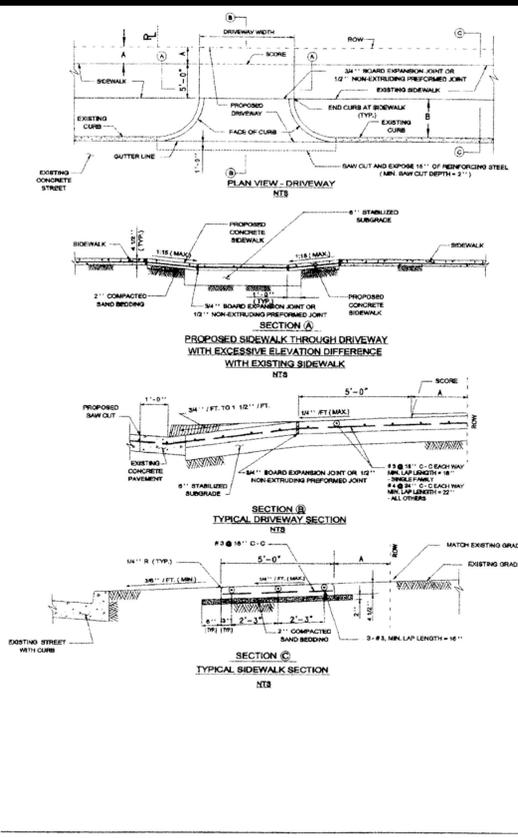


NOTES: THE ARCHITECT'S RESPONSIBILITY IS TO THE BEST OF HIS KNOWLEDGE, BELIEF AND OPINION TO VERIFY THE ACCURACY OF THE INFORMATION PROVIDED BY THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE PLANS AND MAKE ANY NECESSARY CHANGES PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CONTRACTOR. THE ARCHITECT'S RESPONSIBILITY IS NOT TO CHECK ALL DIMENSIONS AND OTHER DETAILS PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CONTRACTOR. THE ARCHITECT'S RESPONSIBILITY IS NOT TO CHECK ALL DIMENSIONS AND OTHER DETAILS PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CONTRACTOR.



- NOTES**
- IF AVAILABLE ROW IS NOT SUFFICIENT TO ACCOMMODATE A 5'-FEET SIDEWALK, ENGINEER SHALL OBTAIN A VARIANCE FROM THE CITY ENGINEER FOR A 4'-FEET WIDE SIDEWALK.
  - DRIVEWAYS SHALL BE 6" THICK FOR SINGLE FAMILY USE AND 7" THICK FOR ALL OTHERS (I.E. COMMERCIAL, INDUSTRIAL, ETC.)
  - DRIVEWAYS AND SIDEWALKS SHALL BE CONSTRUCTED WITH PORTLAND CEMENT CONCRETE AND INCLUDE 5-1/2 SACKS OF CEMENT PER CUBIC YARD OF CONCRETE.
  - 6X6-W2.9 X W2.9 WELDED WIRE FABRIC MAY BE USED IN LIEU OF THE REINFORCING STEEL.
  - EXPANSION & CONSTRUCTION JOINTS ALONG SIDEWALKS SHALL BE ACCORDING TO DRAWING NO. 02752-02.
  - REFER CHAPTER 10 DESIGN REQUIREMENTS FOR A AND B.

**CITY OF HOUSTON**  
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING

**DRIVEWAY DETAIL  
WITH 6" CURBED STREETS**

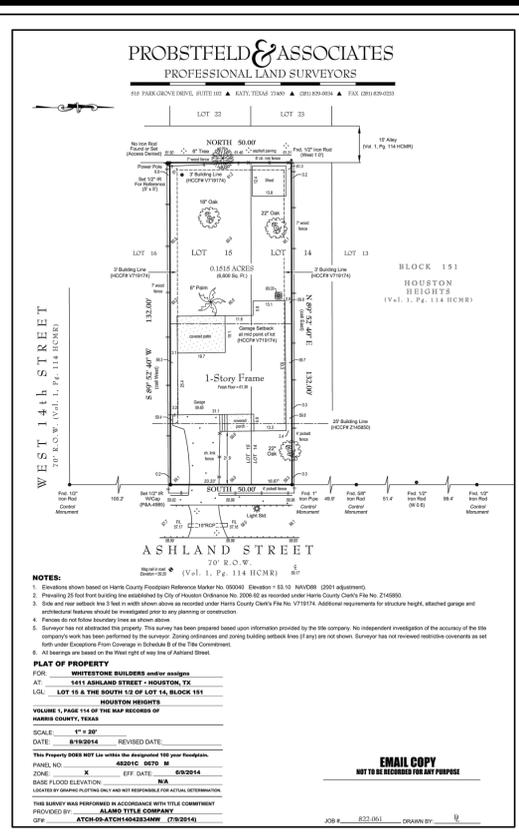
(NOT TO SCALE)

