

# CERTIFICATE OF APPROPRIATENESS APPLICATION

## PART I - GENERAL FORM



**PLANNING &  
DEVELOPMENT  
DEPARTMENT**

Complete all sections and attach all necessary documentation as an incomplete application may cause delays in processing. A complete application includes two parts: part 1- general form; and part 2 - COA checklist(s) for project type and all applicable documentation requested within the checklist(s). Please review the criteria to be considered by the HAHC for Certificates of Appropriateness in the Houston Code of Ordinances, Historic Preservation Ordinance, Chapter 33 VII, Sections 33-240 through 33-249. Refer to the Historic Preservation section on the City of Houston Planning Department website for more information at [www.houstontx.gov/planning](http://www.houstontx.gov/planning).

### OWNER <sup>1</sup>

Name <i>Heather and Tony Bryant</i>		
Company		
Mailing Address <i>1246 Columbia St.</i>		
City <i>Houston</i>	State <i>TX</i>	Zip <i>77008</i>
Phone <i>713 802 2910</i>		
Email		
Signature <i>[Signature]</i>		Date <i>10-23-15</i>

### APPLICANT (if other than owner)

Name <i>Manuel Samperio</i>		
Company <i>Morningside Architects</i>		
Mailing Address <i>4229-A Bellair Blvd</i>		
City <i>Houston, TX</i>	State <i>TX</i>	Zip <i>77025</i>
Phone <i>713-529-2630</i>		
Email		
Signature <i>[Signature]</i>		Date <i>10/23/15</i>

### SITE

Address <i>1246 Columbia St</i>	City <i>Houston</i>	State <i>TX</i>	Zip <i>77008</i>
Subdivision <i>Greater Houston Heights</i>	Lot	Block	

### PROPOSED ACTION (refer to definitions on next page)

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Addition, Alteration, Rehabilitation and/or Restoration <sup>3</sup> | <input type="checkbox"/> New Construction in an historic district |
| <input type="checkbox"/> Relocation <sup>3</sup>   | <input type="checkbox"/> Demolition <sup>3</sup>                  |
| <input type="checkbox"/> Mandatory Repair by order or citation <sup>3</sup>                              | <input type="checkbox"/> Excavation of an archaeological site     |

### ATTACHED DOCUMENTATION

- Written Description** detailing existing site conditions including lot size, structures on lot, area of structures in square feet, setbacks, driveways, and other unique conditions, AND detailed description of the proposed activity; refer to checklists for details
- Current Photographs** showing the overall structure for each elevation visible from a public right-of-way
- Renderings** illustrating existing conditions and proposed activity; refer to checklists for project-specific rendering requirements
- Deed Restriction** compliance of proposed activity and approval of neighborhood or civic association, if applicable
- Application Checklist**<sup>4</sup> for each proposed action checked above and all applicable documentation listed within checklist

<sup>1</sup> Owner is the record title property owner. Applicant may be owner, tenant, architect, contractor, etc.  
<sup>2</sup> Application will not be accepted as complete without a signature of the record title property owner  
<sup>3</sup> Applies to any landmark, protected landmark, or structure within a historic district or archaeological site  
<sup>4</sup> Submit a separate checklist for each proposed action (i.e. a project including an Addition to a house and New Construction of a detached garage)

To be completed by <b>PLANNING STAFF:</b>	Application received by: Accepted as complete by:	Date: Date:
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# CERTIFICATE OF APPROPRIATENESS ALTERATION & ADDITON CHECKLIST



PLANNING &  
DEVELOPMENT  
DEPARTMENT

**Well in advance** of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable items and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-241 for approval criteria for alteration, rehabilitation, restoration and additions.

**PROPERTY ADDRESS:** 1246 Columbia Street, Houston, TX 77008

## BUILDING TYPE

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> single-family residence | <input type="checkbox"/> garage              |
| <input type="checkbox"/> multi-family residence             | <input type="checkbox"/> carport             |
| <input type="checkbox"/> commercial building                | <input type="checkbox"/> accessory structure |
| <input type="checkbox"/> mixed use building                 | <input type="checkbox"/> other               |
| <input type="checkbox"/> institutional building             |  |

## ALTERATION TYPE

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> addition     | <input checked="" type="checkbox"/> roof  |
| <input type="checkbox"/> foundation              | <input type="checkbox"/> awning or canopy |
| <input type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign  |
| <input type="checkbox"/> windows or doors        | <input type="checkbox"/> ramp or lift     |
| <input type="checkbox"/> porch or balcony        | <input type="checkbox"/> other            |

## WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work; plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new materials description; attach specification sheets if necessary

## PHOTOGRAPHS label photos with description and location

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work *N/A*

## DRAWINGS scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> current site plan                 | <input checked="" type="checkbox"/> demolition plan                  |
| <input checked="" type="checkbox"/> proposed site plan                | <input checked="" type="checkbox"/> current roof plan                |
| <input checked="" type="checkbox"/> current floor plans               | <input checked="" type="checkbox"/> proposed roof plan               |
| <input checked="" type="checkbox"/> proposed floor plans              | <input checked="" type="checkbox"/> current elevations (all sides)   |
| <input checked="" type="checkbox"/> current window and door schedule  | <input checked="" type="checkbox"/> proposed elevations (all sides)  |
| <input checked="" type="checkbox"/> proposed window and door schedule | <input checked="" type="checkbox"/> perspective and/or line of sight |

1246 Columbia Street, Houston, TX 77008

The subject house is a non-contributing structure on the southeast corner of Columbia Street and East 13<sup>th</sup> Street in the Houston Heights East Historic District. It is a 2 1/2 story Italianate styled single family house constructed in 2008. No prior alterations have been done to the house since constructed.

The proposed work for this property described in the included drawings consists of a rectangular two-story addition at the southeast corner of the house and additional conditioned area created from existing attic space and space above the two-story addition. All the walls defining the proposed third story spaces will be under the existing and new roof planes.

The addition begins 58'-10" from the front property line along the south side of the house and 36'-9" from the north property line along the back or east side of the house. The proposed area will fill the small notch in the existing nearly rectangular house plan and create a clean roof layout by removing the step in the existing roof ridge. Other than the extended roof ridge and a roof window facing the side street, the addition will not be visible from either front or side streets.

The existing house has smooth fiber-cement lap siding with a 7 inch exposure on the exterior walls and composition shingles on the roof. The proposed addition will be clad with matching siding and roofing materials and maintain existing exposures for both. New windows will match existing. No new exterior doors are proposed for the addition.

The property is 50 ft. by 82 ft. or 4,100 square feet. Please refer to the calculations page for further area calculations.

**JOINT AND MUTUAL  
RESTRICTIVE COVENANT AGREEMENT  
THE HOUSTON HEIGHTS  
(PART OF) BLOCK(S) \_\_\_\_\_ AND \_\_\_\_\_**

STATE OF TEXAS           §  
  §  
COUNTY OF HARRIS       §

WHEREAS, the undersigned persons own, respectively, the property set forth beside his, her, its, or their name(s) on Exhibit "A" attached hereto ("the Property"); and

WHEREAS, the undersigned persons desire to bind themselves in joint and mutual covenants to control the use and development of the Property herein described;

NOW, THEREFORE, it is hereby declared that all of the Property, as defined below, shall be held, sold, and conveyed subject to the following restrictions, covenants, and conditions which are for the purpose of protecting value and desirability of the Property, as defined below, and which shall run with the Property and shall be binding on all parties having any right, title, or interest in or to the Property or any part thereof, and their heirs, successors, and assigns, and which restrictions, covenants, and conditions shall inure to the benefit of each Owner, as defined below, of any of the Property:

**ARTICLE ONE**  
**DEFINITIONS**

1.01 **OWNER.** "Owner" shall refer to the record Owner, whether one or more persons or entities, of the fee simple title to any of the Property, as defined below, whether all or part of said Property be improved or unimproved, including contract sellers, but excluding those having such interest merely as security for the performance of an obligation.

1.02 **PROPERTY.** "Property" shall refer to any or all of those certain parcels of real property described on Exhibit "A" attached hereto beside the name or names of any person or persons who have executed this Agreement.

1.03 **RESIDENCE.** "Residence" shall mean and refer to a single dwelling unit (constituting a single residential space containing facilities for living, sleeping, cooking, and eating) included within or constituting a house, townhouse, condominium unit, apartment unit, or garage apartment.

**ARTICLE TWO**  
**RESTRICTIONS**

2.01 **USE.** All of the Property shall be used for residential purposes; or, for primary residential use and incidental business or commercial use, in the home, provided that the permitted business or commercial use is incidental to the primary residential use of the Property and the general public is not invited, and the business or commercial use is limited to office or professional activity specifically excluding, without limitation, any manufacturing (other than home crafts and hobbies) or industrial activity. Except as otherwise provided herein, the Property shall not be used for any type of business or commercial purpose, or for any industrial or manufacturing purpose whatsoever. Boarding houses or use of any of the Property for hotel purposes is expressly prohibited hereby. No structure of a temporary character, trailer, mobile home, tent, shack, or other outbuilding shall be used on the Property at any time as a residence either temporarily or permanently.

2.02 DESTRUCTION OF PREMISES. Should any permanent structure located on the Property be totally destroyed by fire, wind, rain or any other disaster, then in any event, the Owner of said Property shall clean such Property of any and all debris within nine (9) months of the date of such disaster. The Owner may rebuild the destroyed structure in the same or substantially the same dimensions and site, and for the same use as immediately before the destruction.

2.03 SIGNS. No signs of any character shall be allowed on the Property or on any improvement located thereon, except (i) one sign of not more than five feet square advertising the Property or any Residence located on the Property for sale or rent, or (ii) signs of a temporary nature of not more than five square feet for political or garage sale purposes and (iii) plaques or markers or other type of designation erected or affixed on the Property awarded by federal, state, or municipal government or a civic association.

2.04 USE DURING CONSTRUCTION. An Owner and any other person or entity engaged in the construction and sale of Residences on the Property shall have the right during the construction and sales period, to construct and maintain, on a temporary basis, such facilities as may be reasonably necessary or convenient for such construction and sale, including, but not limited to, signs and storage areas.

2.05 NEW CONSTRUCTION. Subject to the provisions of Article 2, Section 2.01 herein, all new construction on the Property, whether new or as an addition to an existing structure, shall comply with the following restrictions:

- (a) SIDE AND BACK SETBACKS. No part of a Residence shall be constructed any closer than three (3) feet to each property line of the Property other than the front property line defined in Subsection (b) of this Section 2.05 (see Subsection (c) for the front setback), except that with respect to corner lots, the setback for the property line that faces a street (other than the front property line) shall be ten (10) feet. For purposes of this Section 2.05, "part of a Residence" shall mean any part of a Residence below the roof overhang, except for fireplace chimneys, stairsteps, wheelchair ramps, and bay windows. Roof overhangs shall extend no farther than halfway into any side or back setback area.
- (b) RESIDENCE TO FACE A STREET. Each Residence must be constructed so that its main entrance is incorporated into the elevation of the Residence that faces a street ("the face elevation") and so that no other Residence or significant structure is situated between the Residence and the street that it faces. For purposes of this Agreement, the property line between the face elevation of the Residence and the street that it faces is the "front property line," and the "main entrance" may consist of a porch or stoop that is designed to be entered from the direction of the front property line, even if the entry into the Residence from such porch or stoop is not facing the front property line.
- (c) FRONT SETBACK. No part of a Residence shall be constructed any closer than fifteen (15) feet to the Property's front property line as defined in Subsection (b) above.
- (d) HEIGHT RESTRICTIONS. No structure shall exceed the following height restrictions (from ground elevation to the highest point of the structure), except that such height restrictions may be exceeded to accommodate architectural embellishments that do not constitute living area, such as chimneys, steeples, and towers, and that are each of a circumference of no greater than thirty-six (36) feet:
  - (i) if the width of the Property (from side property line to side property line) is fifty (50) feet or less, forty (40) feet in height;

- (ii) if the width of the Property is greater than 50 feet, 40 feet in height plus an additional one (1) foot of height for every one (1) foot of setback (from the nearest side property line) in addition to the initial three (3) foot setback required in Subsection (a) above, provided, however, that in no event shall the structure exceed fifty (50) feet in height.
- (e) COMMON WALL CONSTRUCTION PROHIBITED. No Residence shall be constructed to share a common wall with another Residence, nor shall any Residence be constructed so that any exterior wall of such Residence is within six (6) feet of an exterior wall of another Residence; provided, however, that this restriction shall not prohibit the renting or leasing of space within a Residence that is otherwise permitted by this Agreement, nor shall it prohibit the construction of an apartment unit as part of a garage structure appurtenant to a Residence on a single Property that otherwise meets the density requirements of Section 2.06 hereof.
- (f) GARAGE SETBACK. No garage shall be constructed closer to the front property line of the Property than the midway point between the front property line and the opposite property line (*i.e.*, the rear property line), nor shall any garage be constructed so that it is closer to the front property line than the face elevation of the Residence to which it is appurtenant. If the garage is part of the structure of the Residence, the structure shall be constructed so that the garage door and frame comprise no more than half of the width of the first floor of the structure's face elevation as defined in Subsection (b) above.
- (g) RAISED FOUNDATION REQUIRED. Each Residence (but not including a garage or other structure appurtenant to the main Residence) shall be constructed with a pier-and-beam foundation or, if not pier-and-beam, a foundation that otherwise raises the bottom floor of the Residence no less than two (2) feet from ground elevation.
- (h) MINIMUM STREET FRONTAGE. Each Residence shall have a front property line of no less than fifty (50) feet, except that if the length of the front property line of the Property on which the Residence is located is less than fifty (50) feet as of the date that this Agreement is executed with respect to such Property, the minimum front property line shall be such lesser length.
- (i) RESTRICTIONS ON MODIFICATIONS. The provisions of this Section 2.05 shall not be effective to the extent prohibited by Section 207.008 of the Texas Property Code.

2.06 DENSITY. No Residence shall be constructed on the Property if the consequence would be a density of greater than one (1) Residence for every five thousand (5,000) square feet of area of the Property ("the minimum square footage"), except that if the square footage of the Property is less than five thousand (5,000) square feet as of the date that this Agreement is executed with respect to such Property, the minimum square footage shall be such lesser square footage. For this purpose, "Residence" shall not include any garage apartment that is appurtenant to a Residence on the same Property.

2.07 RUBBISH, TRASH, AND GARBAGE. No Property shall be used or maintained as a dumping ground for rubbish or trash, and no garbage or other waste shall be kept except in sanitary containers. All incinerators or other equipment for the storage and disposal of such materials shall be kept in a clean and sanitary condition.

### ARTICLE THREE GENERAL PROVISIONS

3.01 ENFORCEMENT. Any Owner or Owners of a Property restricted herein, jointly or severally, and/or The Houston Heights Association, a Texas nonprofit corporation (the "Association"), its successors or assigns shall have the right to enforce, by any proceeding at law or in equity, all restrictions, conditions, and

reservations now or hereafter imposed by the provisions of this Agreement against any Property reflected hereby. If restrictions are enforced exclusively by The Houston Heights Association, each Owner, by his execution hereof, shall be deemed to have appointed the Association, its successors and assigns, as Agent and Attorney-in-Fact of such owner, to act in the place, stead, and on behalf of such Owner in the enforcement of any restrictive covenant contained herein. Notwithstanding the foregoing, the Association shall not be required or obligated to bring any such claims or litigation or otherwise enforce the restrictive covenants herein contained or be joined in any proceeding as a necessary party. Failure to enforce any covenant or restriction herein contained shall, in no event, be deemed a waiver of the right do so thereafter.

3.02 SEVERABILITY. Invalidation of any one of these covenants or restrictions by judgment or court order shall in no way affect any other provision, and all other provisions shall remain in full force and effect.

3.03 NON-CONFORMING USE. All Owners expressly agree and acknowledge that as to any Property restricted hereby, any non-conforming use, legally and lawfully in existence as of the effective date hereof, that does not comply with the restrictions and covenants set forth herein, shall not be enforceable against the Owner of such Property whose non-conformance falls within the terms and provisions of this paragraph; provided, however, that upon the voluntary discontinuation of a non-conforming use or the abandonment or substantial destruction of the improvements located on the Property whereupon such non-conforming use existed, then in such event(s), these restrictions and covenants shall be of full force and effect and enforceable against such Owner and Property whereupon such non-conforming use existed, and such Owner shall be prevented from re-establishing such non-conforming use after such abandonment, voluntary discontinuation, or substantial destruction of such improvements.

3.04 DURATION AND AMENDMENT. The covenants, conditions, and restrictions of this Agreement shall run with and bind the land, and shall inure to the benefit of, and be enforceable by, the Owner of any Property subject to this Agreement, and his/her/its respective legal representatives, heirs, successors, and assigns (or The Houston Heights Association, as provided in paragraph 3.01 herein), and unless amended or terminated as provided herein, shall be effective for a term of twenty (20) years from the date this Agreement is recorded, after which time said covenants, conditions, and restrictions shall be automatically extended for successive periods of ten (10) years. The covenants, conditions, and restrictions of this Agreement may be amended or terminated only as provided in Chapter 207 of the Texas Property Code. No amendment or termination shall be effective until recorded in the Real Property Records of Harris County, Texas.

3.05 This instrument may be executed in multiple counterparts, all of which shall be considered one and the same instrument.

3.06 This Agreement may be executed and filed of record in multiple originals, all of which, in the aggregate, shall be considered one and the same instrument for purposes of the enforcement or interpretation of any provision hereof.

EXECUTED by the undersigned Owners as of the dates of the respective acknowledgements shown on the attached sheets, and effective for all purposes of the dates of such respective acknowledgements as to that portion of the Property owned by the undersigned persons, respectively.

**EXHIBIT A**

We, the undersigned property owners of Lots or portions thereof adjacent to \_\_\_\_\_ Street in Block(s) \_\_\_\_\_ and \_\_\_\_\_ of THE HOUSTON HEIGHTS, an addition to the City of Houston, according to the Map or Plat thereof recorded in Volume 1A, Page 114, of the Map Records of Harris County, Texas, wish to restrict the following described property in accordance with the terms set forth in the preceding document:

**LOT OWNERS:**

**LOTS OWNED AND STREET ADDRESS:**

\_\_\_\_\_  
SIGNATURE  
PRINTED NAME: \_\_\_\_\_

Lot \_\_\_\_\_, Block \_\_\_\_\_  
Address: \_\_\_\_\_

\_\_\_\_\_  
SIGNATURE  
PRINTED NAME: \_\_\_\_\_

Lot \_\_\_\_\_, Block \_\_\_\_\_  
Address: \_\_\_\_\_

\_\_\_\_\_  
SIGNATURE  
PRINTED NAME: \_\_\_\_\_

Lot \_\_\_\_\_, Block \_\_\_\_\_  
Address: \_\_\_\_\_

\_\_\_\_\_  
SIGNATURE  
PRINTED NAME: \_\_\_\_\_

Lot \_\_\_\_\_, Block \_\_\_\_\_  
Address: \_\_\_\_\_

\_\_\_\_\_  
SIGNATURE  
PRINTED NAME: \_\_\_\_\_

Lot \_\_\_\_\_, Block \_\_\_\_\_  
Address: \_\_\_\_\_

\_\_\_\_\_  
SIGNATURE  
PRINTED NAME: \_\_\_\_\_

Lot \_\_\_\_\_, Block \_\_\_\_\_  
Address: \_\_\_\_\_

\_\_\_\_\_  
SIGNATURE  
PRINTED NAME: \_\_\_\_\_

Lot \_\_\_\_\_, Block \_\_\_\_\_  
Address: \_\_\_\_\_

\_\_\_\_\_  
SIGNATURE  
PRINTED NAME: \_\_\_\_\_

Lot \_\_\_\_\_, Block \_\_\_\_\_  
Address: \_\_\_\_\_

\_\_\_\_\_  
SIGNATURE  
PRINTED NAME: \_\_\_\_\_

Lot \_\_\_\_\_, Block \_\_\_\_\_  
Address: \_\_\_\_\_

STATE OF TEXAS     §  
                                  §  
COUNTY OF HARRIS §

This instrument was acknowledged before me on the \_\_\_\_\_ day of \_\_\_\_\_, by  
\_\_\_\_\_.

(SEAL)

\_\_\_\_\_  
Notary Public in and for the State of Texas

STATE OF TEXAS     §  
                                  §  
COUNTY OF HARRIS §

This instrument was acknowledged before me on the \_\_\_\_\_ day of \_\_\_\_\_, by  
\_\_\_\_\_.

(SEAL)

\_\_\_\_\_  
Notary Public in and for the State of Texas

STATE OF TEXAS     §  
                                  §  
COUNTY OF HARRIS §

This instrument was acknowledged before me on the \_\_\_\_\_ day of \_\_\_\_\_, by  
\_\_\_\_\_.

(SEAL)

\_\_\_\_\_  
Notary Public in and for the State of Texas

STATE OF TEXAS     §  
                                  §  
COUNTY OF HARRIS §

This instrument was acknowledged before me on the \_\_\_\_\_ day of \_\_\_\_\_, by  
\_\_\_\_\_.

(SEAL)

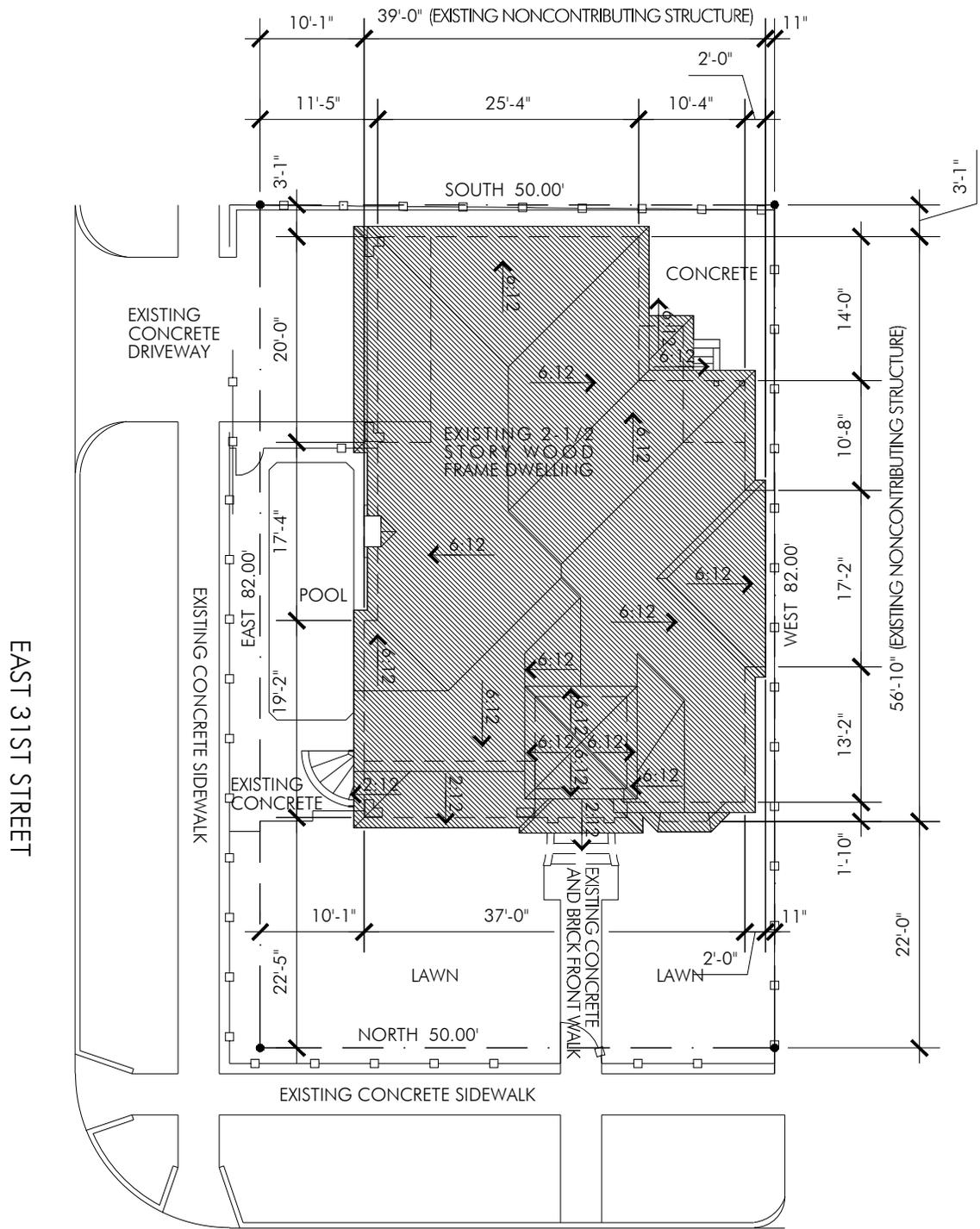
\_\_\_\_\_  
Notary Public in and for the State of Texas

STATE OF TEXAS     §  
                                  §  
COUNTY OF HARRIS §

This instrument was acknowledged before me on the \_\_\_\_\_ day of \_\_\_\_\_, by  
\_\_\_\_\_.

