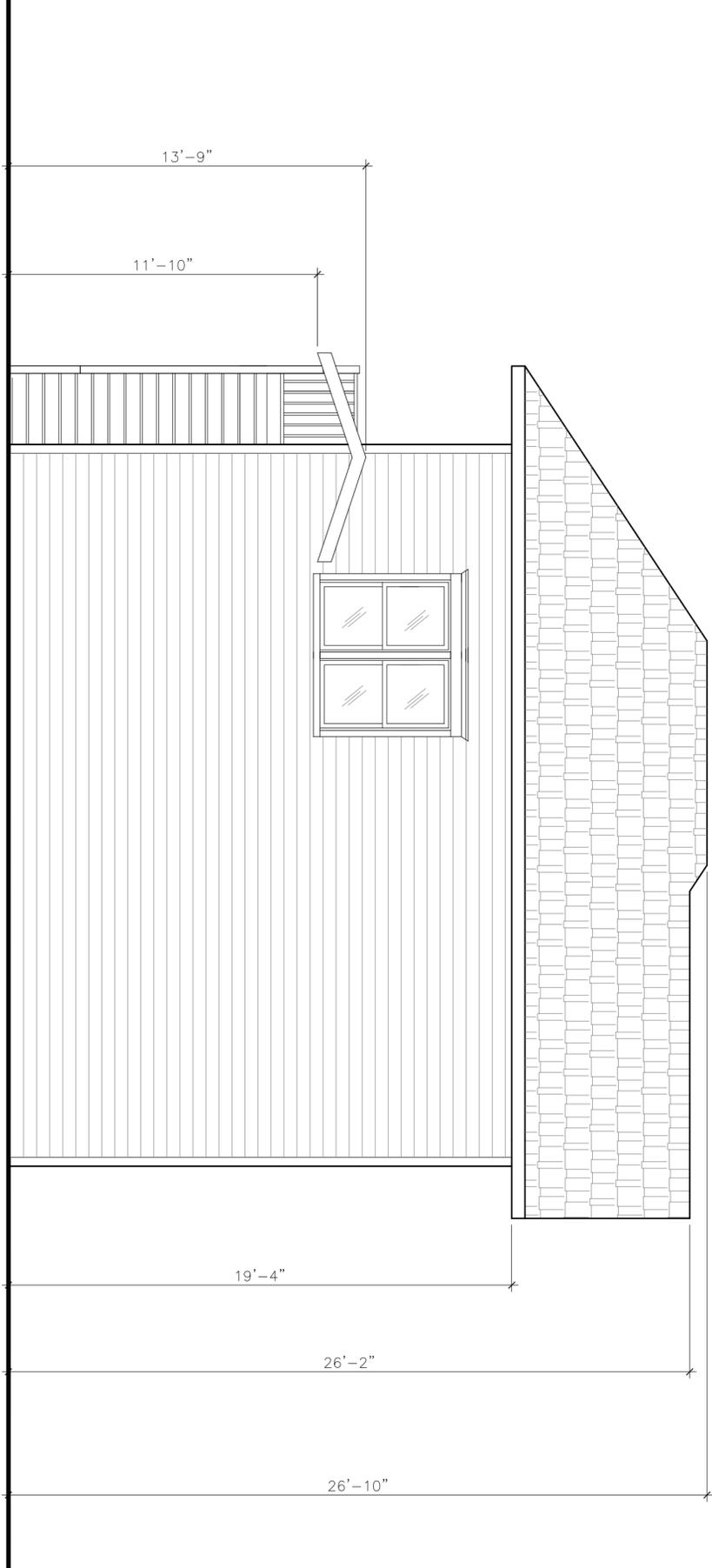
ALLEY SIDE (WEST)



13'-9"

11'-10"

EAST



19'-4"

26'-2"

26'-10"