APPROVED BY: *[Signature]*  
CITY ENGINEER

DIRECTOR OF PUBLIC WORKS AND ENGINEERING

EFF DATE: JULY-01-2009    DWG NO: 02754-01B

CITY OF HOUSTON DRIVEWAY DETAIL 9 N.T.S.



SURVEY 6 N.T.S.

# Residence

1411 ASHLAND, HOUSTON, TX 77008  
LOT 15 AND TR 14, BLOCK 151, HOUSTON HEIGHTS

**INDEX OF DRAWINGS**

A000	ARCHITECTURAL COVER SHEET + SITE PLAN
A001	DOOR + WINDOW SCHEDULE + GENERAL NOTES
A110	LEVEL 1 - FLOOR PLAN
A111	LEVEL 1 - ELECTRICAL PLAN
A120	LEVEL 2 - FLOOR PLAN
A121	LEVEL 2 - ELECTRICAL PLAN
A130	ROOF PLAN
A200	EXTERIOR ELEVATIONS
A201	EXTERIOR ELEVATIONS
A210	BUILDING SECTIONS
A300	INTERIOR ELEVATIONS
A301	INTERIOR ELEVATIONS
A302	INTERIOR ELEVATIONS
A500	STANDARD DETAILS
DP1.1	SITE GRADING AND DRAINAGE PLAN
SI.1	FOUNDATION PLAN
SI.2	LEVEL 1 - CEILING FRAMING PLAN
SI.3	LEVEL 2 - CEILING FRAMING PLAN
SI.4	ROOF FRAMING PLAN
S2.1	FOUNDATION DETAILS
S2.2	FRAMING DETAILS AND GENERAL NOTES
S2.3	FRAMING DETAILS

**AREA CALCULATIONS**

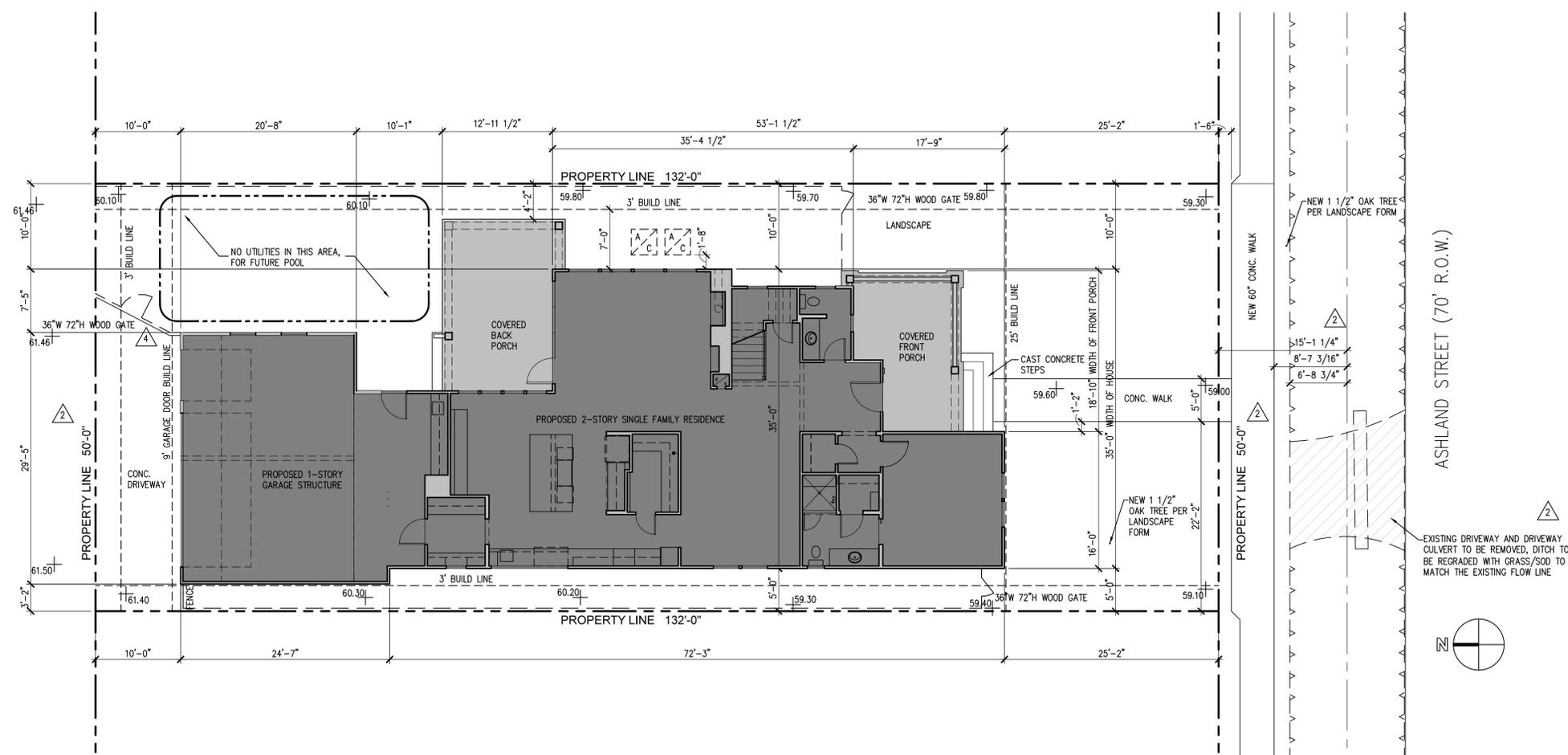
LEVEL 1	1801 S.F.
LEVEL 2	1961 S.F.
TOTAL A/C	3762 S.F.
+	
GARAGE	815 S.F.
LEVEL 1 FRONT PORCH	212 S.F.
LEVEL 1 BACK PORCH	283 S.F.
TOTAL FRAME	5072 S.F.
+	
FOUNDATION	3154 S.F.