(SEAL)

\_\_\_\_\_  
Notary Public in and for the State of Texas



1246 COLUMBIA STREET, HOUSTON, TX 77008

WEST 82' OF LOT 24, BLOCK 191, HOUSTON HEIGHTS, VOLUME 1, PAGE 114, MAP RECORDS, HARRIS COUNTY, TEXAS

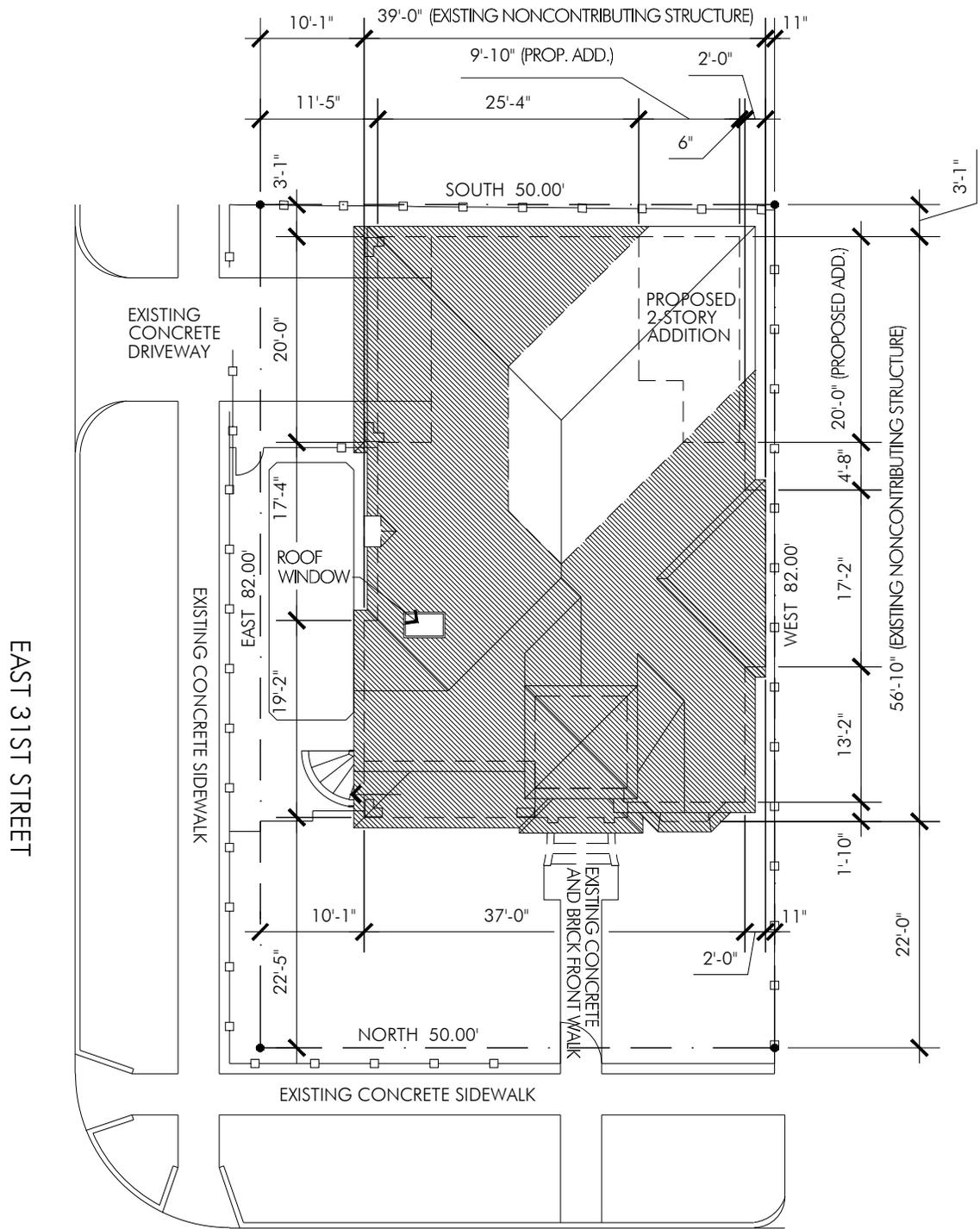
COLUMBIA STREET

EXISTING SITE PLAN  
SCALE: 1/16" = 1'-0"



1246 COLUMBIA STREET 10.15.15

DOCUMENT INCOMPLETE: NOT INTENDED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION. GAIL SCHORRE REGISTRATION NO. 11042



1246 COLUMBIA STREET, HOUSTON, TX 77008

WEST 82' OF LOT 24, BLOCK 191, HOUSTON HEIGHTS, VOLUME 1, PAGE 114, MAP RECORDS, HARRIS COUNTY, TEXAS

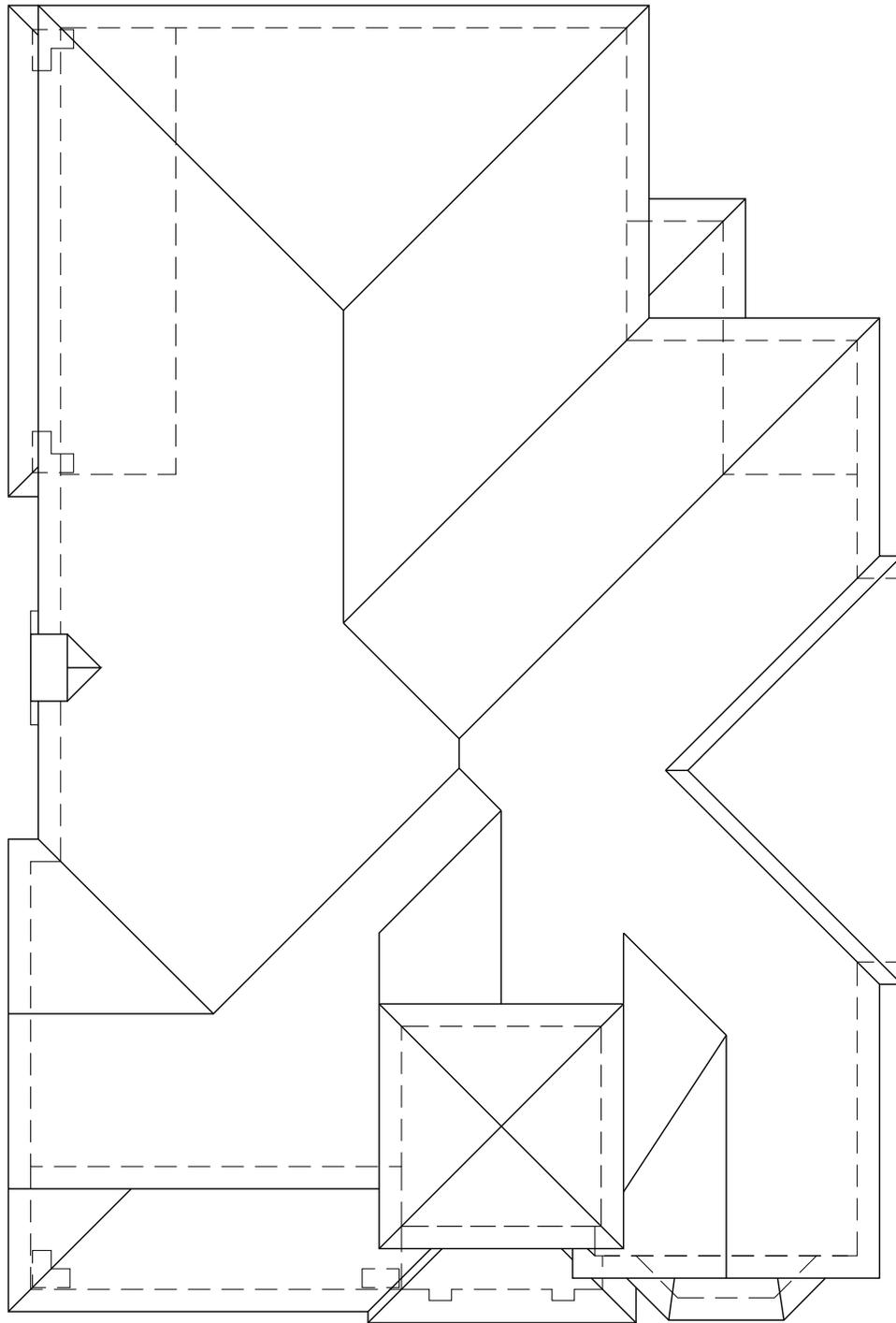
COLUMBIA STREET

PROPOSED SITE PLAN  
SCALE: 1/16" = 1'-0"



1246 COLUMBIA STREET 10.15.15

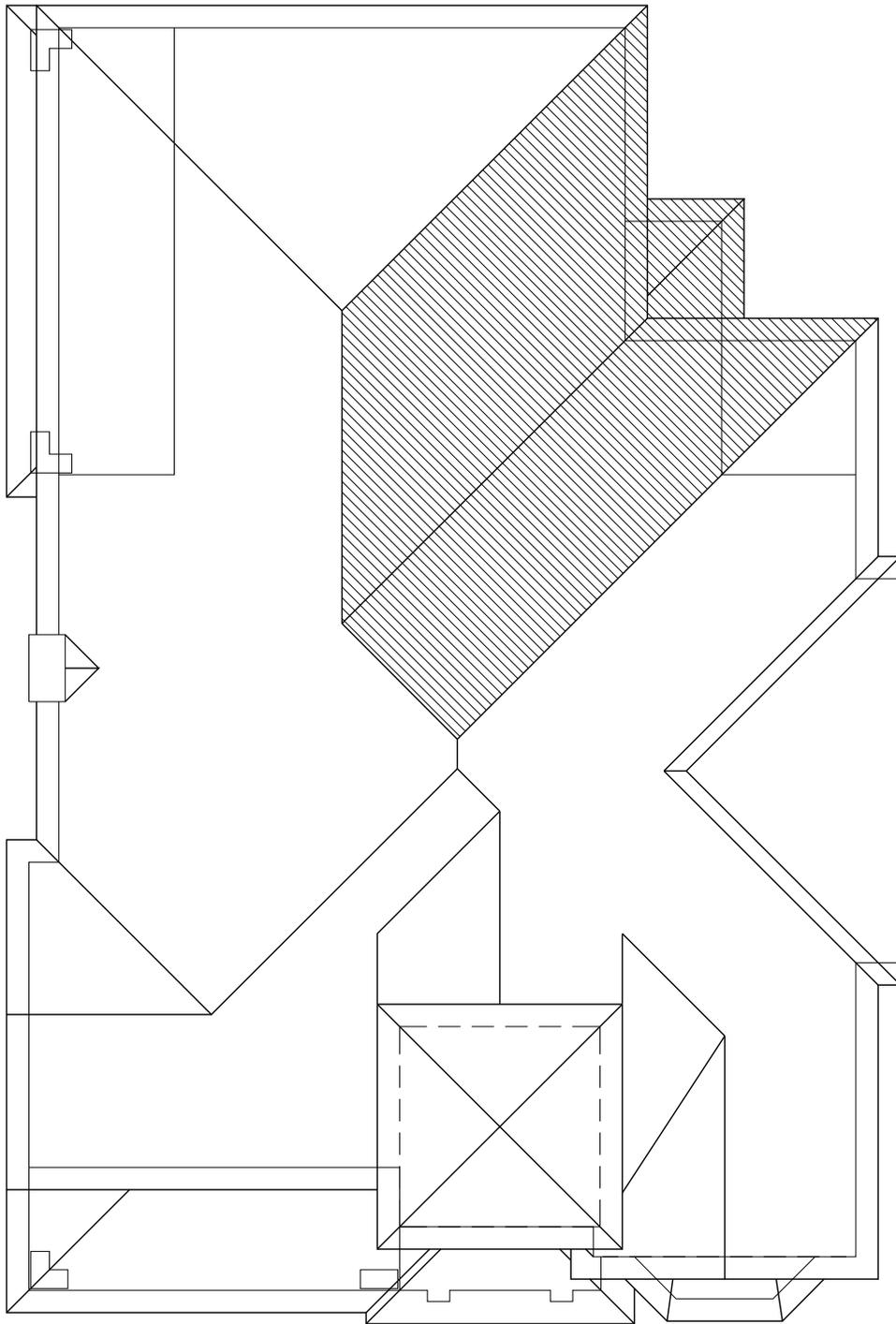
DOCUMENT INCOMPLETE: NOT INTENDED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION. GAIL SCHORRE REGISTRATION NO. 11042



EXISTING ROOF PLAN  
SCALE: 1/8" = 1'-0"



1246 COLUMBIA STREET 10.15.15

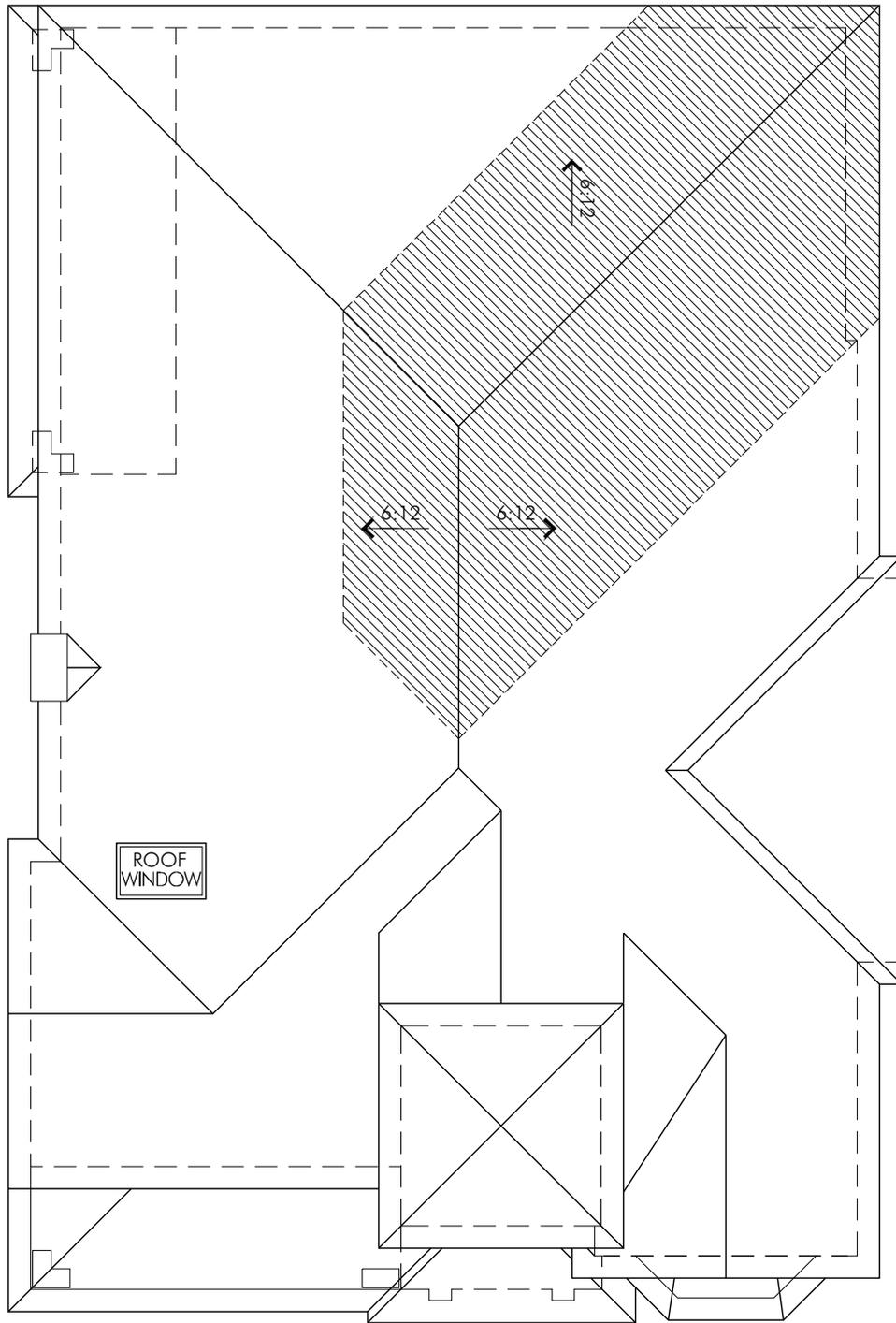


DEMOLITION ROOF PLAN  
(DEMOLITION = HATCHED AREA)



SCALE: 1/8" = 1'-0"

1246 COLUMBIA STREET 10.15.15

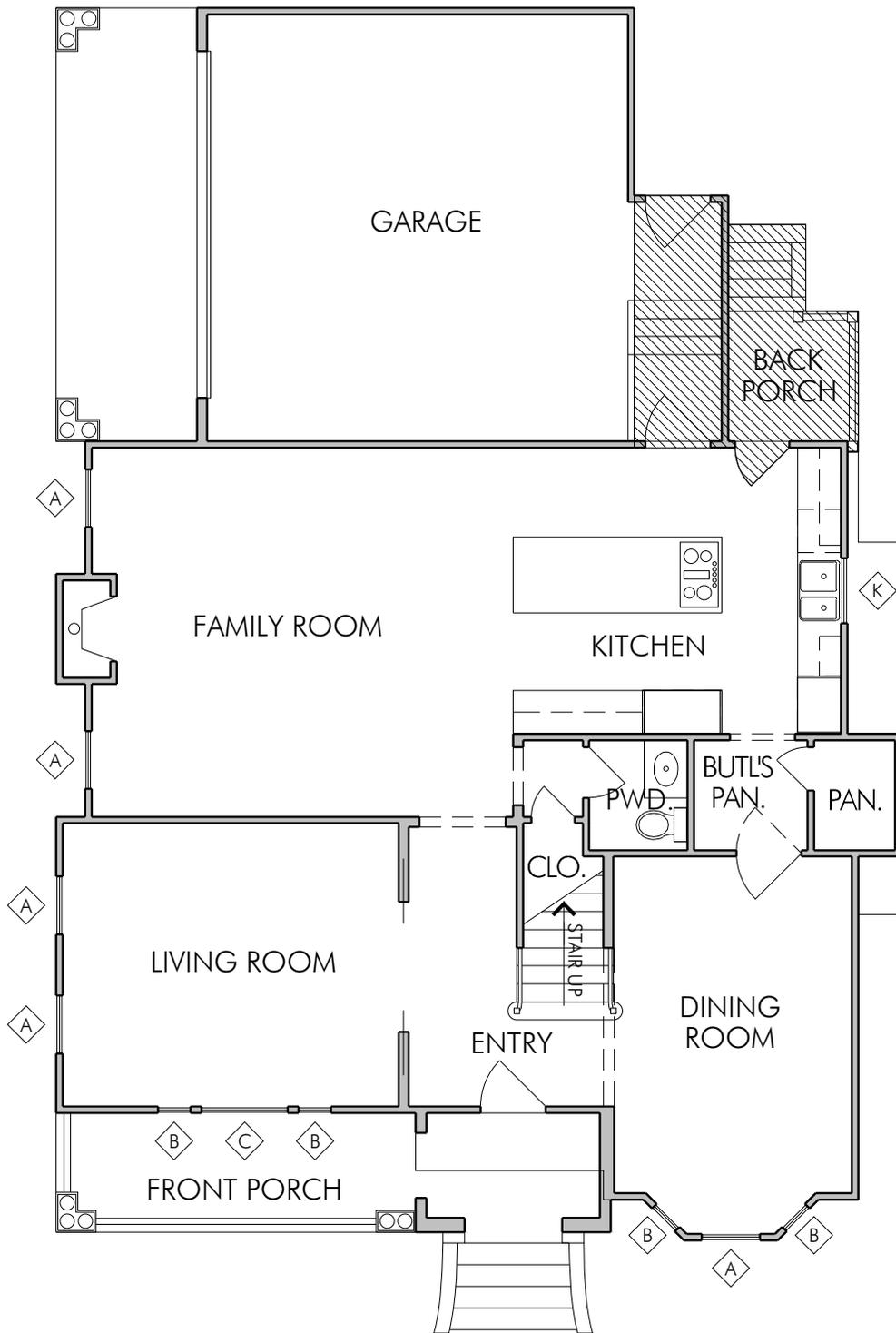


**PROPOSED ROOF PLAN**  
 (PROPOSED = HATCHED AREA)



SCALE: 1/8" = 1'-0"

1246 COLUMBIA STREET 10.15.15

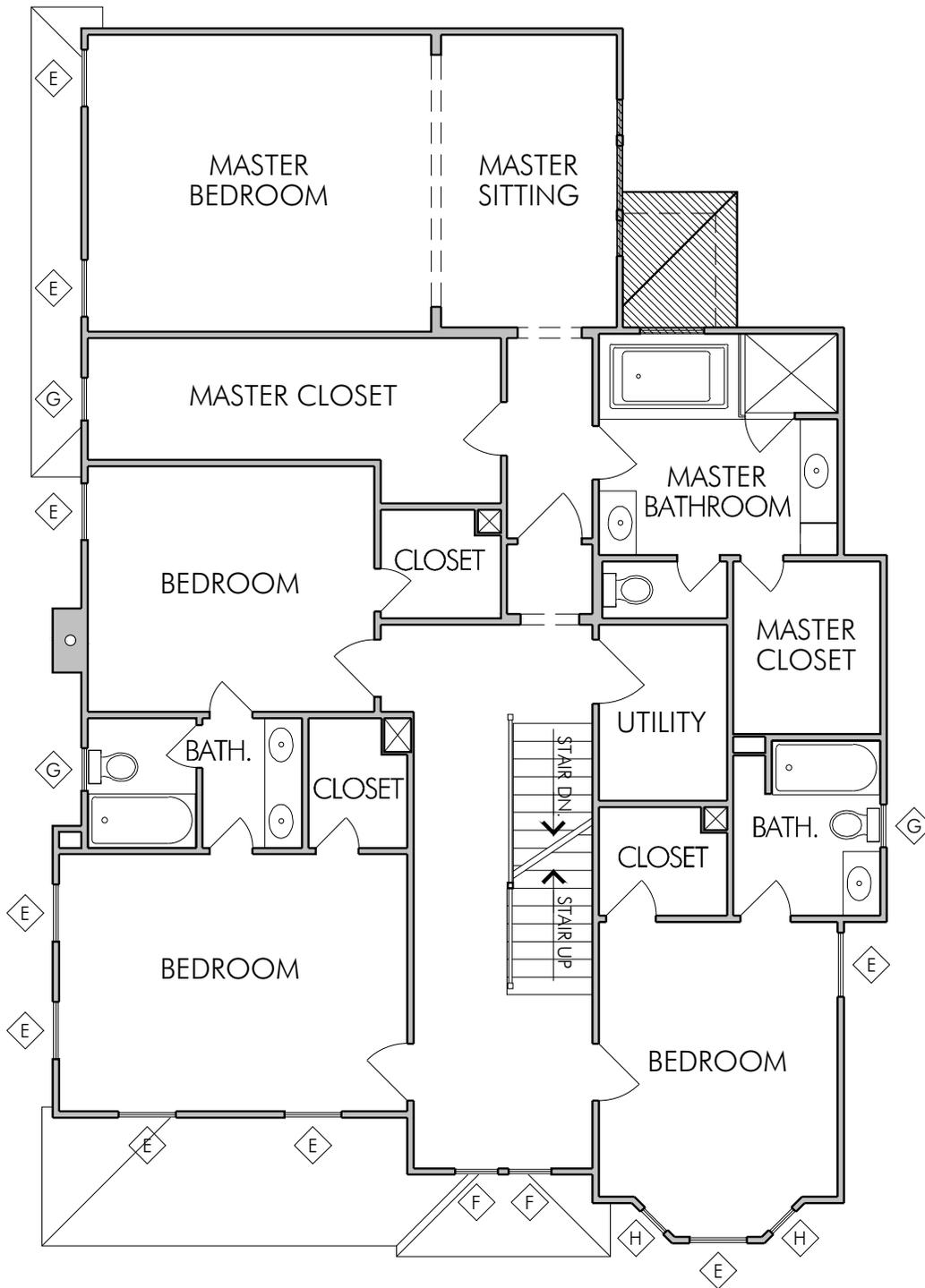


EXISTING 1ST FLOOR PLAN  
 (ALSO SHOWING DEMOLITION - HATCHED AREA)



SCALE: 1/8" = 1'-0"

1246 COLUMBIA STREET 10.15.15

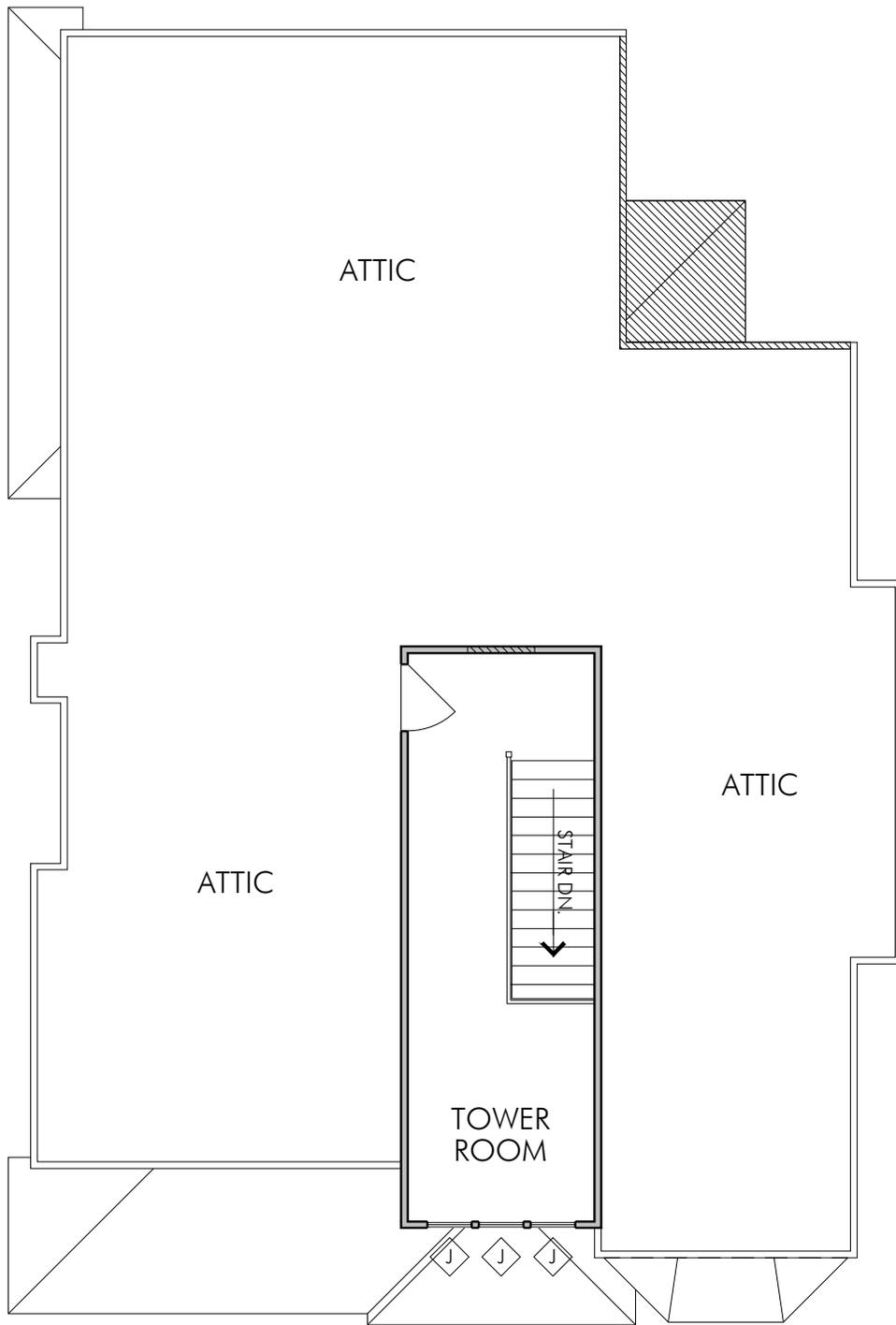


**EXISTING 2ND FLOOR PLAN**  
 (ALSO SHOWING DEMOLITION - HATCHED AREA)



SCALE: 1/8" = 1'-0"

1246 COLUMBIA STREET 10.15.15

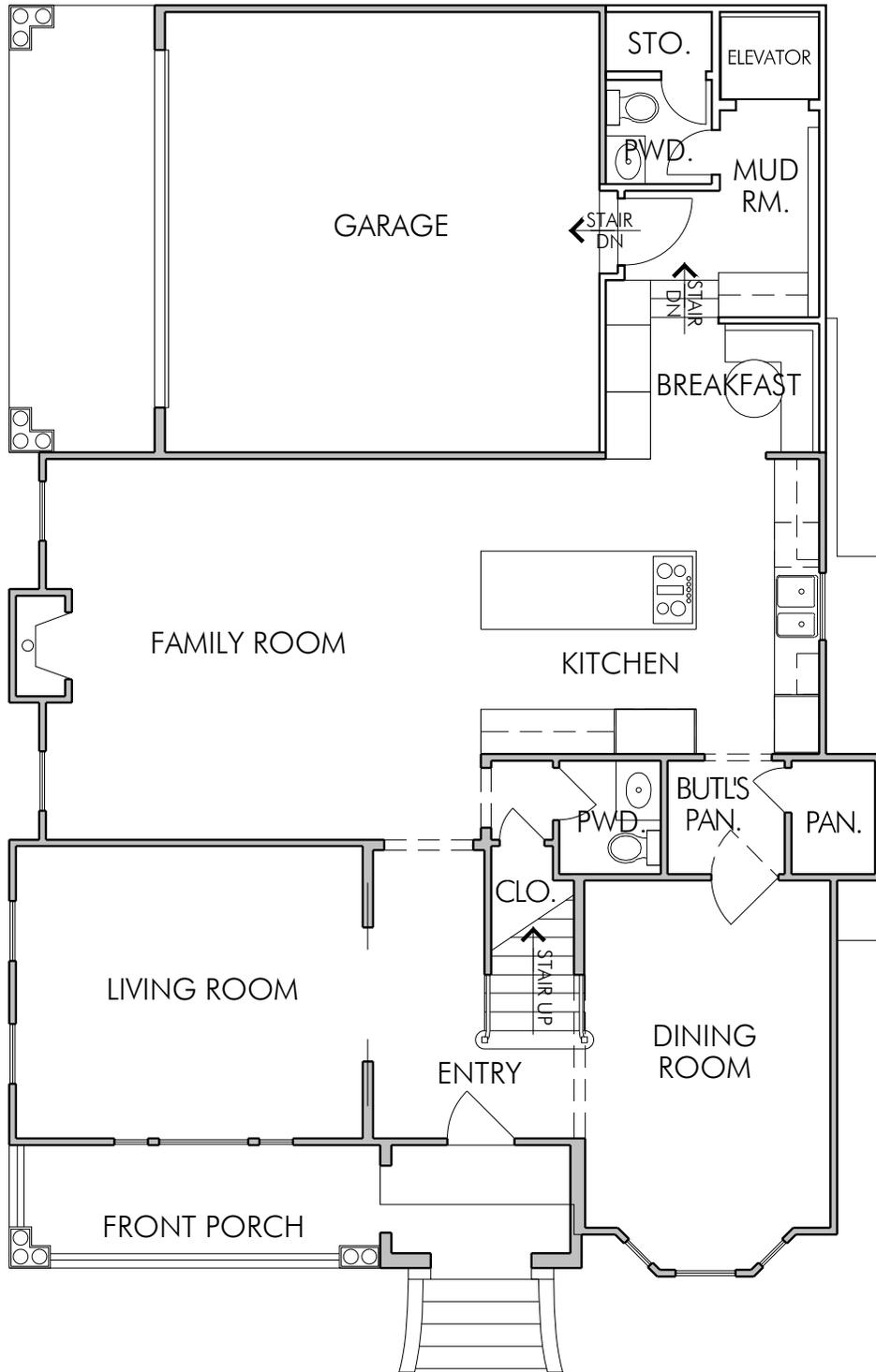


EXISTING 3RD FLOOR PLAN  
(ALSO SHOWING DEMOLITION - HATCHED AREA)



SCALE: 1/8" = 1'-0"

1246 COLUMBIA STREET 10.15.15

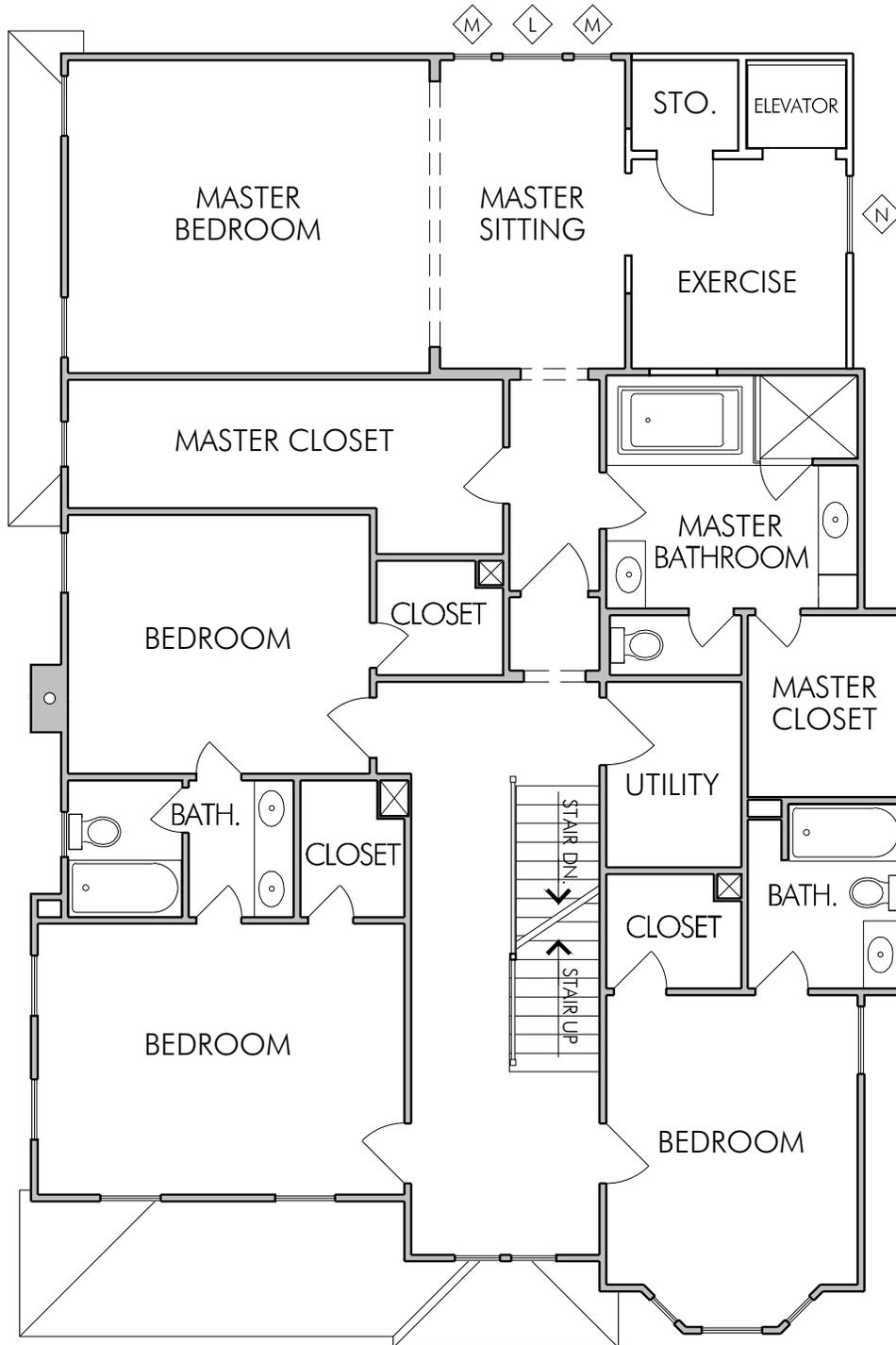


PROPOSED 1ST FLOOR PLAN  
 SCALE: 1/8" = 1'-0"



1246 COLUMBIA STREET 10.15.15

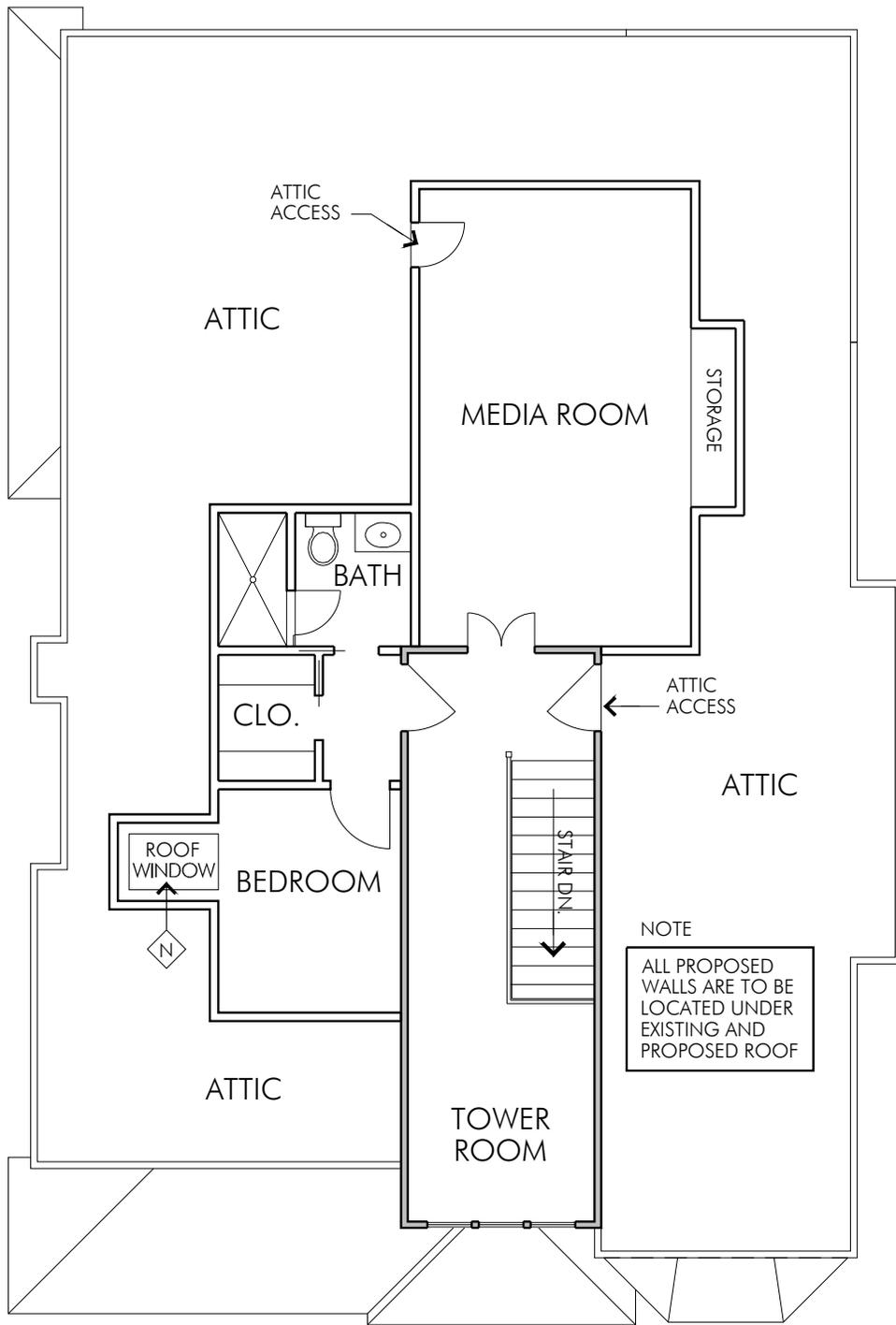
DOCUMENT INCOMPLETE: NOT INTENDED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION. GAIL SCHORRE REGISTRATION NO. 11042



PROPOSED 2ND FLOOR PLAN  
 SCALE: 1/8" = 1'-0"



1246 COLUMBIA STREET 10.15.15



PROPOSED 3RD FLOOR PLAN  
 SCALE: 1/8" = 1'-0"



1246 COLUMBIA STREET 10.15.15



## EXISTING WEST ELEVATION

SCALE: 1/8" = 1'-0"

1246 COLUMBIA STREET 10.15.15

DOCUMENT INCOMPLETE: NOT INTENDED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION. GAIL SCHORRE REGISTRATION NO. 11042

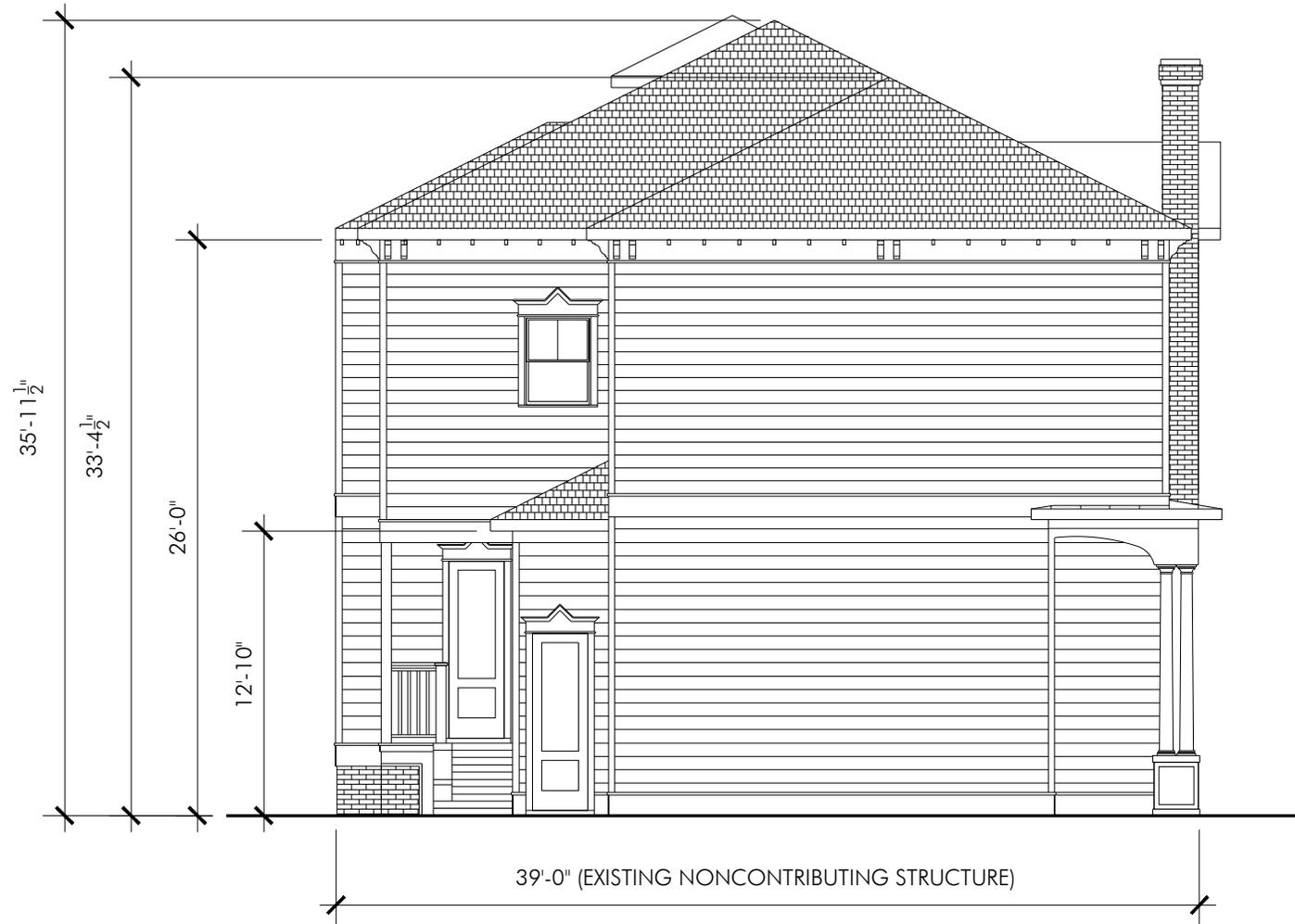


## PROPOSED WEST ELEVATION

SCALE: 1/8" = 1'-0"