**2SCALE ARCHITECTS**  
ARCHITECT  
40 CYPRESS CREEK PARKWAY, SUITE 237  
HOUSTON, TX 77090  
TEL 713.623.1222  
WWW.2SCALEARCH.COM

**THE INTERFIELD GROUP**  
ENGINEERING  
401 STUDEWOOD STREET STE 300  
HOUSTON, TX 77007  
TEL 713.780.0909  
WWW.INTERFIELD.NET

**WHITESTONE BUILDERS**  
BUILDER  
9801 WESTHEIMER  
MAGNOLIA, TX 77042  
TEL 832.274.3848  
WWW.WHITESTONEBUILDERS.COM

PROJECT INFORMATION 3



SITE PLAN 1  
1/8" = 1'-0"

**2scale** ARCHITECTS  
 40 CYPRESS CREEK PARKWAY, SUITE 237  
 HOUSTON, TEXAS 77090  
 TEL 713.623.1222  
 WWW.2SCALEARCH.COM

**RESIDENCE**  
 1411 ASHLAND  
 HOUSTON, TX 77008

ATTENTION SIGNATURE REQUIRED  
BY MY (OUR) SIGNATURE(S) BELOW, I (WE) HEREBY ACCEPT THESE PLANS FOR THE NEW CONSTRUCTION OF OUR HOME AT THE SUBJECT RESIDENCE AND CONFIRM THEY ARE COMPLETE AND ACCURATE. ADDITIONALLY ALL ARCHITECTURAL ELEMENTS INCLUDING BUT NOT LIMITED TO: EXTERIOR ELEVATIONS, FLOOR PLAN LAYOUT, SQUARE FOOTAGE, ELECTRICAL PLAN, INTERIOR TRIM ELEVATIONS AND ANY CUSTOM DETAILS ARE INCLUDED AS AGREED UPON.

THE SPECIFICATIONS AND ALLOWANCES SIGNED AND DATED PLANS WILL CONSTITUTE EQUIVALENT OF THE AGREEMENT WITH 2SCALE ARCHITECTS AND WILL SUPERSEDE ANY PREVIOUS DOCUMENTATION. IN THE EVENT OF A CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS AND ALLOWANCES, THE SPECIFICATIONS AND ALLOWANCES WILL GOVERN. IT IS UNDERSTOOD AND AGREED THAT ANY CHANGES HEREAFTER WILL RESULT IN ADDITIONAL CHARGES, FEES AND DELAYS IN CONSTRUCTION.