1246 COLUMBIA STREET 10.15.15

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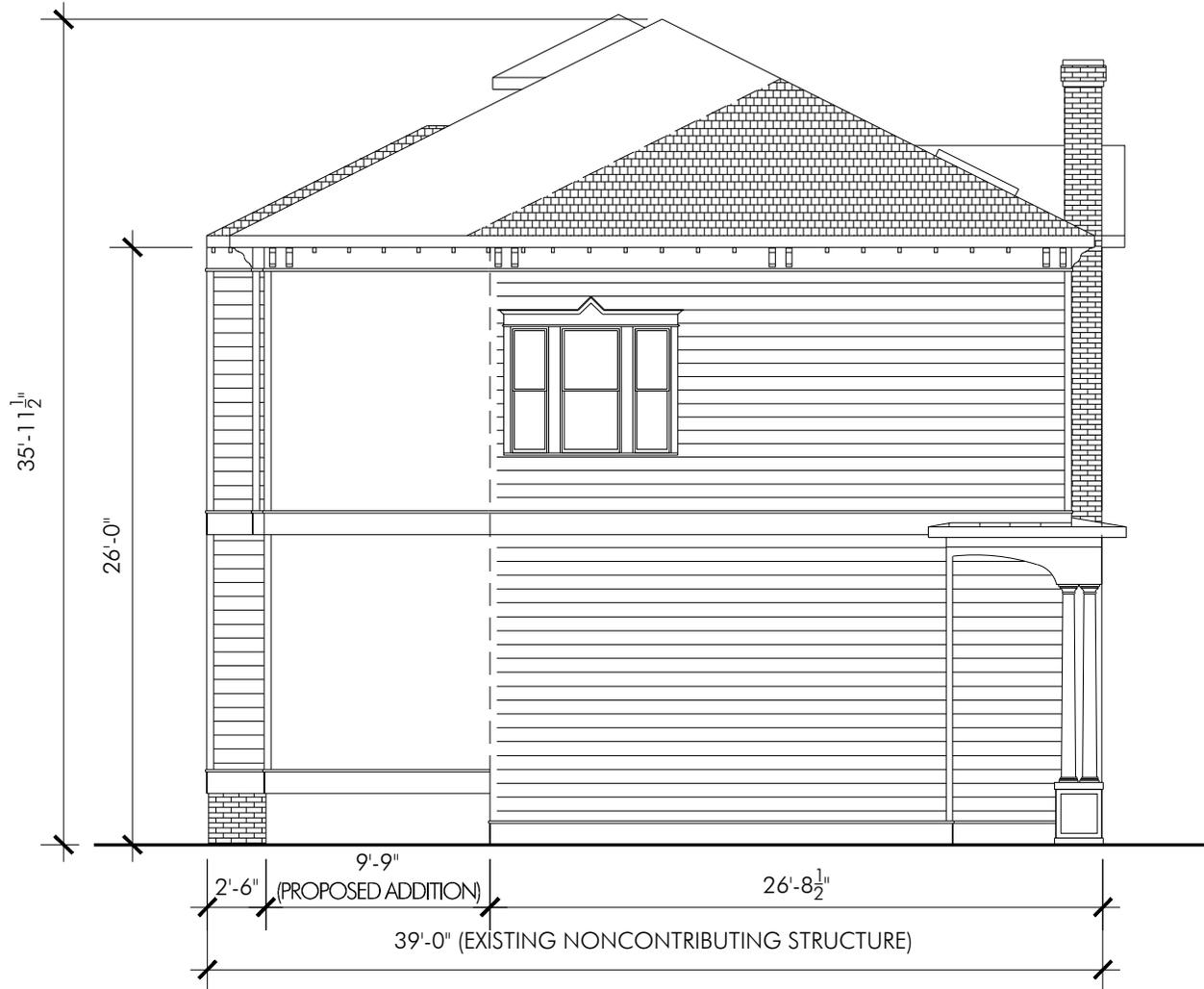


EXISTING EAST ELEVATION

SCALE: 1/8" = 1'-0"

1246 COLUMBIA STREET 10.15.15

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PROPOSED EAST ELEVATION

SCALE: 1/8" = 1'-0"

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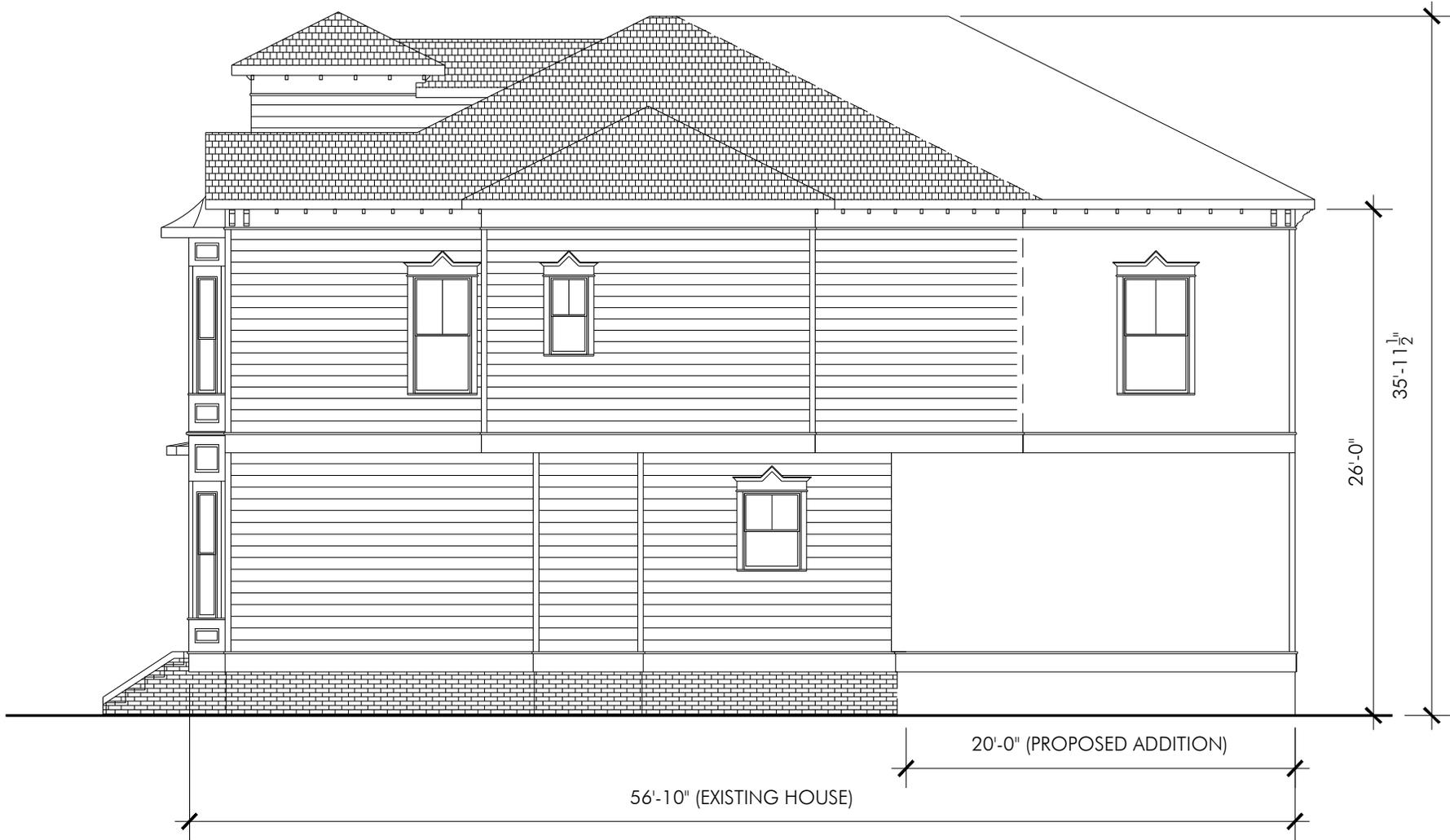


EXISTING SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

1246 COLUMBIA STREET 10.15.15

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## PROPOSED SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

1246 COLUMBIA STREET 10.15.15

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PROPOSED NORTH ELEVATION

SCALE: 1/8" = 1'-0"

1246 COLUMBIA STREET 10.15.15

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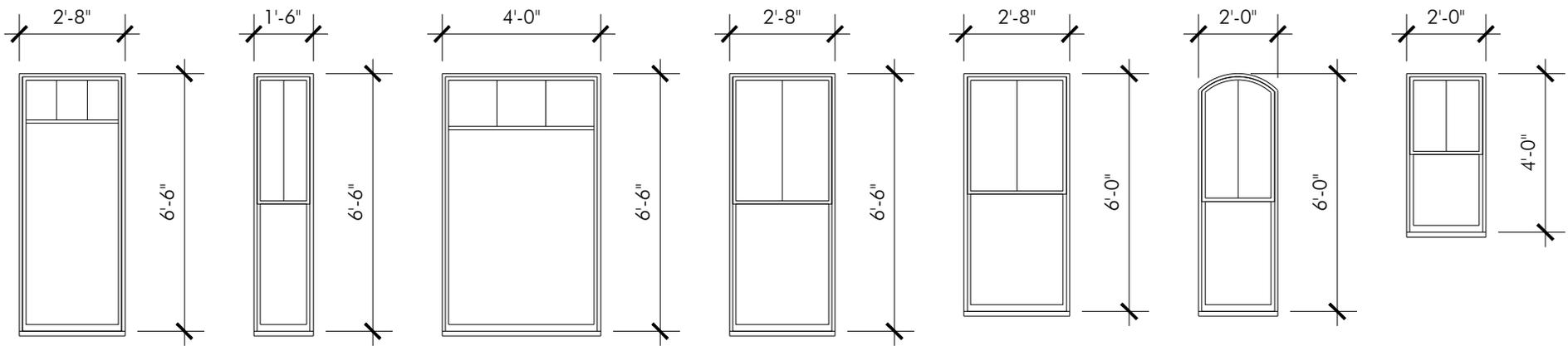


## EXISTING NORTH ELEVATION

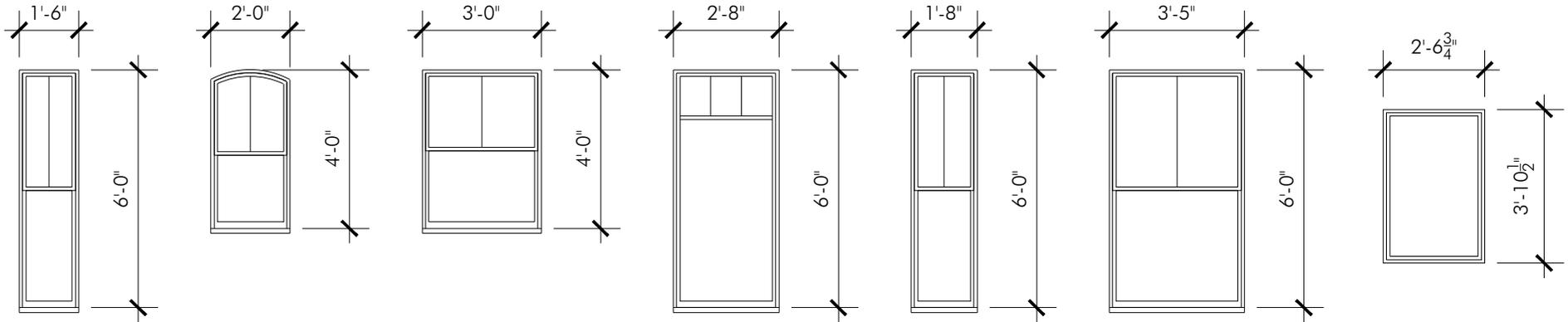
SCALE: 1/8" = 1'-0"

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"A" WINDOW TYPE "A" EXISTING DOUBLE HUNG WINDOW  
 "B" WINDOW TYPE "B" EXISTING DOUBLE HUNG WINDOW  
 "C" WINDOW TYPE "C" EXISTING FIXED PICTURE WINDOW  
 "D" WINDOW TYPE "D" EXISTING DOUBLE HUNG WINDOW  
 \* "E" WINDOW TYPE "E" EXISTING DOUBLE HUNG EGRESS WINDOW  
 "F" WINDOW TYPE "F" EXISTING DOUBLE HUNG WINDOW  
 "G" WINDOW TYPE "G" EXISTING DOUBLE HUNG WINDOW



"H" WINDOW TYPE "H" EXISTING DOUBLE HUNG WINDOW  
 "J" WINDOW TYPE "J" EXISTING DOUBLE HUNG WINDOW  
 "K" WINDOW TYPE "K" EXISTING DOUBLE HUNG WINDOW  
 "L" WINDOW TYPE "L" NEW FIXED PICTURE WINDOW  
 "M" WINDOW TYPE "M" NEW DOUBLE HUNG WINDOW  
 "N" WINDOW TYPE "N" NEW DOUBLE HUNG WINDOW  
 \* "O" WINDOW TYPE "O" NEW EGRESS ROOF WINDOW

UNLESS NOTED OTHERWISE ALL WINDOWS "JELD WEN", TRADITION PLUS CLAD-WOOD PRODUCT LINE OR BETTER OR OTHER MANUFACTURER PRODUCT LINE OF EQUAL OR BETTER QUALITY. TYPICAL ALL WINDOWS: SHGC 0.40 & U VALUE 0.65, SEE RESIDENTIAL ENERGY CONSERVATION FORM. UNLESS NOTED OTHERWISE ON FLOOR PLANS, MOUNT FIRST FLOOR WINDOWS TO MATCH EXISTING WINDOW HEAD HEIGHT, MOUNT SECOND FLOOR WINDOWS TO MATCH DOOR HEAD HEIGHT

\* EGRESS WINDOW TO MEET THE FOLLOWING OPENING REQUIREMENTS:

MINIMUM CLEAR AREA OF OPENING: 5.7 SF., MINIMUM CLEAR OPENING HEIGHT: 24", MINIMUM CLEAR OPENING WIDTH : 20", PER 2006 IRC R613.2. IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 24 INCHES SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4-INCH-DIAMETER SPHERE CANNOT PASS. CONTRACTOR TO VERIFY WINDOW TYPE "F" WILL COMPLY WITH NOTE ABOVE ON MOUNTING HTS. NOTIFY ARCHITECT IF CONFLICT EXISTS.

WINDOW TYPES  
 SCALE: 1/4" = 1'-0"

1246 COLUMBIA STREET 10.15.15

## CONDITIONED AREA CALCULATION

AIR CONDITIONED AREA:

EXISTING 1ST FLOOR TO REMAIN	1,187 SQ.FT.
EXISTING 2ND FLOOR TO REMAIN	1,780 SQ.FT.
EXISTING 3RD FLOOR TO REMAIN	191 SQ.FT.
NEW ADDITION 1ST FLOOR	203 SQ.FT.
NEW ADDITION 2ND FLOOR	138 SQ.FT.
NEW ADDITION 3RD FLOOR	508 SQ.FT.
TOTAL	4,007 SQ.FT.



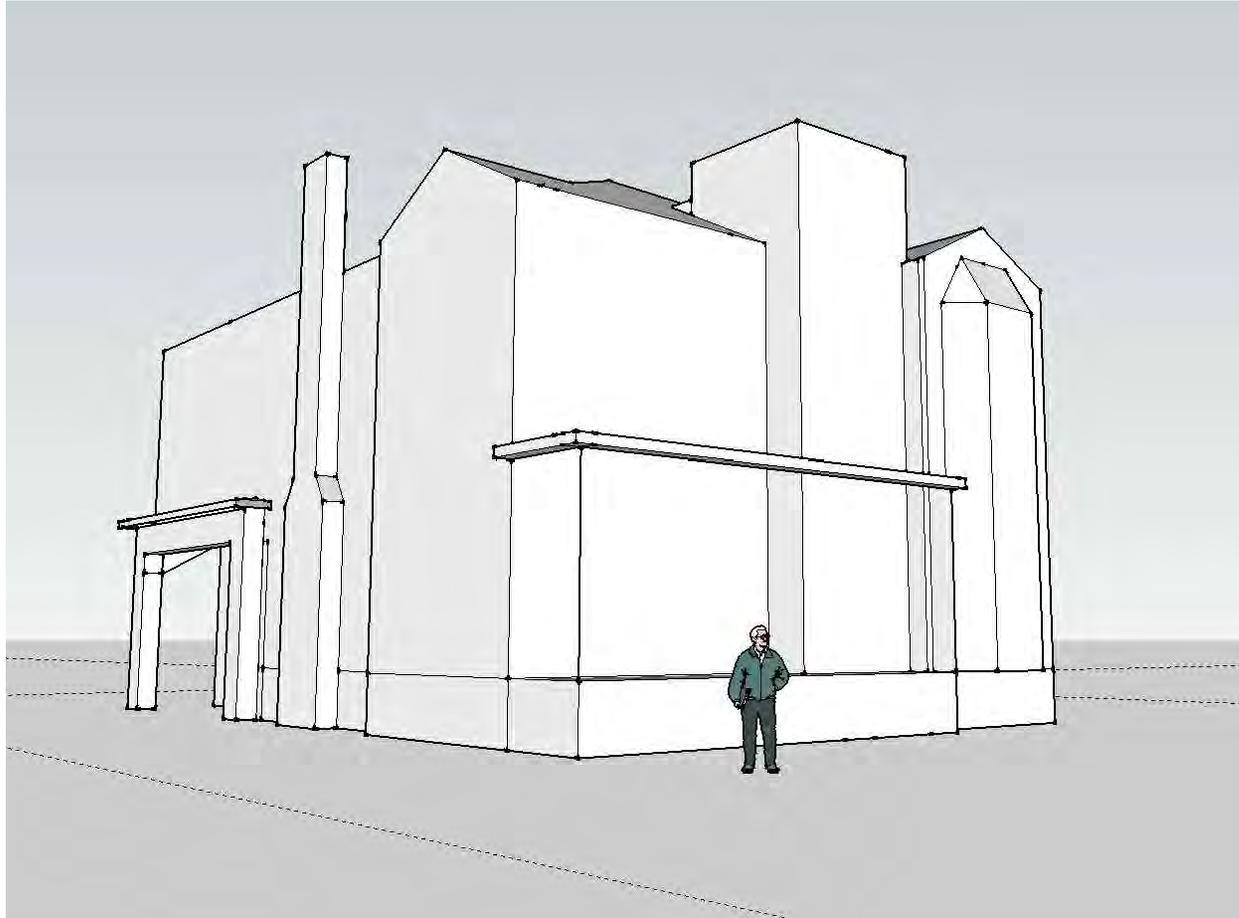
### EXTERIOR DOOR TYPE

SCALE: 1/4" = 1'-0"

## EXTERIOR DOOR SCHEDULE

NO.	TYPE	WIDTH	HEIGHT	MTR	FINISH	HARDWARE / REMARKS
1	A	36	96	WOOD	STAIN	EXISTING FRONT DOOR

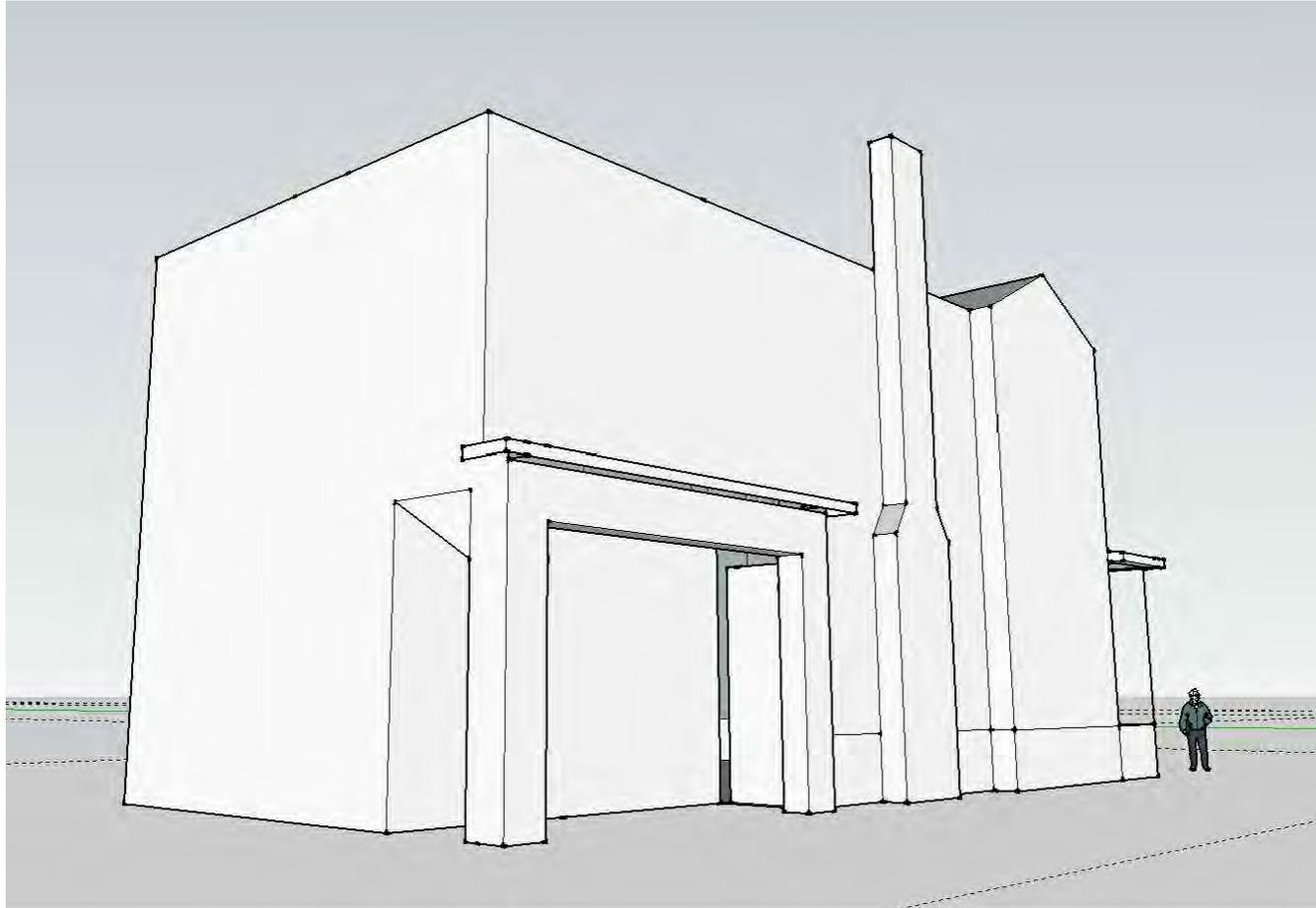
1246 COLUMBIA STREET 10.15.15



EXISTING VIEW FROM STREET CORNER

1246 COLUMBIA STREET 10.15.15

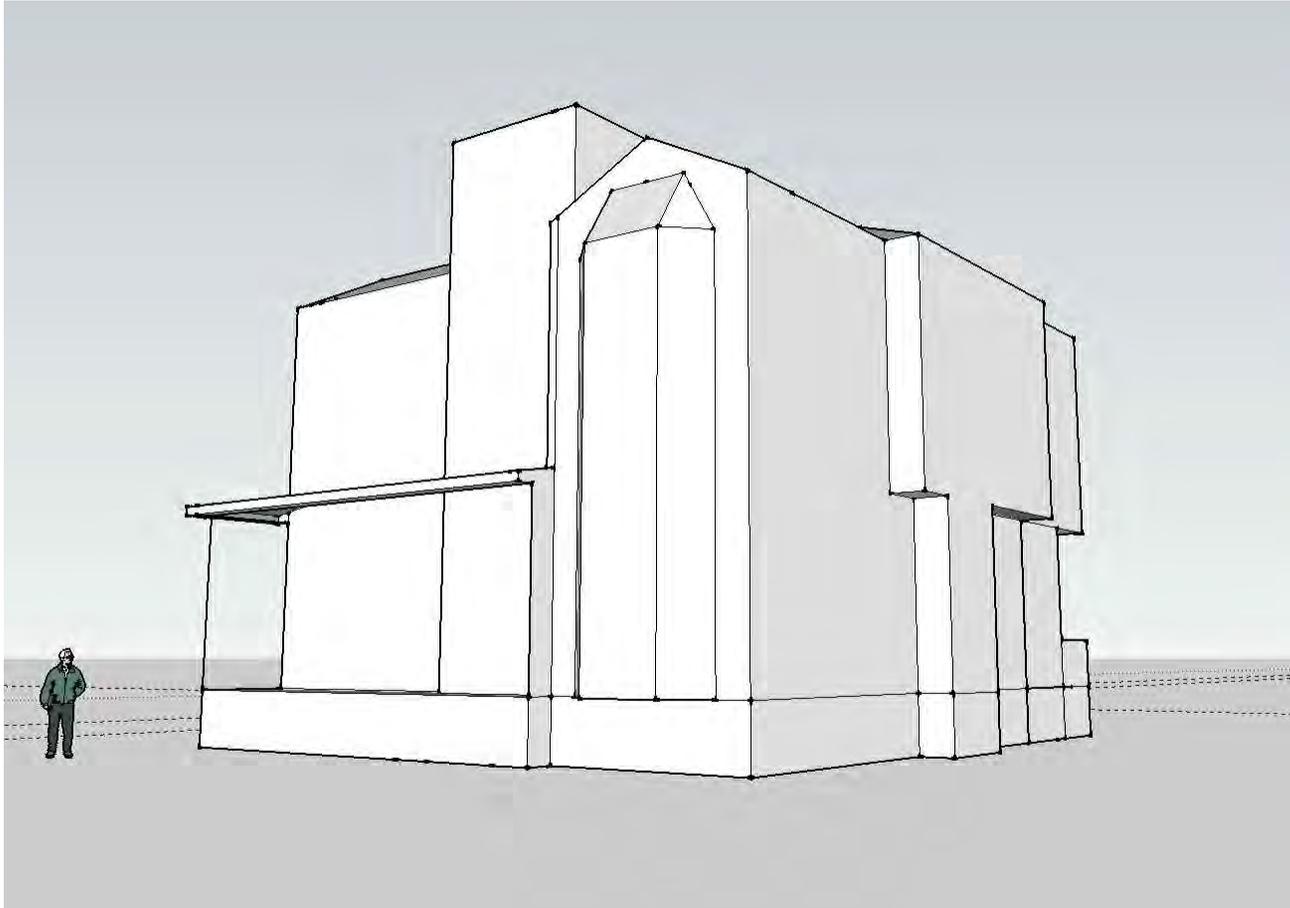
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EXISTING VIEW FROM NORTHEAST

1246 COLUMBIA STREET 10.15.15

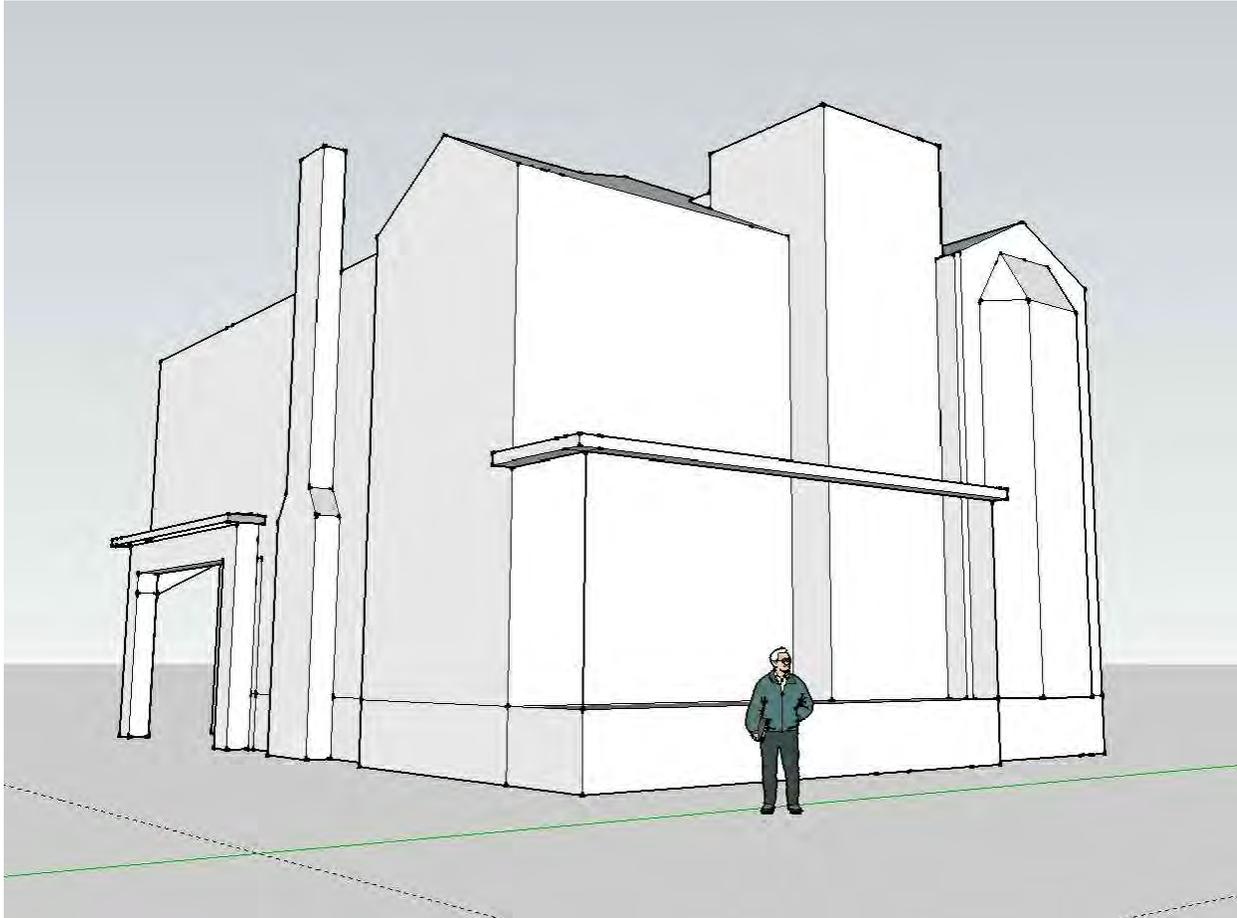
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EXISTING VIEW FROM SOUTHWEST

1246 COLUMBIA STREET 10.15.15

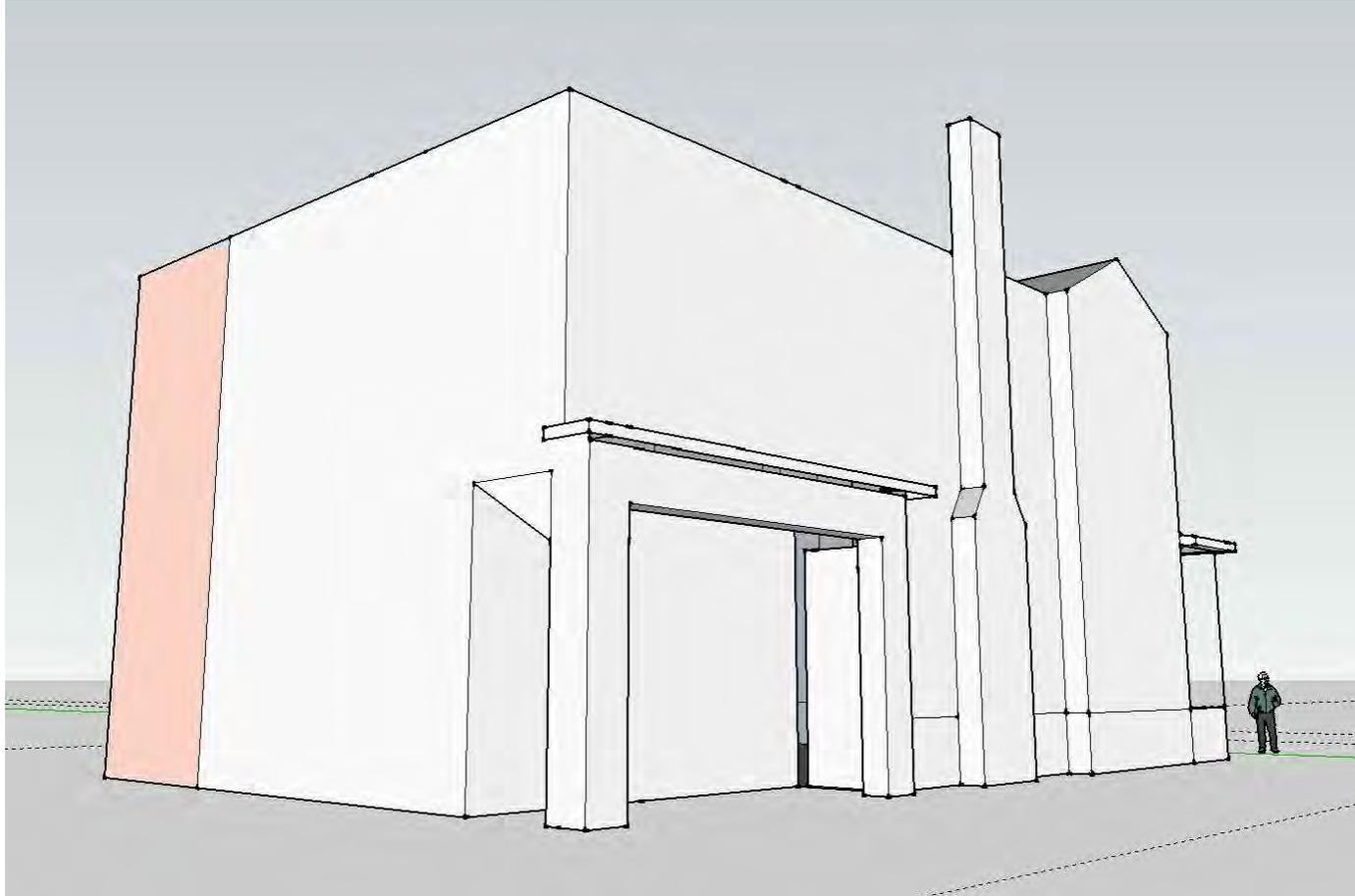
DOCUMENT INCOMPLETE: NOT INTENDED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION. GAIL SCHORRE REGISTRATION NO. 11042



PROPOSED VIEW FROM STREET CORNER

1246 COLUMBIA STREET 10.15.15

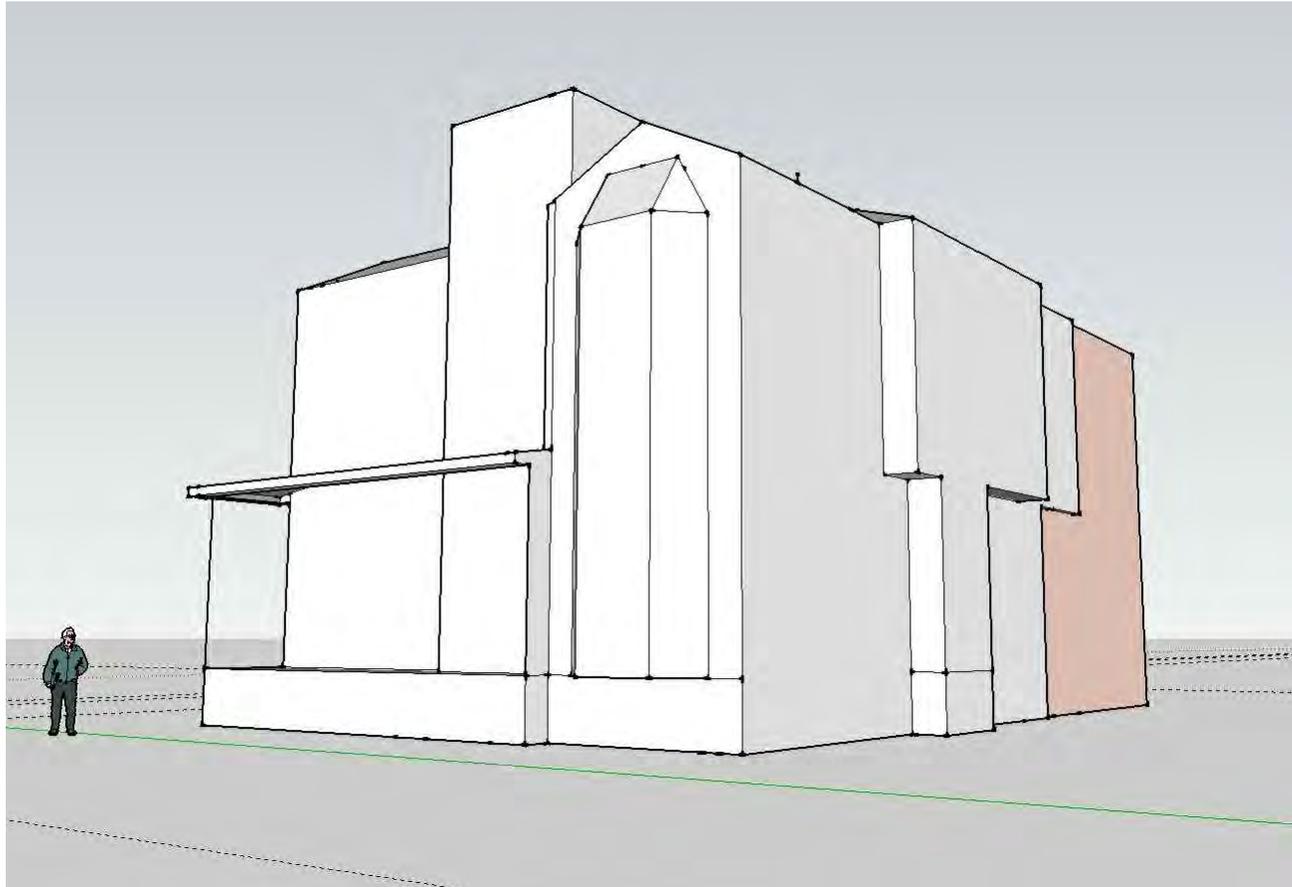
DOCUMENT INCOMPLETE: NOT INTENDED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION. GAIL SCHORRE REGISTRATION NO. 11042



PROPOSED VIEW FROM NORTHEAST

1246 COLUMBIA STREET 10.15.15

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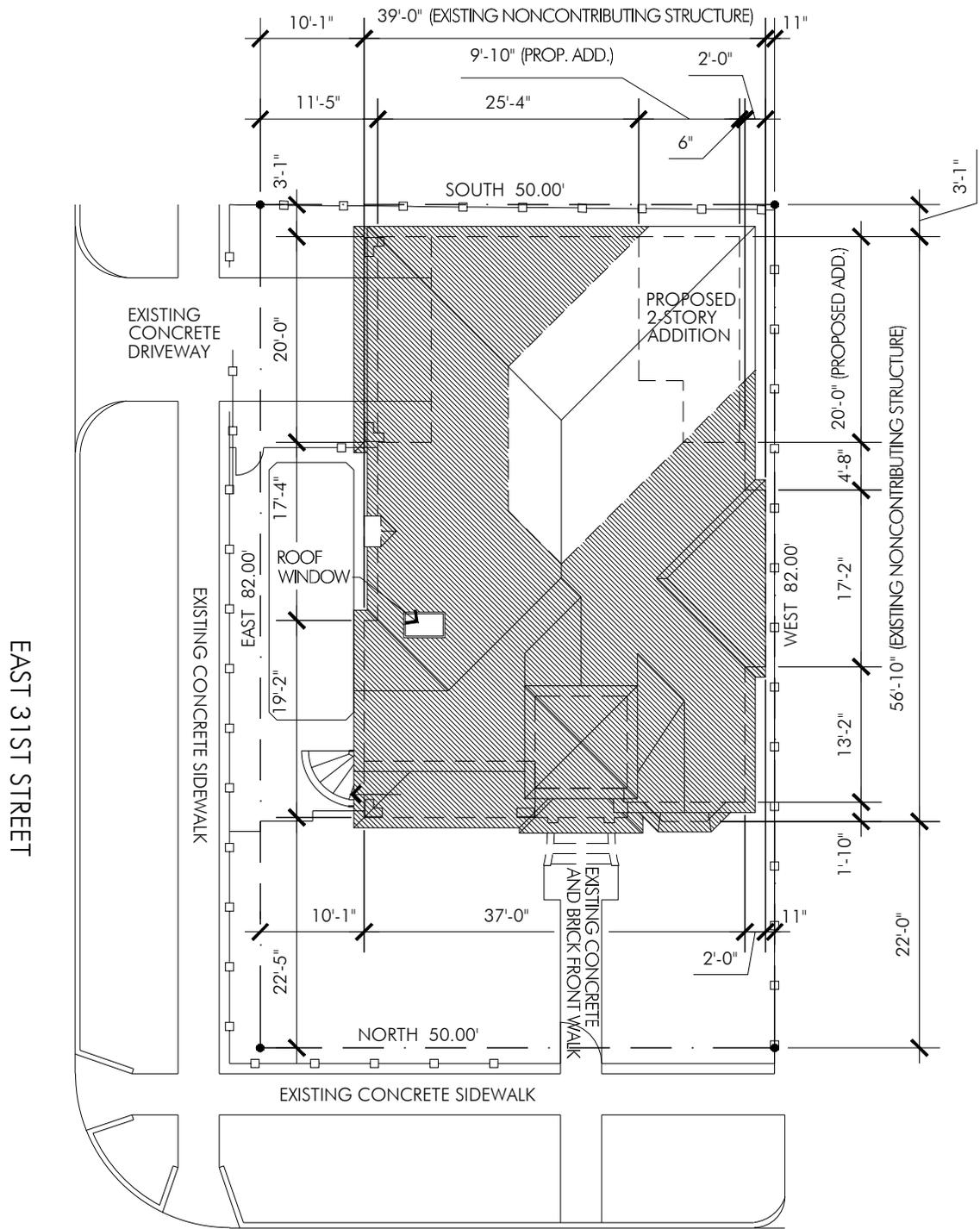


PROPOSED VIEW FROM SOUTHWEST

1246 COLUMBIA STREET 10.15.15

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1246 COLUMBIA STREET, HOUSTON, TX 77008

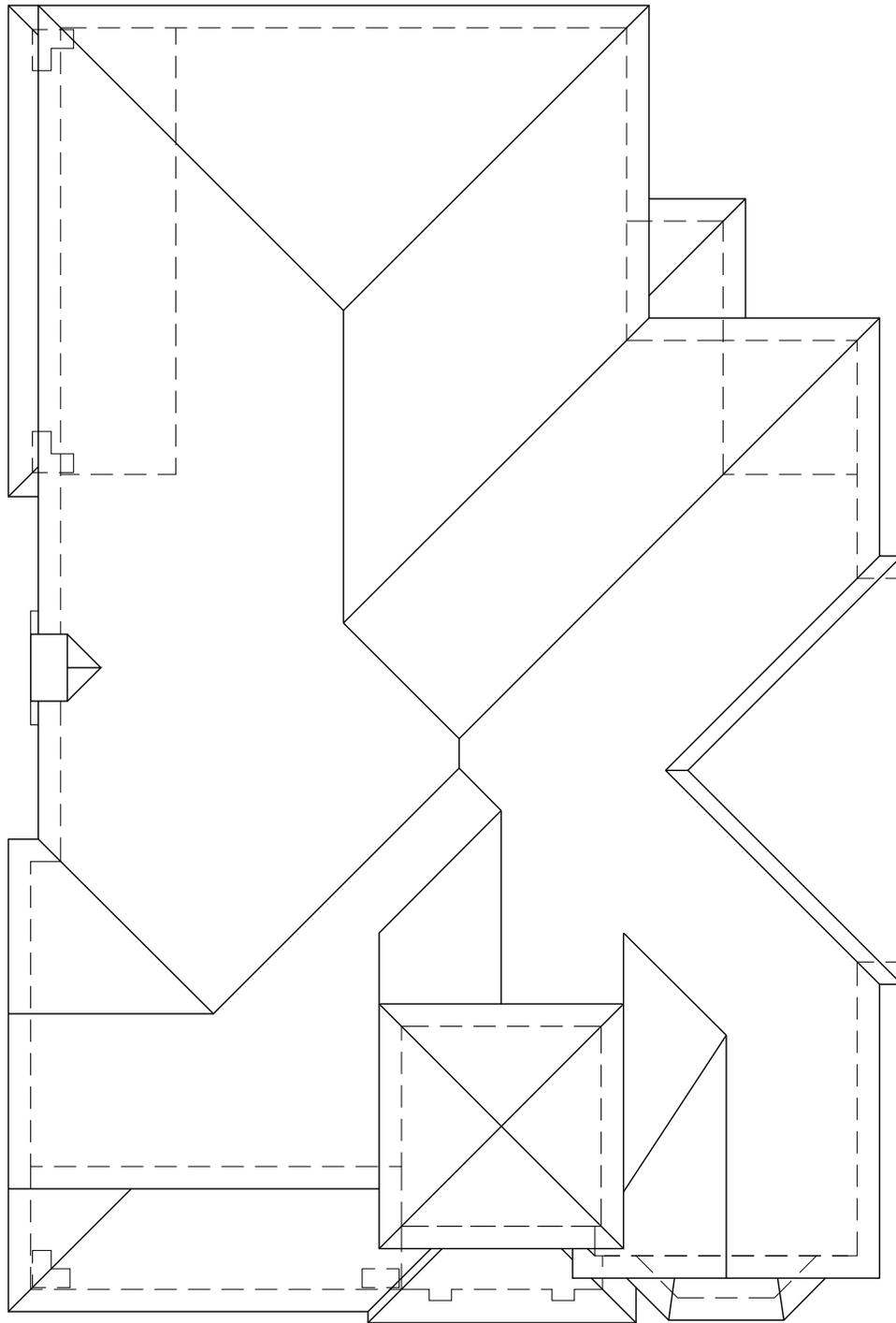
WEST 82' OF LOT 24, BLOCK 191, HOUSTON HEIGHTS, VOLUME 1, PAGE 114, MAP RECORDS, HARRIS COUNTY, TEXAS

PROPOSED SITE PLAN  
SCALE: 1/16" = 1'-0"



1246 COLUMBIA STREET 10.15.15

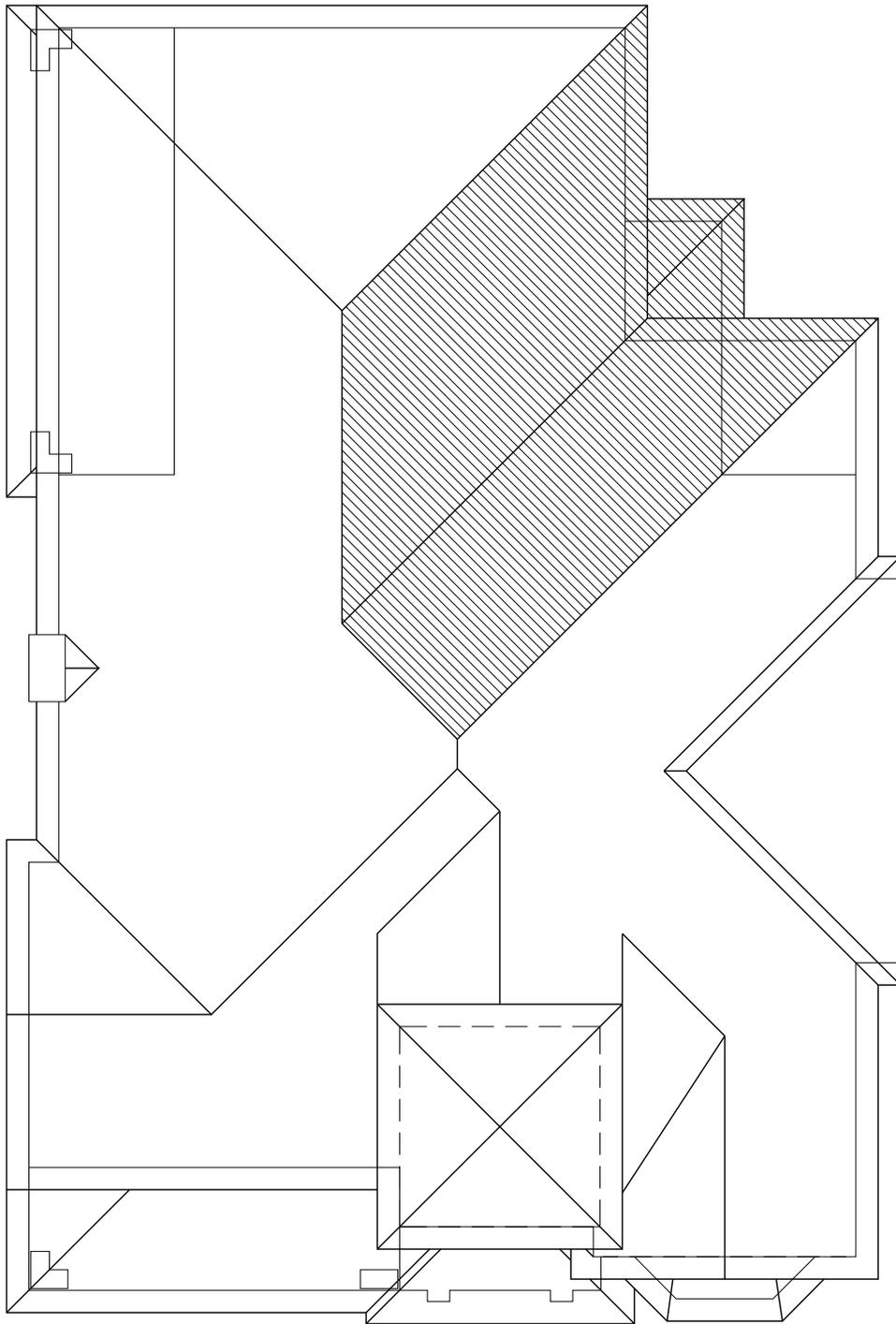
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EXISTING ROOF PLAN  
SCALE: 1/8" = 1'-0"