SIGNATURE(S): \_\_\_\_\_  
DATE: \_\_\_\_\_

ISSUE WITH REVISIONS	10.27.15
ISSUE WITH REVISIONS	09.23.15
ISSUE WITH REVISIONS	08.18.15
ISSUE WITH REVISIONS	08.10.15
ISSUE DESCRIPTION	DATE

09.23.15

**ARCHITECTURAL COVER SHEET SITE PLAN**

**A-000**

NOTE: THE ARCHITECT'S CONTRACTORS TO THE BEST OF OUR KNOWLEDGE THESE PLANS ARE BEING PREPARED FOR CONSTRUCTION. ANY CHANGES MADE ON THESE PLANS AFTER THESE PLANS ARE MADE WILL BE MADE BY THE ARCHITECT'S CONTRACTOR. THE ARCHITECT'S CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AND NOTIFY ARCHITECT OF ANY VARIATION FROM THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWINGS PRESENTED. WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE ARCHITECT DOES NOT GUARANTEE AGAINST HUMAN ERROR. THE ARCHITECT'S CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AND NOTIFY ARCHITECT OF ANY VARIATION FROM THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWINGS PRESENTED. THIS DOCUMENT IS NOT TO BE COPIED OR REPRODUCED WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF 2SCALE ARCHITECTS + DESIGNERS.

**PLAN NOTES:**

- DO NOT SCALE DRAWING. WRITTEN DIMENSION TAKE PRECEDENCE. CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR ALL DIMENSION AND CONDITIONS ON THE JOB AND NOTIFY ARCHITECT OF ANY VARIATION FROM THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWINGS PRESENTED.
- ALL WALLS TO BE 2x4 U.N.O. WITH 1/2" GYP. BOARD + GREEN BOARD AT WET AREAS ("CEMENT BACKER BOARD" AT TILE SHOWER/TUBS).
- LEVEL 1 CLG. HEIGHT = 10'-0" A.F.F., (U.N.O.) WITH 1/2" GYP. BOARD.  
LEVEL 2 CLG. HEIGHT = 10'-0" A.F.F., (U.N.O.) WITH 1/2" GYP. BOARD
- ALL FLOOR DRAINS TO HAVE OVERFLOW PAN WITH RELIEF LINE TO OUTSIDE OR STORM SEWER (DO NOT CONNECT TO SANITARY SEWER LINE).
- PROVIDE PLUMBING ACCESS PANEL AT ALL BATHTUBS BY IRC 2006 SECT. P2704.1.
- ALL GLASS AT TUBS AND SHOWERS SHALL BE TEMPERED SAFETY GLASS AND TO COMPLY WITH IRC 2006 SECT. R308
- PROVIDE ATTIC ACCESS WITH A MINIMUM CLEAR OPENING OF 30" X 54". PROVIDE MINIMUM HEAD CLEARANCE OF 30". WHERE SERVICING MECHANICAL EQUIPMENT, THE MINIMUM SIZE OF A PULL DOWN STAIR IS 30" X 54", AND TO HAVE A MINIMUM LOAD CAPACITY OF 350 LBS. SEE IRC 2006 SECT. R607 AND SECT. M1305.1.3.
- HOT WATER HEATER INSTALLATION TO CONFORM WITH IRC 2006 SECT. P2803
- LOCATE WATER HEATER(S) IN ATTIC ABOVE A LOAD BEARING PARTITION W/ACCESS AND WORKING CLEARANCE IN A PAN WITH A RELIEF LINE TO OUTSIDE OR STORM SEWER LINE. INSTALLATION TO CONFORM WITH IRC 2006 SECT. M1305
- LOCATE H.V.A.C. EQUIPMENT IN ATTIC. PROVIDE 3/4" PLYWOOD DECKING IN ATTIC AS NEEDED FOR MECHANICAL EQUIPMENT.
- PROVIDE 24" WIDE PLYWOOD WALKWAY TO ACCESS ALL MECHANICAL EQUIPMENT LOCATED IN ATTIC. MAXIMUM DISTANCE FROM ATTIC ACCESS TO EQUIPMENT SHALL NOT EXCEED 20'-0". PROVIDE A 30" WIDE SERVICE PLATFORM AT SERVICE SIDE OF ALL EQUIPMENT IN ATTIC.
- MINIMUM EGRESS/ESCAPE ROUTE AT WINDOWS TO BE 20"W. X 24"H. WITH SILL LESS THAN 44"A.F.F. IRC 2006 PER R310
- ALL GAS VALVES - 1/4 TURN BEFORE THE APPLIANCE.
- ALL GLASS IN HAZARDOUS AREAS TO BE TEMPERED SAFETY GLASS PER 2006 IRC SECT. R308.4.
- ALL INSULATION SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DENSITY RATING NOT TO EXCEED 450. SEE IRC 2006 SECT. R316.1.
- PROVIDE ADEQUATE FURRING SO VENT AND SOIL PIPES DO NOT PENETRATE PLATES. ALL PLUMBING VENTS SHALL EXIT THROUGH A ROOF PLANE THAT SLOPES TO THE BACK.
- ALL SMOKE DETECTORS SHALL BE HARD-WIRED, INTERCONNECTED, AND WITH BATTERY BACK-UP AS PER R313, 2006 IRC.
- 1-HOUR FIRE RATED WALLS TO MEET CODE REQUIREMENTS. SEE ATTACHED DETAIL IF NECESSARY.
- DROP SUB-FLOOR AT ALL AREAS WITH FLOOR TILE.
- ALL PORCH CEILINGS TO BE GREEN BOARD, FTD.
- ALL WET AREAS SUCH AS BATHS AND SHOWERS TO HAVE NON-ABSORBANT MATERIAL (IE: TILE) TO 6' A.F.F. MINIMUM PER 2006 IRC SECT. R307.2