1246 COLUMBIA STREET 10.15.15

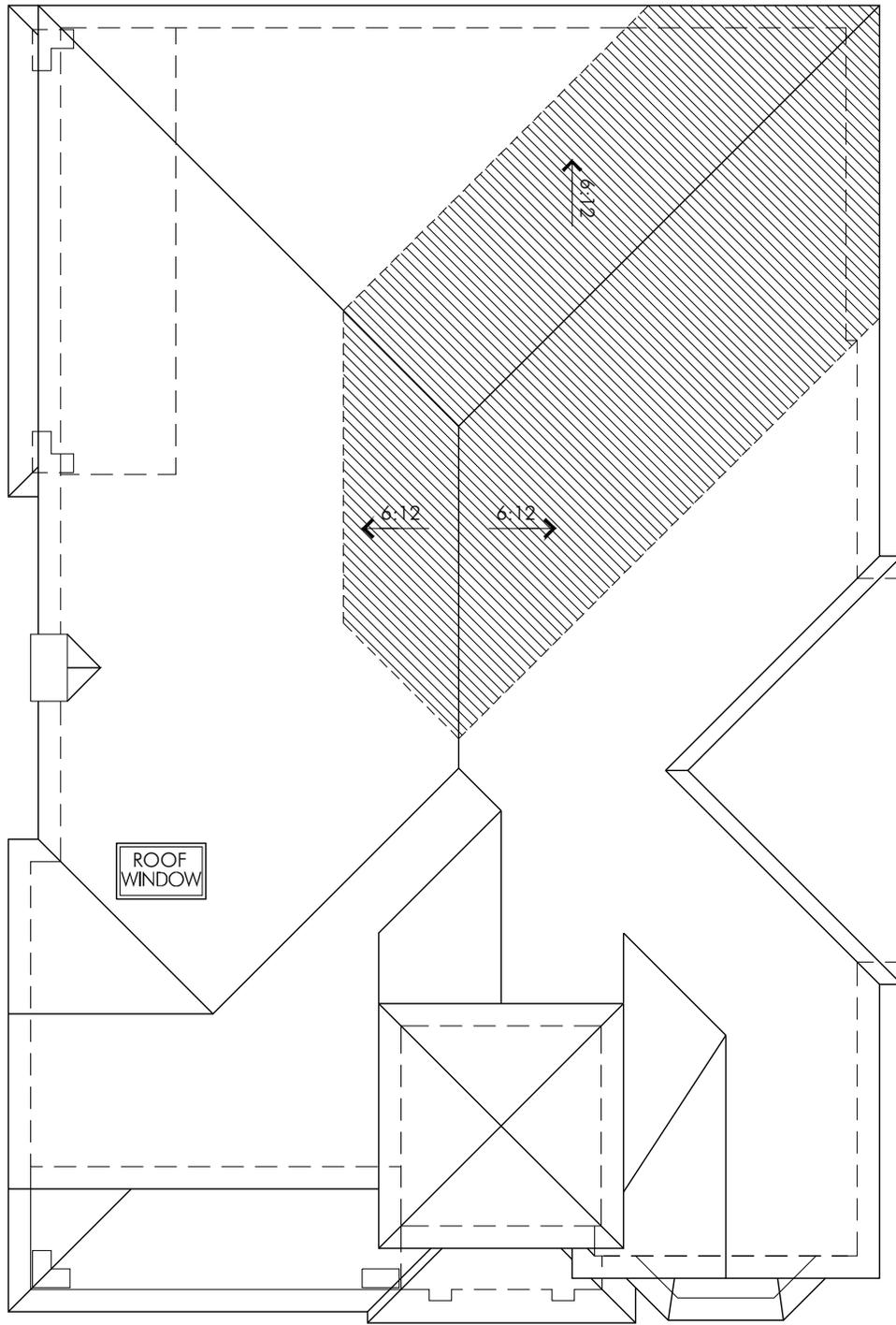


DEMOLITION ROOF PLAN  
(DEMOLITION = HATCHED AREA)



SCALE: 1/8" = 1'-0"

1246 COLUMBIA STREET 10.15.15

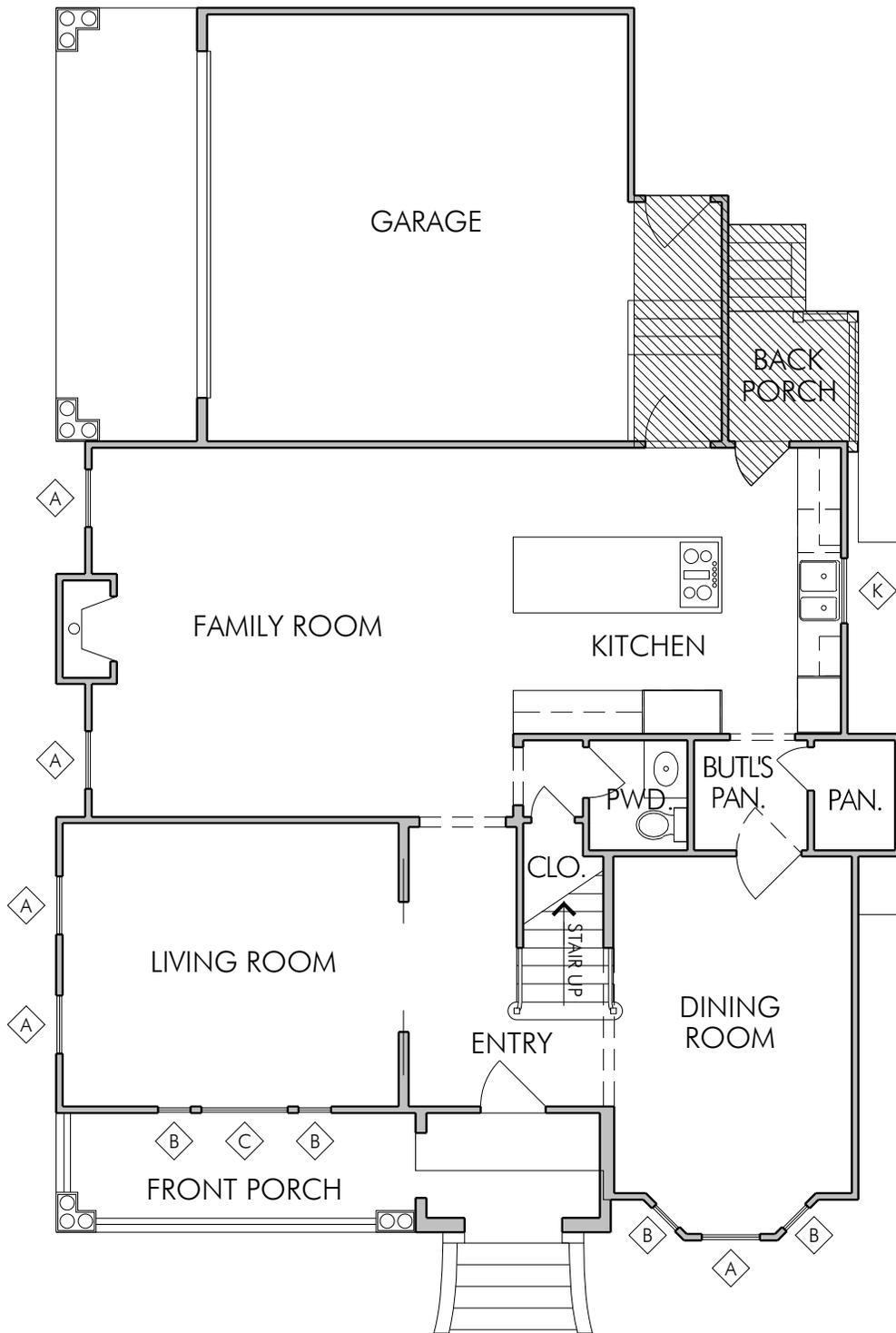


**PROPOSED ROOF PLAN**  
 (PROPOSED = HATCHED AREA)



SCALE: 1/8" = 1'-0"

1246 COLUMBIA STREET 10.15.15

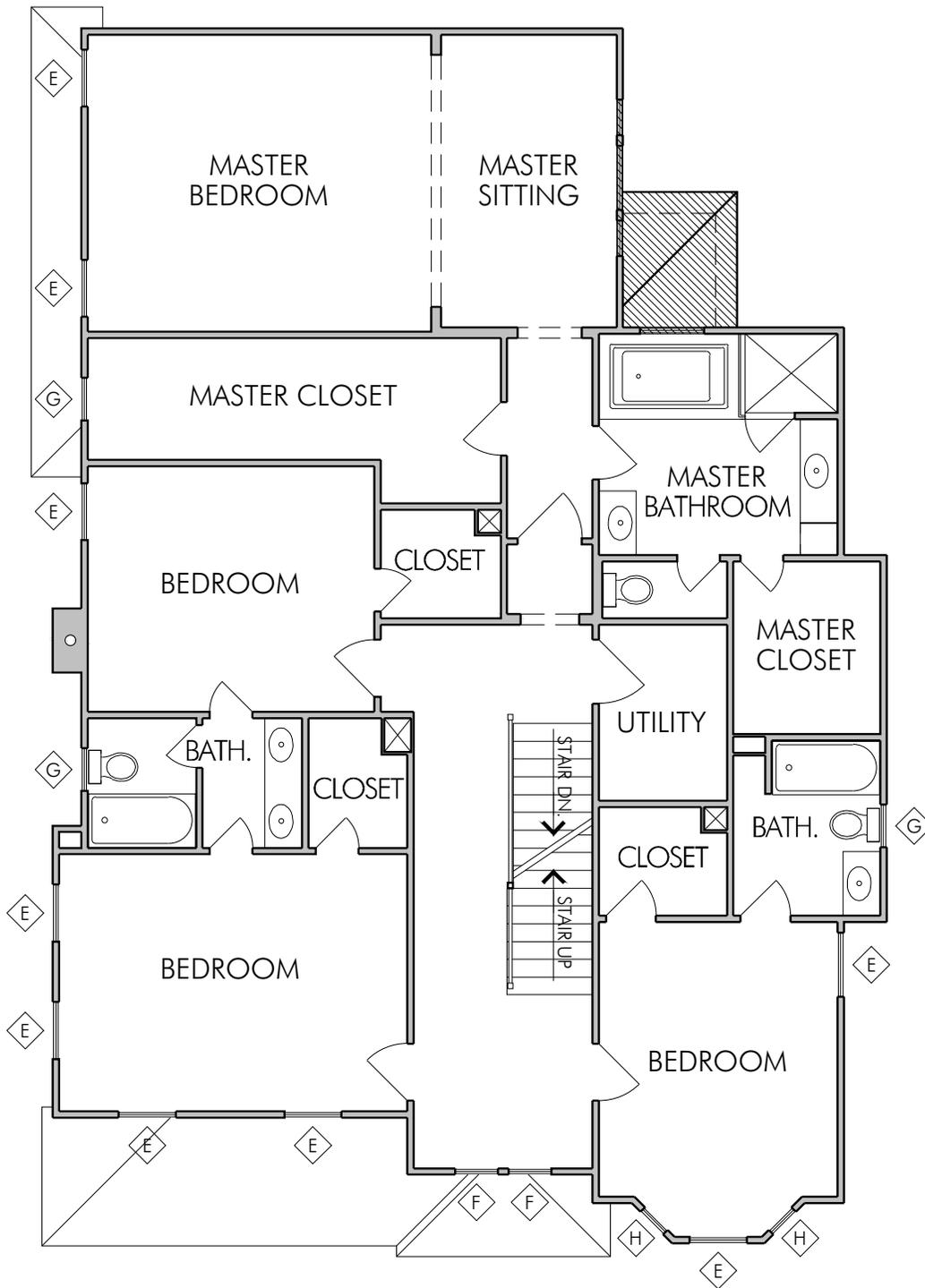


EXISTING 1ST FLOOR PLAN  
 (ALSO SHOWING DEMOLITION - HATCHED AREA)



SCALE: 1/8" = 1'-0"

1246 COLUMBIA STREET 10.15.15

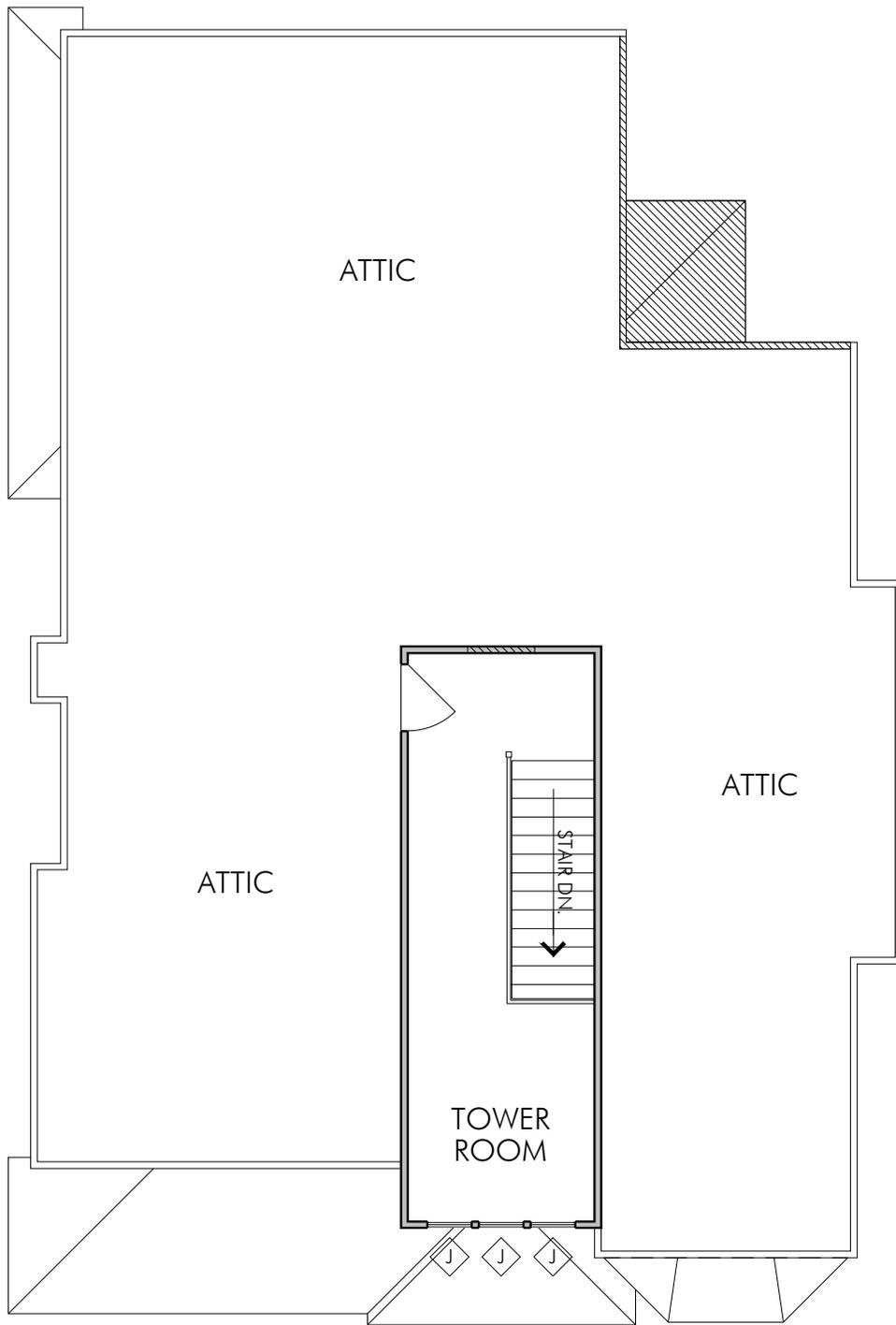


**EXISTING 2ND FLOOR PLAN**  
 (ALSO SHOWING DEMOLITION - HATCHED AREA)



SCALE: 1/8" = 1'-0"

1246 COLUMBIA STREET 10.15.15

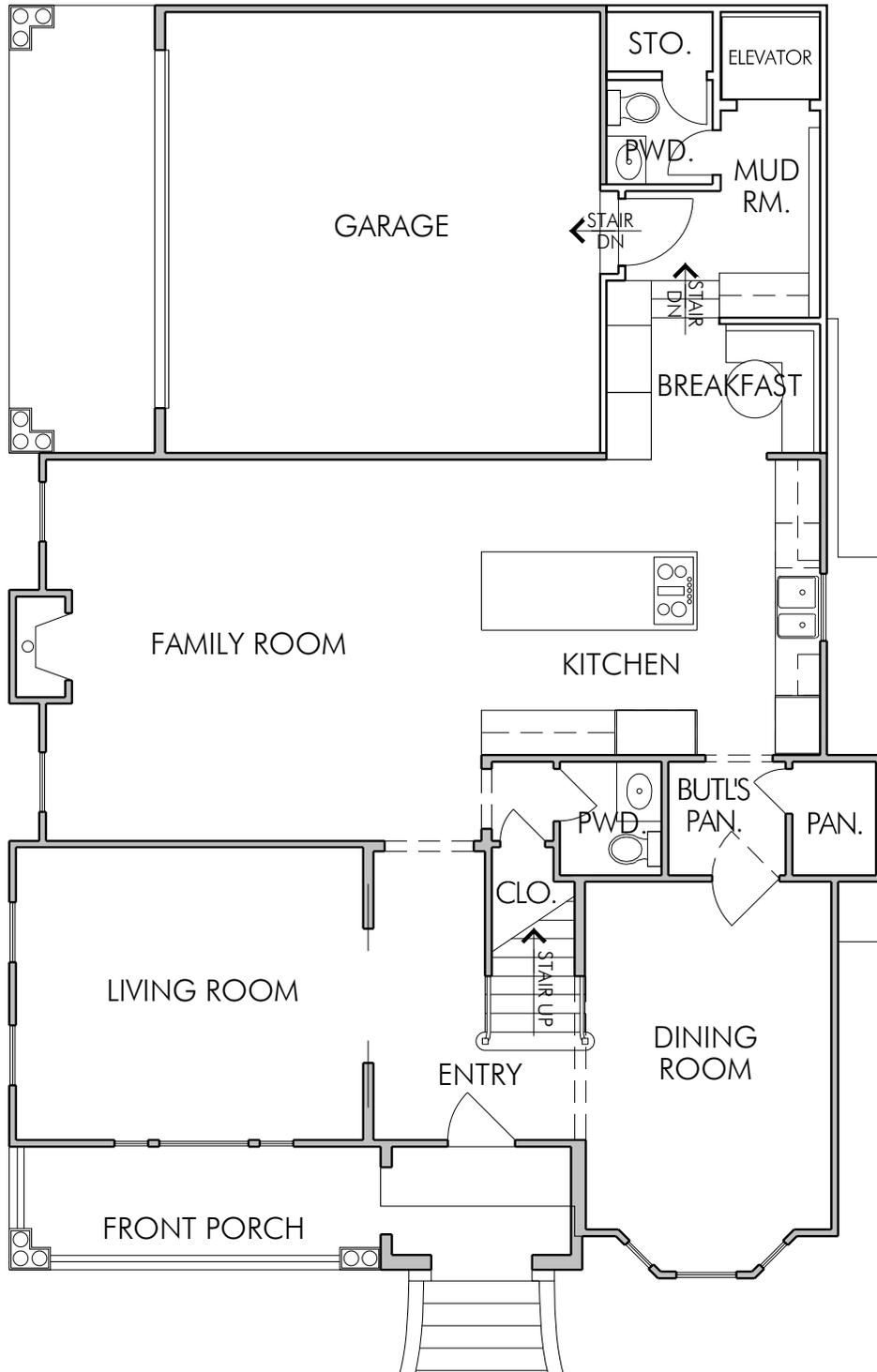


EXISTING 3RD FLOOR PLAN  
 (ALSO SHOWING DEMOLITION - HATCHED AREA)



SCALE: 1/8" = 1'-0"

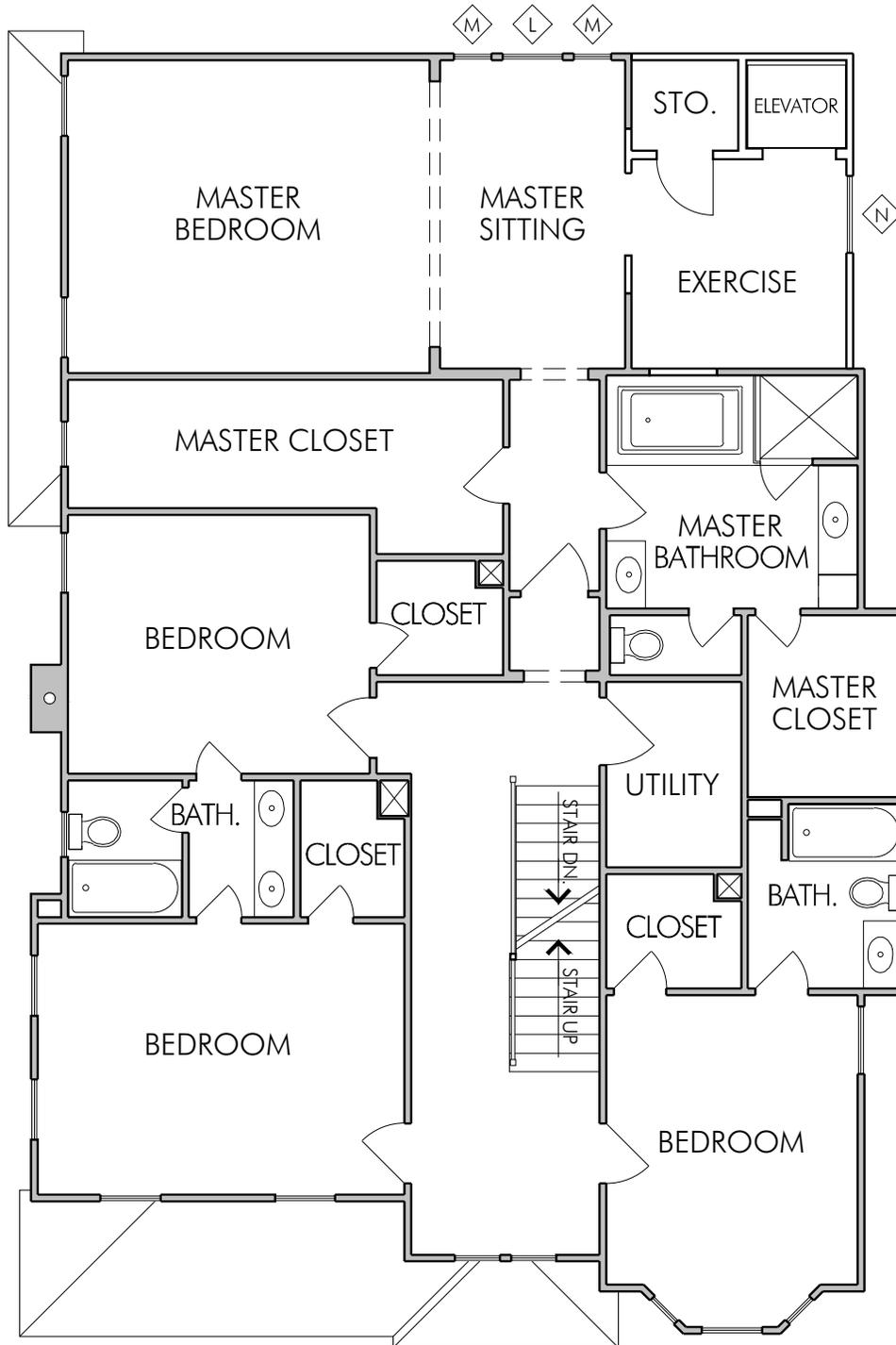
1246 COLUMBIA STREET 10.15.15



PROPOSED 1ST FLOOR PLAN  
 SCALE: 1/8" = 1'-0"