**FIRE NOTE:**

- PROVIDE 5/8" TYPE "X" GYPSUM BOARD TO THE GARAGE SIDE OF STUDS AND JOISTS IF ATTACHED TO DWELLING.
- INSTALL MINIMUM 1-3/8 IN. SOLID CORE DOOR, OR SOLID OR HONEYCOMB STEEL DOOR 1-3/8 IN. THICK, OR 20 MIN. FIRE RATED DOOR FROM GARAGE ARE TO CONDITIONED AREA. (IRC 2006 R309.1)
- UNRATED DISAPPEARING STAIRS IN THE GARAGES TO HAVE MIN. 3/8" THICK FIRE RETARDANT PLYWOOD OR MIN. 16 GA. SHEET METAL.
- PROVIDE 5/8" TYPE "X" GYPSUM BOARD TO ENCLOSED AREAS LOCATED UNDER ALL STAIRS.

**GENERAL NOTES** 3

TYPE	SIZE	ALL DOUBLE HUNG JELD-WEN TRADITION PLUS WOOD WINDOW (1 OVER 1) U.N.O. 2x4 WALL U.N.O.	TYPE	SIZE	ROOM	NOTES 2x4 WALL U.N.O.
(A)	24x48		(1)	3'6" x 8'0"	101	EXTERIOR LOCKSET
(B)	NOT USED		(2)	2'6" x 8'0"	102	PRIVACY LOCKSET
(C)	NOT USED		(3)	2'4" x 6'0"	116	CUSTOM CUT SHORT DOOR AT UNDER STAIRS CLOSET, VERIFY HT. PRIOR TO ORDER
(D1)(D2)(D3)(D4)	28x72		(4)	12'0" x 8'0"	103	EXTERIOR LOCKSET
(E1)(E2)	36x54		(5)	3'0" x 8'0"	105	EXTERIOR LOCKSET
(F)	28x56		(6)	3'0" x 8'0"	106	
(G)	NOT USED		(7)	2'4" x 8'0"	109	1-LITE FR. DOOR W/ TEMPERED, FROSTED GLASS
(H1)(H2)	36X76		(8)	2'8" x 8'0"	113	
(J)	24x48		(9)	3'0" x 8'0"	112	2x6 WALL, POCKET
(K1)(K2)	36X80	EGRESS	(10)	3'0" x 8'0"	115	PRIVACY LOCKSET
(L)	32X24	PICTURE, RE. ELEVATIONS	(11)	2'4" x 8'0"	114	
(M1)(M2)(M3)	28X48		(12)	3'0" x 8'0"	201	
(N1)(N2)(N3)(N4)(N5)	28X48		(13)	2'8" x 8'0"	202	2x6 WALL, POCKET
(P)	56x54 DBL		(14)	3'0" x 8'0"	203	PRIVACY LOCKSET
(O)	24x48		(15)	2'8" x 8'0"	202	2x6 WALL, POCKET
(R1)(R2)(R3)	36x72	EGRESS	(16)	2'4" x 8'0"	204	
(R4)(R5)(R6)	36x72	EGRESS	(17)	2'8" x 8'0"	204	2x6 WALL, POCKET
(S1)(S2)(S3)	36x72		(18)	2'8" x 8'0"	205	PRIVACY LOCKSET
(T1)(T2)	36x66		(19)	2'4" x 6'8"	206A	2x6 WALL, POCKET
(U1)(U2)	36x72	EGRESS	(20)	2'0" x 6'8"	207	2x6 WALL, POCKET
(V1)	48x18	VINYL	(21)	2'4" x 6'8"	206A	PRIVACY LOCKSET
(V1)(V3)	28x60		(22)	2'4" x 6'8"	206	PRIVACY LOCKSET
(V2)	36x60	EGRESS	(23)	2'4" x 6'8"	206B	PRIVACY LOCKSET
(W1)(W2)(W3)(W4)(W5)	26x48		(24)	2'0" x 6'8"	208	2x6 WALL, POCKET
(X)	108x22	DIRECT SET	(25)	2'4" x 6'8"	206B	2x6 WALL, POCKET
(Y1)(Y2)(Y3)(Y4)	42x24	DIRECT SET	(26)	2'8" x 6'8"	209	PRIVACY LOCKSET