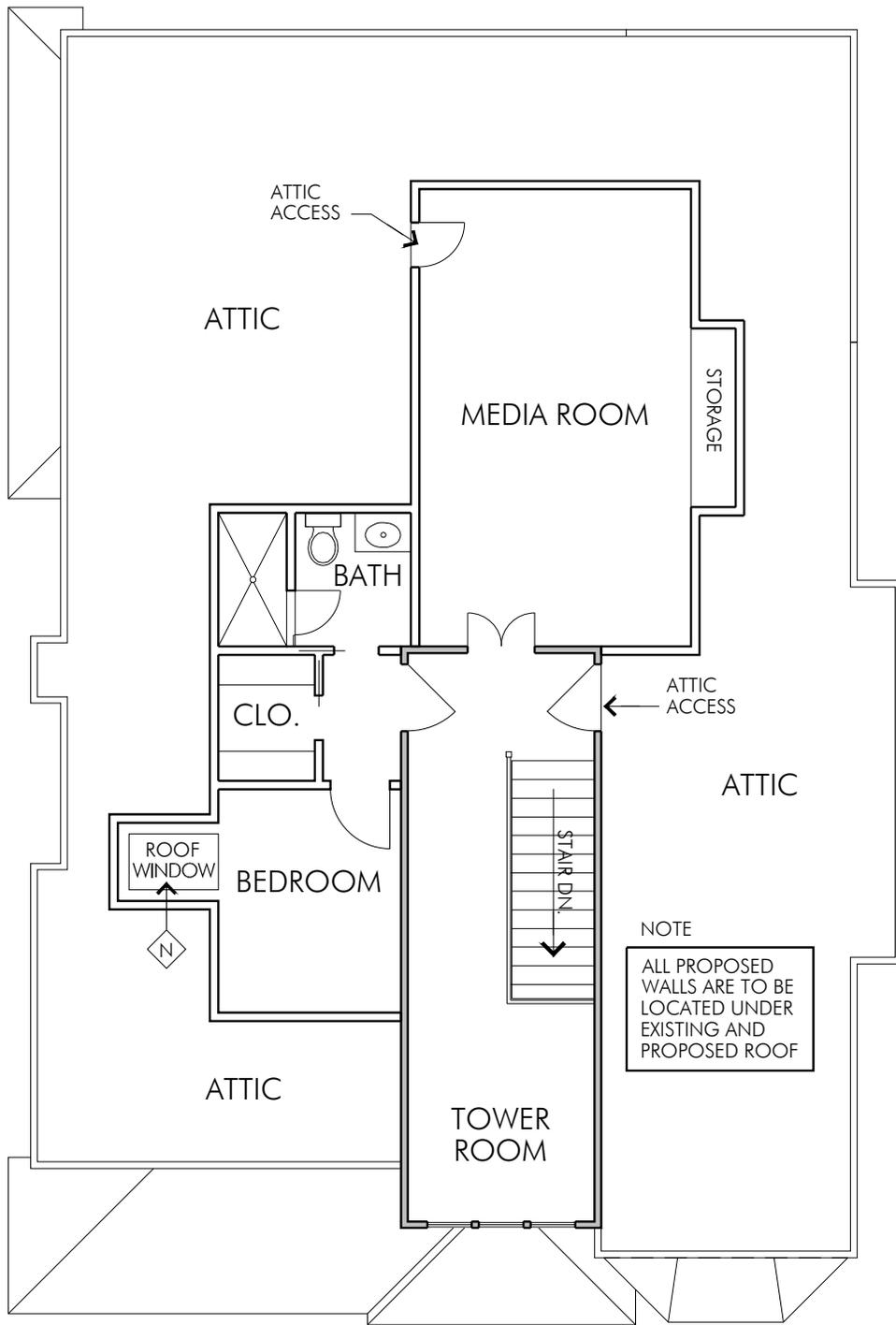
1246 COLUMBIA STREET 10.15.15



PROPOSED 2ND FLOOR PLAN  
 SCALE: 1/8" = 1'-0"



1246 COLUMBIA STREET 10.15.15



PROPOSED 3RD FLOOR PLAN  
 SCALE: 1/8" = 1'-0"



1246 COLUMBIA STREET 10.15.15



EXISTING WEST ELEVATION

SCALE: 1/8" = 1'-0"

1246 COLUMBIA STREET 10.15.15

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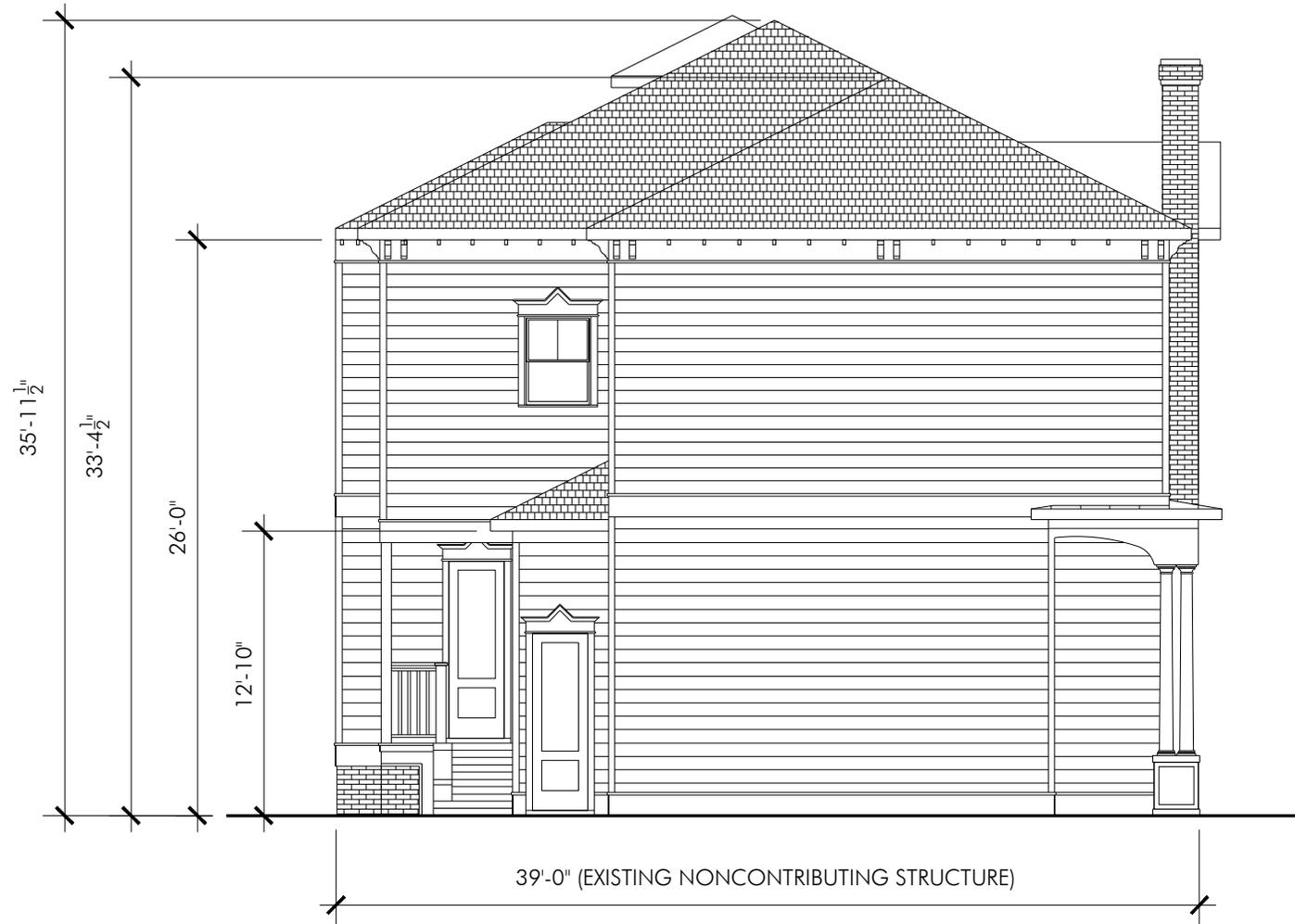


## PROPOSED WEST ELEVATION

SCALE: 1/8" = 1'-0"

1246 COLUMBIA STREET 10.15.15

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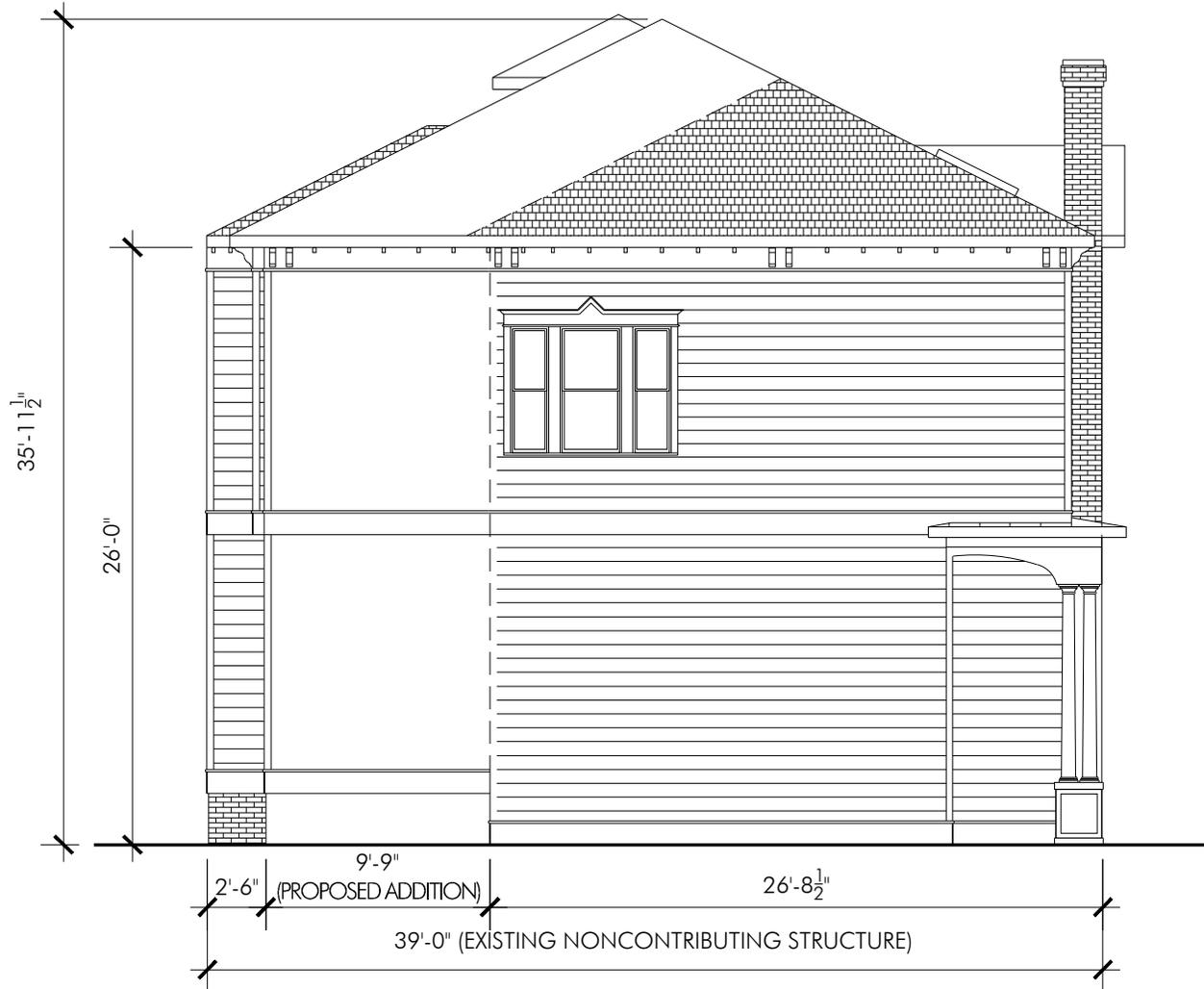


## EXISTING EAST ELEVATION

SCALE: 1/8" = 1'-0"

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PROPOSED EAST ELEVATION

SCALE: 1/8" = 1'-0"

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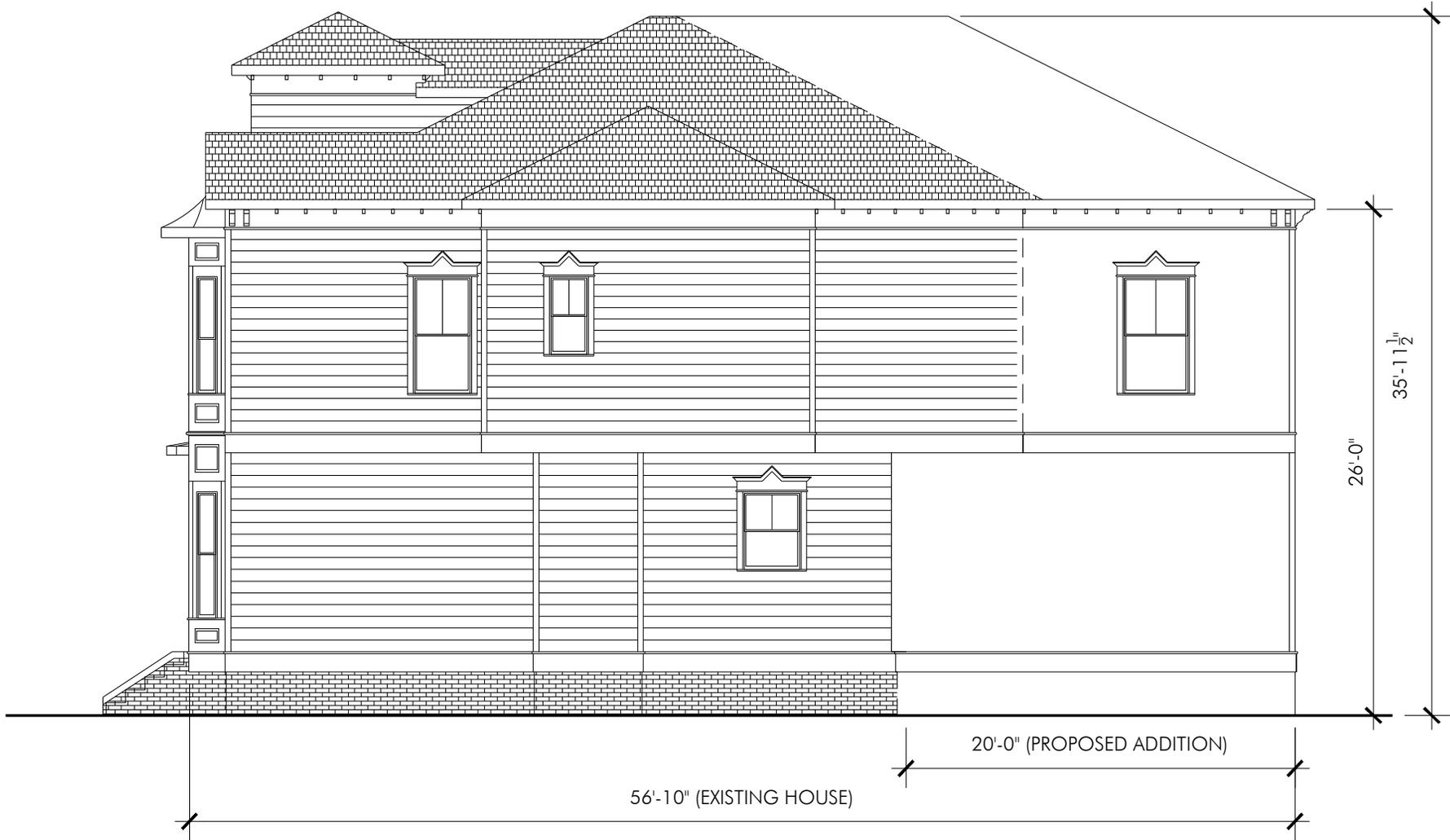


EXISTING SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

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## PROPOSED SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

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PROPOSED NORTH ELEVATION

SCALE: 1/8" = 1'-0"

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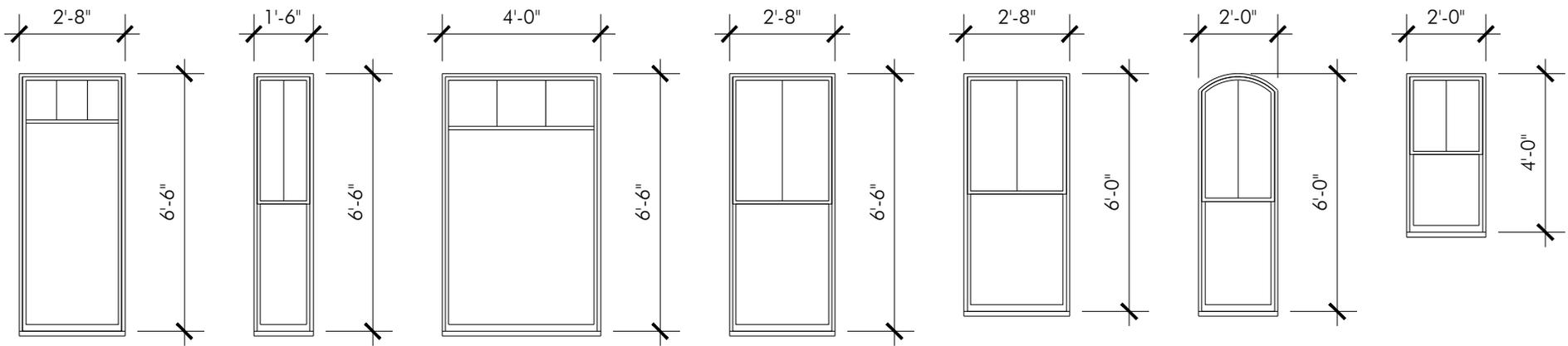


## EXISTING NORTH ELEVATION

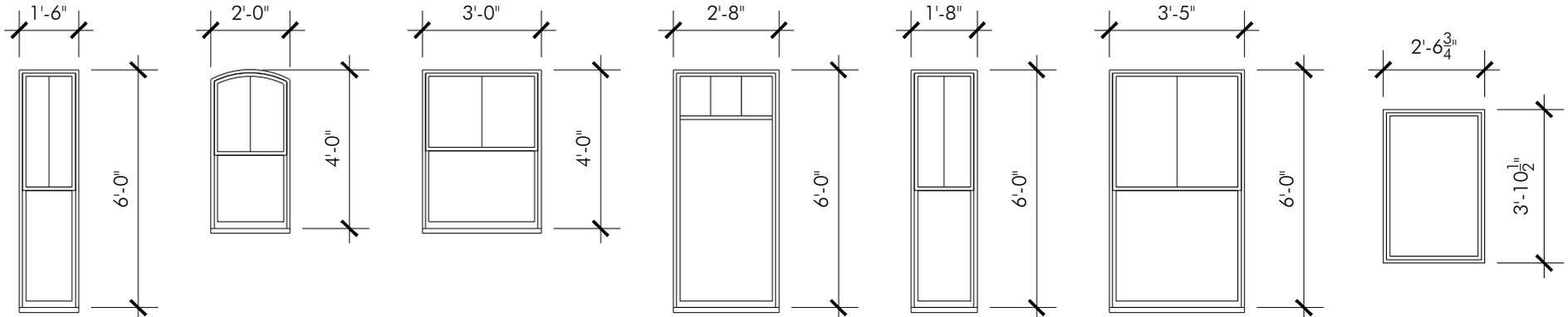
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"A" WINDOW TYPE "A" EXISTING DOUBLE HUNG WINDOW  
 "B" WINDOW TYPE "B" EXISTING DOUBLE HUNG WINDOW  
 "C" WINDOW TYPE "C" EXISTING FIXED PICTURE WINDOW  
 "D" WINDOW TYPE "D" EXISTING DOUBLE HUNG WINDOW  
 \* "E" WINDOW TYPE "E" EXISTING DOUBLE HUNG EGRESS WINDOW  
 "F" WINDOW TYPE "F" EXISTING DOUBLE HUNG WINDOW  
 "G" WINDOW TYPE "G" EXISTING DOUBLE HUNG WINDOW



"H" WINDOW TYPE "H" EXISTING DOUBLE HUNG WINDOW  
 "J" WINDOW TYPE "J" EXISTING DOUBLE HUNG WINDOW  
 "K" WINDOW TYPE "K" EXISTING DOUBLE HUNG WINDOW  
 "L" WINDOW TYPE "L" NEW FIXED PICTURE WINDOW  
 "M" WINDOW TYPE "M" NEW DOUBLE HUNG WINDOW  
 "N" WINDOW TYPE "N" NEW DOUBLE HUNG WINDOW  
 \* "O" WINDOW TYPE "O" NEW EGRESS ROOF WINDOW

UNLESS NOTED OTHERWISE ALL WINDOWS "JELD WEN", TRADITION PLUS CLAD-WOOD PRODUCT LINE OR BETTER OR OTHER MANUFACTURER PRODUCT LINE OF EQUAL OR BETTER QUALITY. TYPICAL ALL WINDOWS: SHGC 0.40 & U VALUE 0.65, SEE RESIDENTIAL ENERGY CONSERVATION FORM. UNLESS NOTED OTHERWISE ON FLOOR PLANS, MOUNT FIRST FLOOR WINDOWS TO MATCH EXISTING WINDOW HEAD HEIGHT, MOUNT SECOND FLOOR WINDOWS TO MATCH DOOR HEAD HEIGHT

\* EGRESS WINDOW TO MEET THE FOLLOWING OPENING REQUIREMENTS:

MINIMUM CLEAR AREA OF OPENING: 5.7 SF., MINIMUM CLEAR OPENING HEIGHT: 24", MINIMUM CLEAR OPENING WIDTH : 20", PER 2006 IRC R613.2. IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 24 INCHES SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4-INCH-DIAMETER SPHERE CANNOT PASS. CONTRACTOR TO VERIFY WINDOW TYPE "F" WILL COMPLY WITH NOTE ABOVE ON MOUNTING HTS. NOTIFY ARCHITECT IF CONFLICT EXISTS.