ATTENTION SIGNATURE REQUIRED  
 BY MY (OUR) SIGNATURE(S) BELOW, I (WE) HEREBY ACCEPT THESE PLANS FOR THE NEW CONSTRUCTION OF OUR HOME AT THE SUBJECT RESIDENCE AND CONFIRM THEY ARE COMPLETE AND ACCURATE. ADDITIONALLY ALL ARCHITECTURAL ELEMENTS INCLUDING BUT NOT LIMITED TO: EXTERIOR ELEVATIONS, FLOOR PLAN LAYOUT, SQUARE FOOTAGE, ELECTRICAL PLAN, INTERIOR TRIM ELEVATIONS AND ANY CUSTOM DETAILS ARE INCLUDED AS AGREED UPON.  
 THE SPECIFICATIONS AND ALLOWANCES SIGNED AND DATED PLANS WILL CONSTITUTE FULFILLMENT OF THE AGREEMENT WITH 2SCALE ARCHITECTS, AND WILL SUPERSEDE ANY PREVIOUS DOCUMENTATION. IN THE EVENT OF A CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS AND ALLOWANCES, THE SPECIFICATIONS AND ALLOWANCES WILL GOVERN. IT IS UNDERSTOOD AND AGREED THAT ANY CHANGES HEREAFTER WILL RESULT IN ADDITIONAL CHARGES, FEES AND DELAYS IN CONSTRUCTION.

SIGNATURE(S): \_\_\_\_\_

DATE: \_\_\_\_\_

ISSUE WITH REVISIONS	10.27.15
ISSUE WITH REVISIONS	09.23.15
ISSUE WITH REVISIONS	08.18.15
ISSUE WITH REVISIONS	08.10.15



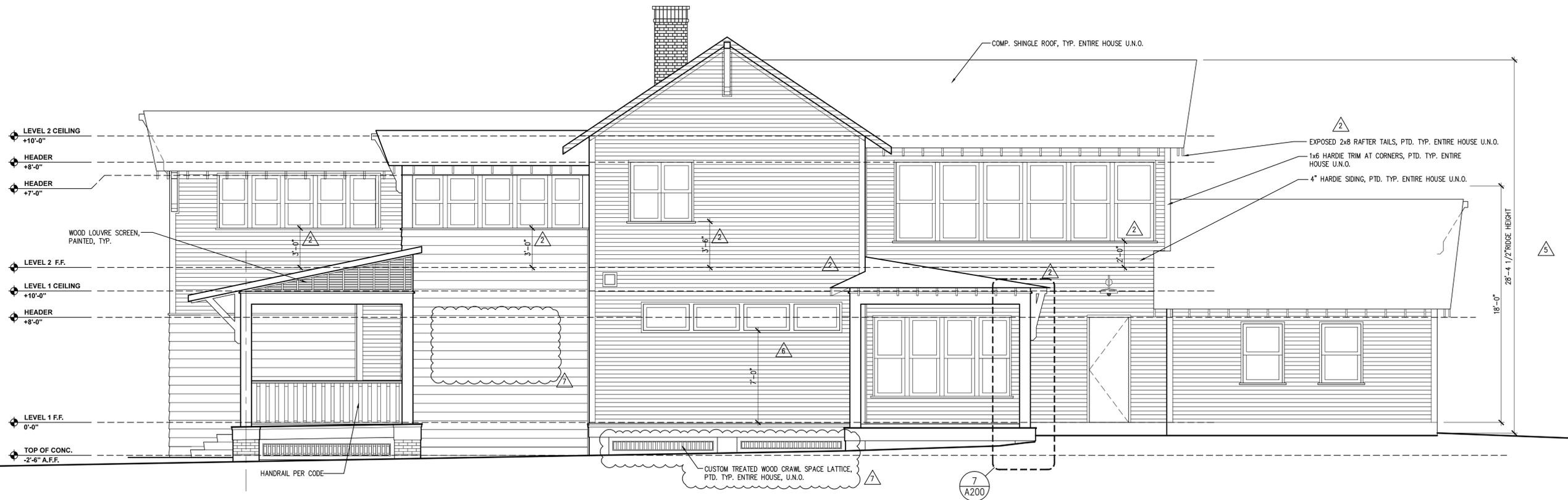
WINDOW + DOOR SCHEDULE

**A-001**





NOTE: THE ARCHITECT'S RESPONSIBILITY IS TO CHECK THE INFORMATION PROVIDED BY THE CLIENT AND TO VERIFY THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT.



EXTERIOR ELEVATION - EAST

1/4" = 1'-0"

3

ATTENTION SIGNATURE REQUIRED  
 BY MY (OUR) SIGNATURE(S) BELOW, I (WE) HEREBY  
 ACCEPT THESE PLANS FOR THE NEW CONSTRUCTION OF  
 OUR HOME AT THE SUBJECT RESIDENCE AND CONFIRM  
 THEY ARE COMPLETE AND ACCURATE. ADDITIONALLY,  
 ALL ARCHITECTURAL ELEMENTS INCLUDING BUT NOT  
 LIMITED TO: EXTERIOR ELEVATIONS, FLOOR PLAN LAYOUT,  
 SQUARE FOOTAGE, ELECTRICAL PLAN, INTERIOR TRIM,  
 ELEVATIONS AND ANY CUSTOM DETAILS ARE INCLUDED  
 AS AGREED UPON.  
 THE SPECIFICATIONS AND ALLOWANCES SIGNED AND  
 DATED PLANS WILL CONSTITUTE FULFILLMENT OF THE  
 AGREEMENT WITH 2SCALE ARCHITECTS, AND WILL  
 SUPERSEDE ANY PREVIOUS DOCUMENTATION. IN THE  
 EVENT OF A CONFLICT BETWEEN THESE PLANS AND THE  
 SPECIFICATIONS AND ALLOWANCES, THE SPECIFICATIONS  
 AND ALLOWANCES WILL GOVERN. IT IS UNDERSTOOD AND  
 AGREED THAT ANY CHANGES HEREAFTER WILL RESULT IN  
 ADDITIONAL CHARGES, FEES AND DELAYS IN  
 CONSTRUCTION.

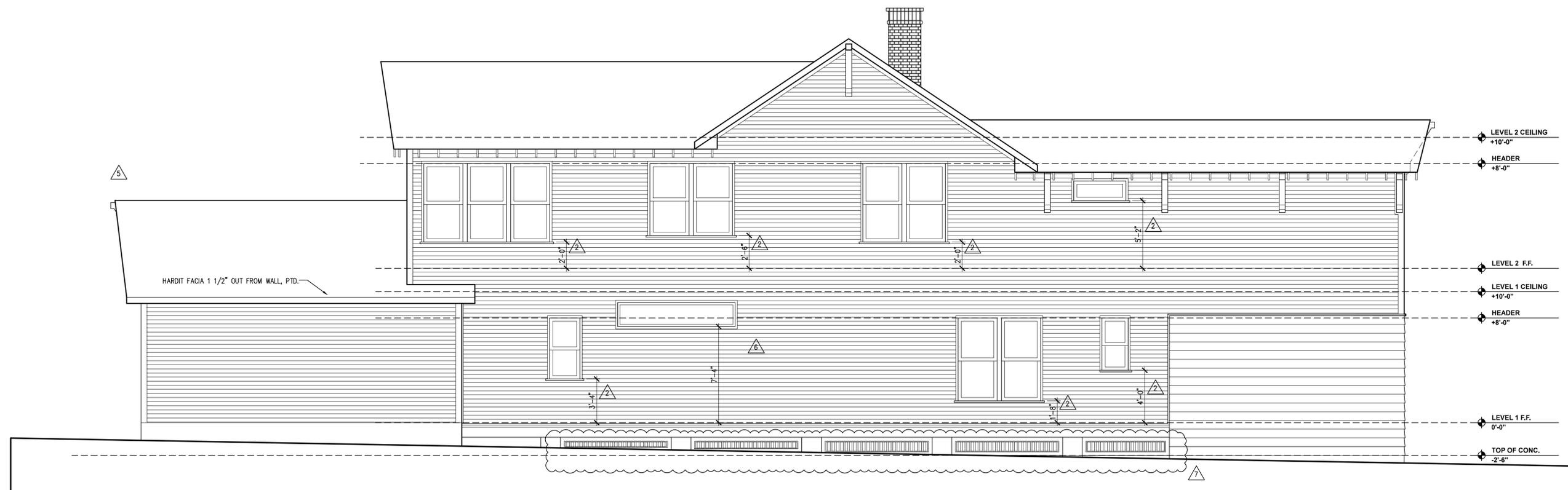
SIGNATURE(S): \_\_\_\_\_  
 DATE: \_\_\_\_\_