WINDOW TYPES  
 SCALE: 1/4" = 1'-0"

1246 COLUMBIA STREET 10.15.15

## CONDITIONED AREA CALCULATION

AIR CONDITIONED AREA:

EXISTING 1ST FLOOR TO REMAIN	1,187 SQ.FT.
EXISTING 2ND FLOOR TO REMAIN	1,780 SQ.FT.
EXISTING 3RD FLOOR TO REMAIN	191 SQ.FT.
NEW ADDITION 1ST FLOOR	203 SQ.FT.
NEW ADDITION 2ND FLOOR	138 SQ.FT.
NEW ADDITION 3RD FLOOR	508 SQ.FT.
<u>TOTAL</u>	<u>4,007 SQ.FT.</u>



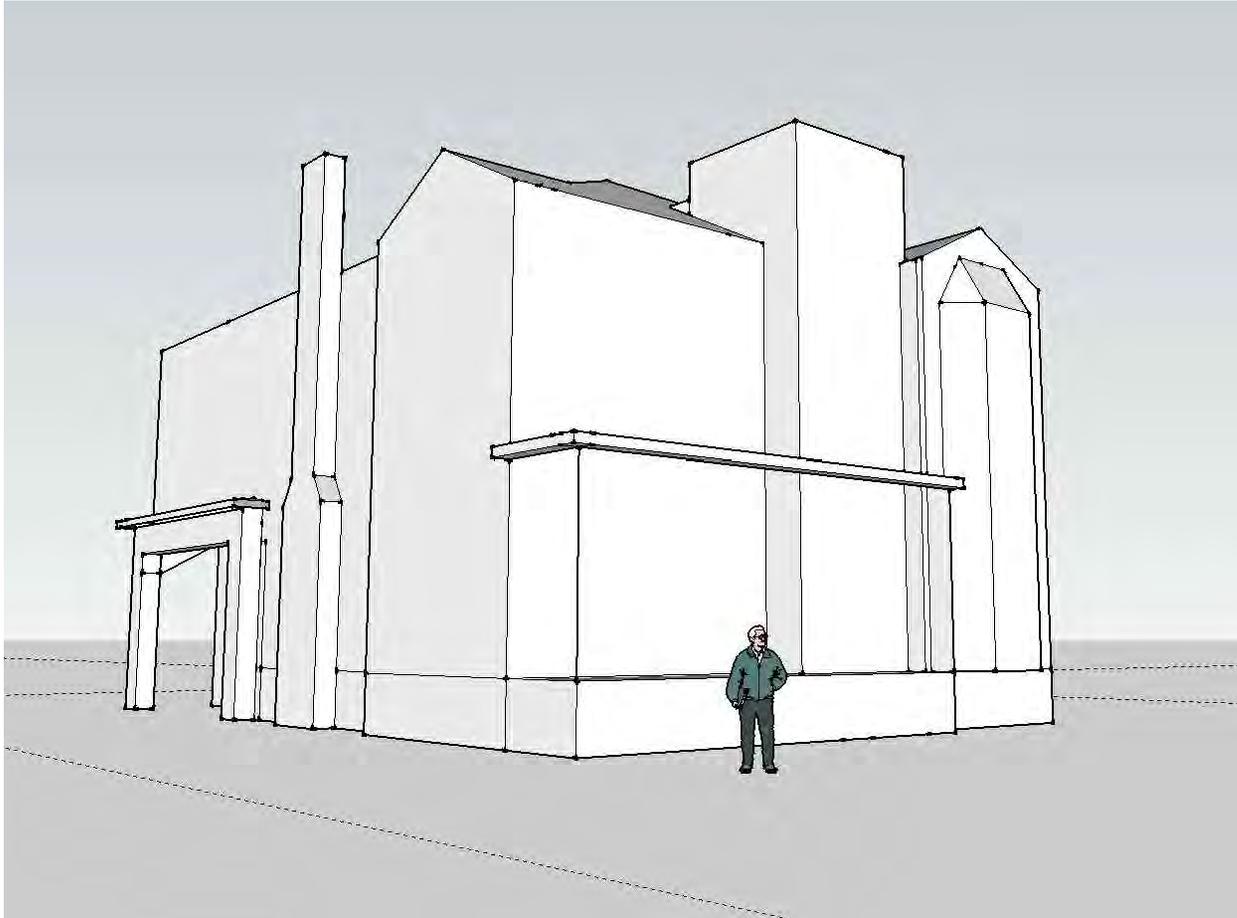
### EXTERIOR DOOR TYPE

SCALE: 1/4" = 1'-0"

## EXTERIOR DOOR SCHEDULE

NO.	TYPE	WIDTH	HEIGHT	MTR	FINISH	HARDWARE / REMARKS
1	A	36	96	WOOD	STAIN	EXISTING FRONT DOOR

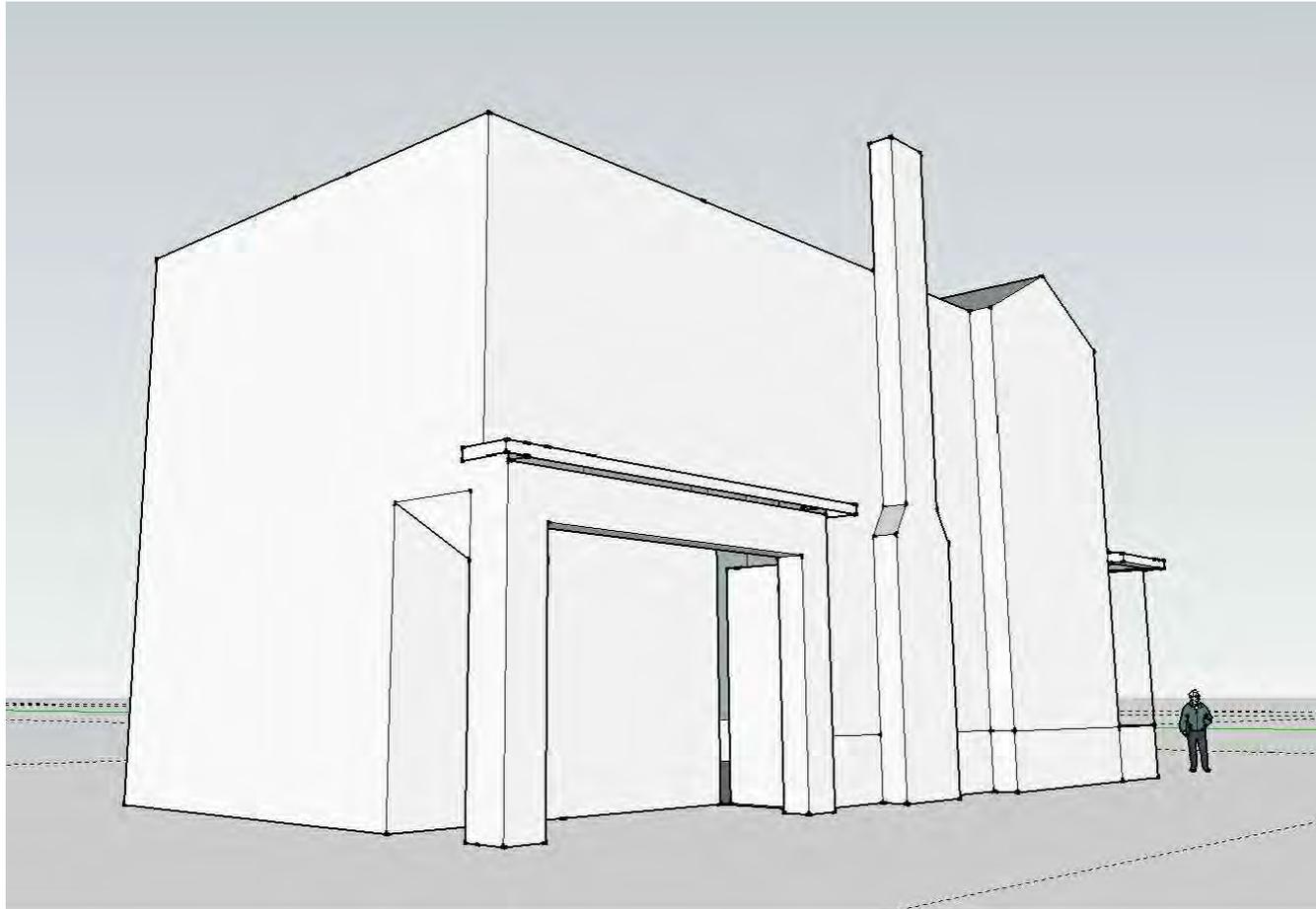
1246 COLUMBIA STREET 10.15.15



EXISTING VIEW FROM STREET CORNER

1246 COLUMBIA STREET 10.15.15

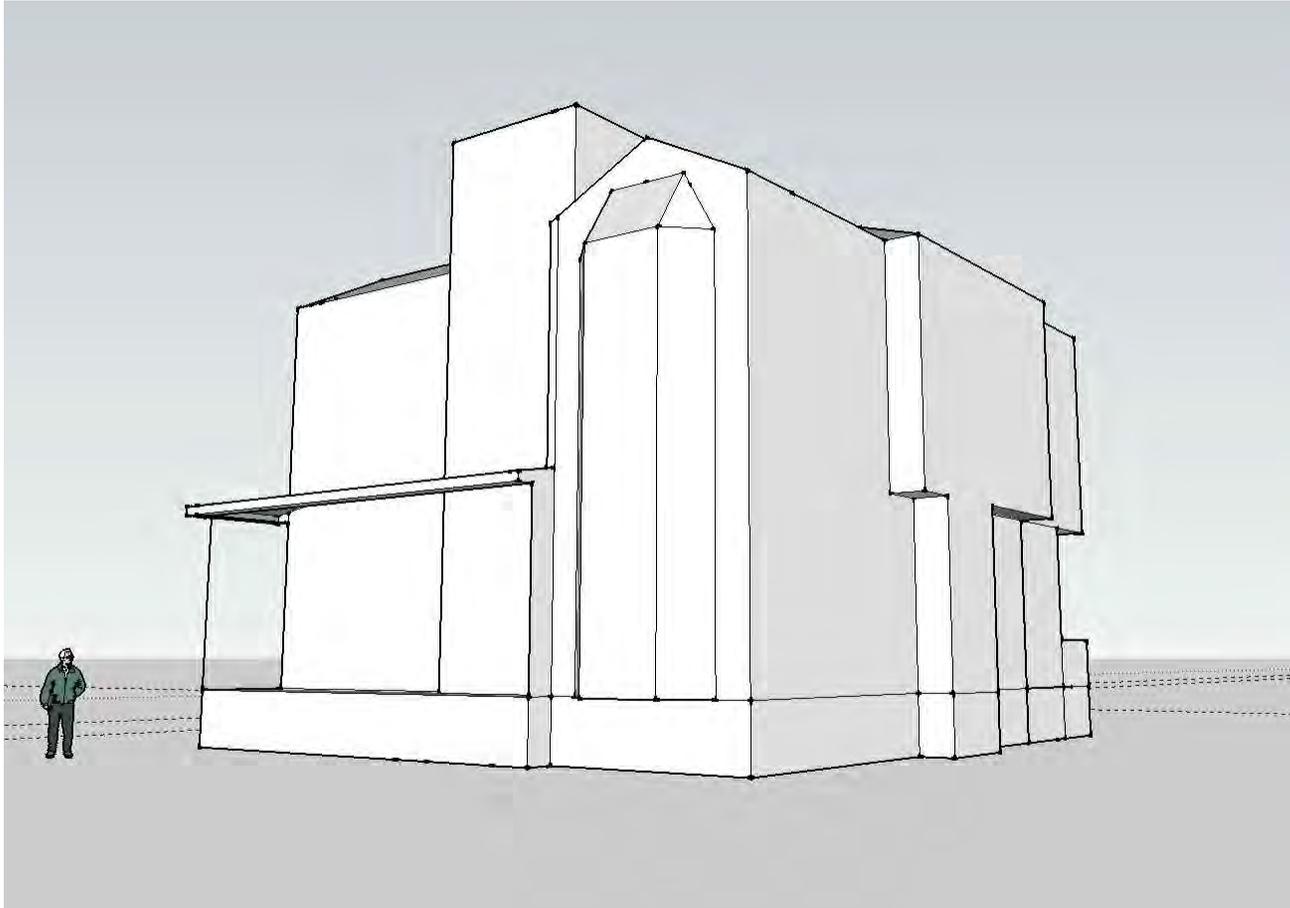
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EXISTING VIEW FROM NORTHEAST

1246 COLUMBIA STREET 10.15.15

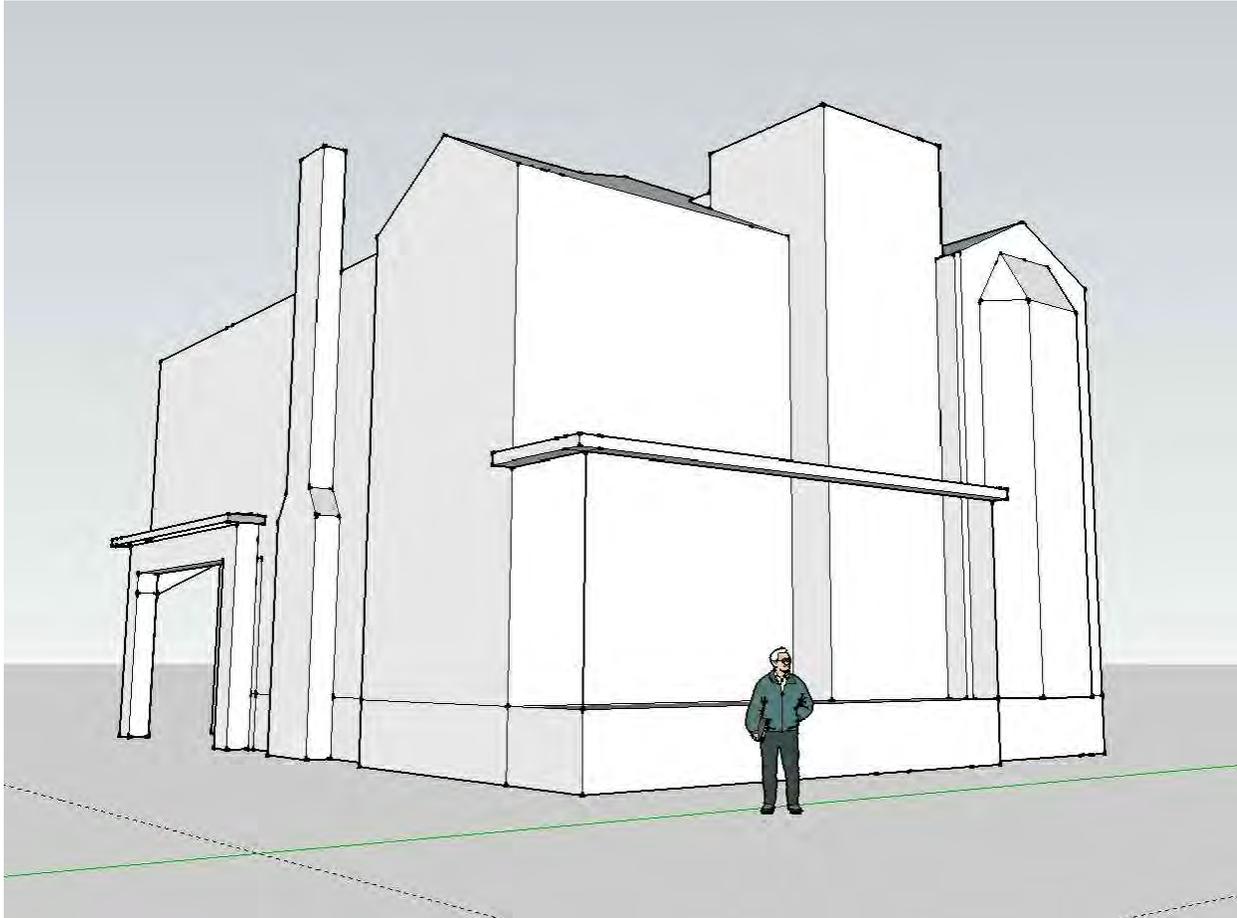
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EXISTING VIEW FROM SOUTHWEST

1246 COLUMBIA STREET 10.15.15

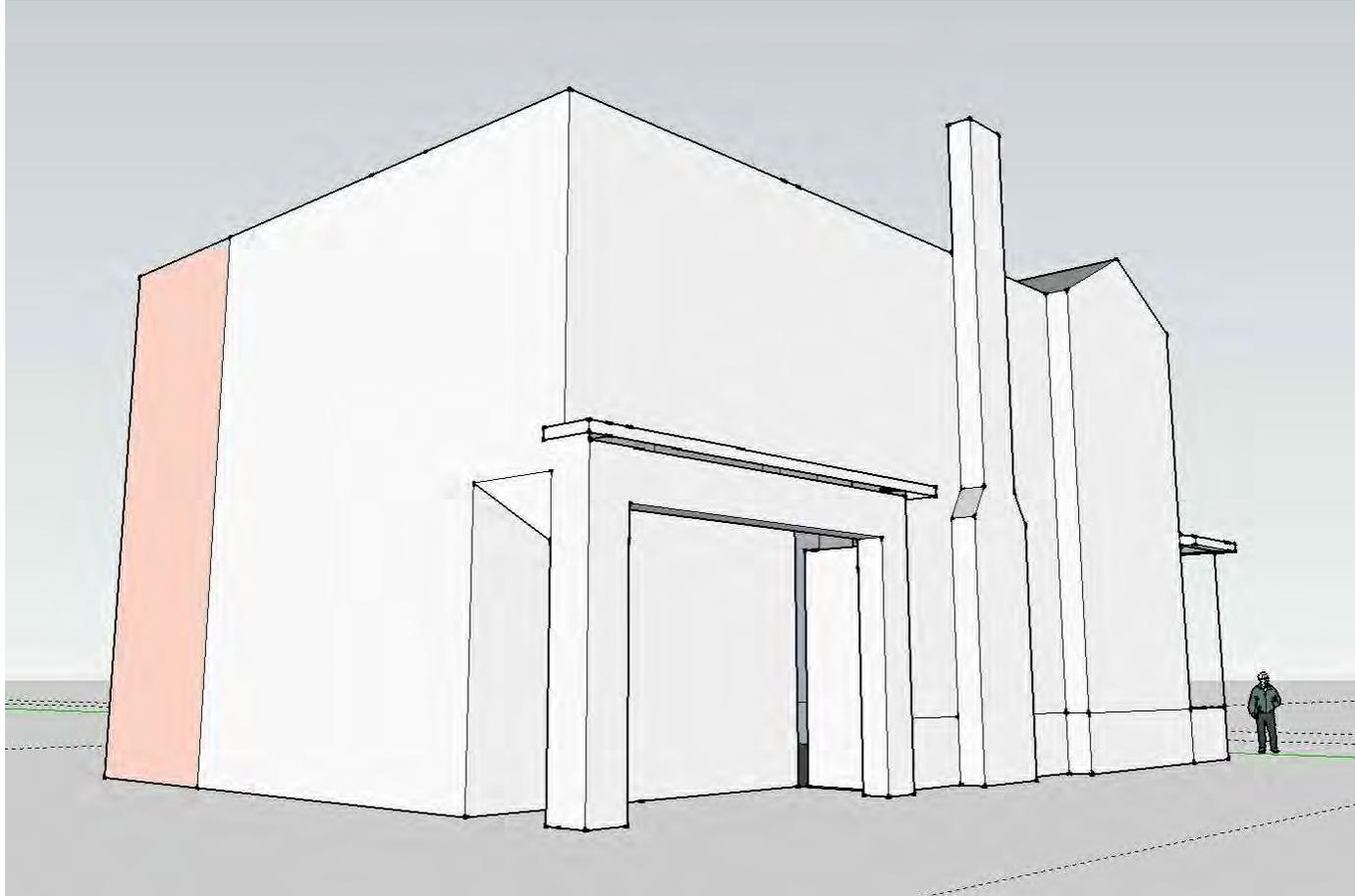
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PROPOSED VIEW FROM STREET CORNER

1246 COLUMBIA STREET 10.15.15

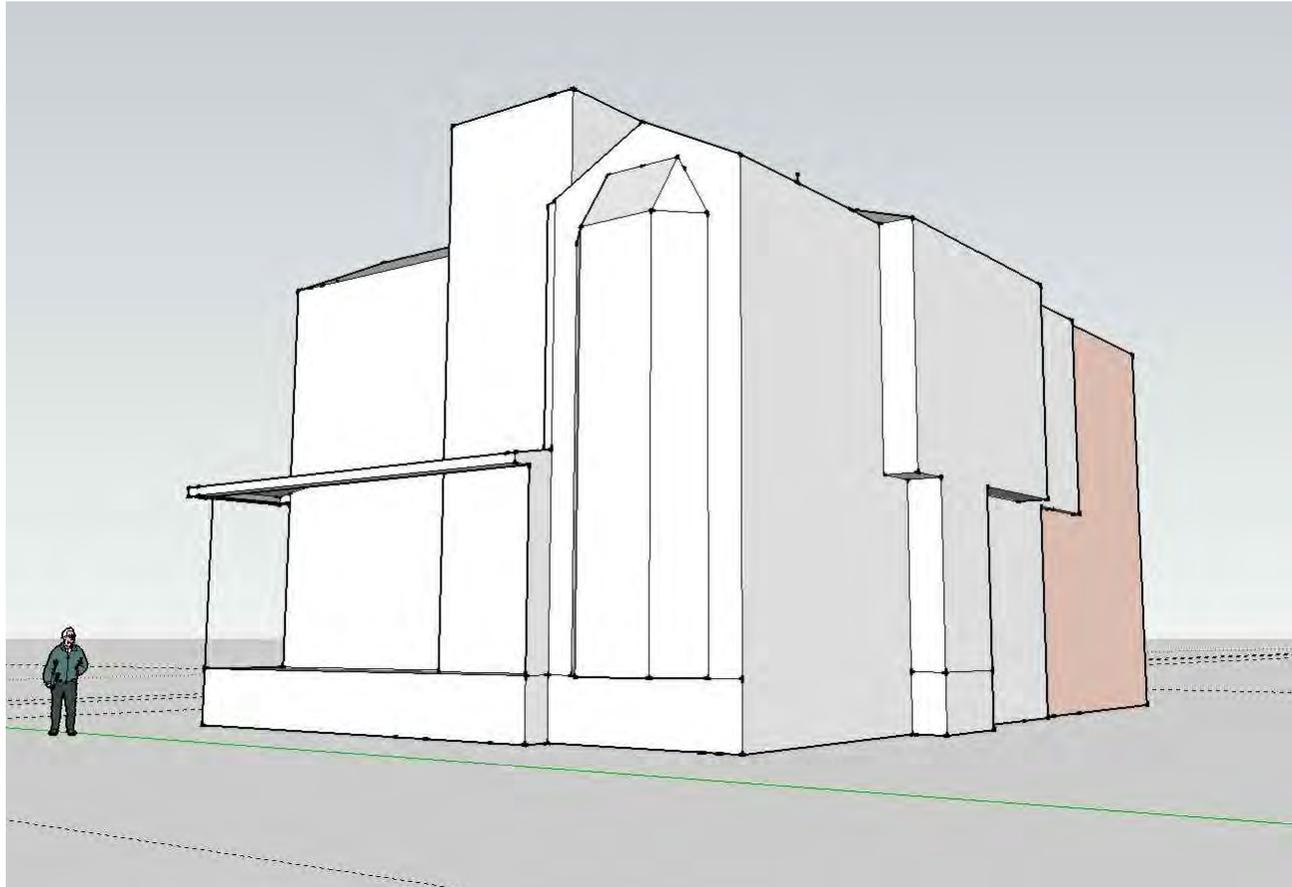
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PROPOSED VIEW FROM NORTHEAST

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PROPOSED VIEW FROM SOUTHWEST

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NO PARKING  
TO CORNER  
←

1246