ISSUE DESCRIPTION	DATE
7 ISSUE WITH REVISIONS	10.27.15
6 ISSUE WITH REVISIONS	09.23.15
5 ISSUE WITH REVISIONS	08.18.15
4 ISSUE WITH REVISIONS	08.10.15



EXTERIOR ELEVATIONS

**A-201**



EXTERIOR ELEVATION - WEST

1/4" = 1'-0"

1

# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



**PLANNING &  
DEVELOPMENT  
DEPARTMENT**

**PROPERTY**

Address 1411 ASHLAND

Historic District / Landmark HEIGHTS WEST HCAD # \_\_\_\_\_

Subdivision \_\_\_\_\_ Lot 15+ HALF OF Block 151  
LOT 14

**DESIGNATION TYPE**

- |  |  |
|--|--|
| <input type="checkbox"/> Landmark            | <input type="checkbox"/> Contributing    |
| <input type="checkbox"/> Protected Landmark  | <input type="checkbox"/> Noncontributing |
| <input type="checkbox"/> Archaeological Site | <input type="checkbox"/> Vacant          |

**PROPOSED ACTION**

- |   |                                     |
|---|-------------------------------------|
| <input type="checkbox"/> Alteration or Addition                         | <input type="checkbox"/> Relocation |
| <input type="checkbox"/> Restoration                                    | <input type="checkbox"/> Demolition |
| <input checked="" type="checkbox"/> New Construction<br><u>REVISION</u> | <input type="checkbox"/> Excavation |

**DOCUMENTS**

Application checklist for each proposed action and all applicable documentation listed within are attached

**OWNER**

Name DAVID GORDON

Company WHITESTONE BUILDERS

Mailing Address 2233 YALE  
HOUSTON, TX 77008

Phone 832.274.3848

Email [REDACTED]

Signature

Date 10.28.15

**APPLICANT** (if other than owner)

Name GREG SWEDBERG

Company ZSCALE ARCHITECTS

Mailing Address 40 CYPRESS CREEK PKWY  
SUITE 237 HOUSTON, TX 77090

Phone 713.623.1222

Email [REDACTED]

Signature

Date 10.28.15

**ACKNOWLEDGEMENT OF RESPONSIBILITY**

**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Deed Restrictions:** You have verified that the work does not violate applicable deed restrictions.

**Public Records:** If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

**Compliance:** If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: \_\_\_\_\_ Application received: \_\_\_/\_\_\_/\_\_\_ Application complete: \_\_\_/\_\_\_/\_\_\_

# CERTIFICATE OF APPROPRIATENESS NEW CONSTRUCTION CHECKLIST



PLANNING &  
DEVELOPMENT  
DEPARTMENT

**Well in advance of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.**

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-242 for approval criteria for new construction in a historic district.

**PROPERTY ADDRESS:** 1411 ASHLAND

## NEW BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- carport
- accessory structure
- other

## DRAWINGS

scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

- site plan
- floor plans
- window and door schedule
- roof plan
- elevations (all sides)
- perspective

## WRITTEN DESCRIPTION

- describe new structure including square footage, levels, foundation, siding, windows, doors, roof and details
- materials description; attach specification sheets if necessary

## PHOTOGRAPHS label photos with description and location

- site as seen from street, from front and corners, include neighboring properties

↳ written description in email to Geoff B. + planning general email on 10.28.15.