

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



PLANNING &
DEVELOPMENT
DEPARTMENT

PROPERTY

Address 3107 Beauchamp St, Houston, TX, 77009
Historic District / Landmark Yes HCAD # 0372-20000002
Subdivision Woodland Heights Lot 2 Block 7

DESIGNATION TYPE

- Landmark Contributing
 Protected Landmark Noncontributing
 Archaeological Site Vacant

PROPOSED ACTION

- Alteration or Addition Relocation
 Restoration Demolition
 New Construction Excavation

DOCUMENTS

- Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name Alaina Hubert
Company _____
Mailing Address 3107 Beauchamp St
Houston, TX 77009
Phone 832-350-5797
Email _____
Signature [Signature]
Date 10/13/15

APPLICANT (if other than owner)

Name Al
Company _____
Mailing Address _____
Phone _____
Email _____
Signature _____
Date _____

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____ Application received: ___/___/___ Application complete: ___/___/___

CERTIFICATE OF APPROPRIATENESS APPLICATION INSTRUCTIONS



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Well in advance of the COA application deadline contact staff to discuss your project, application requirements, and, if necessary, to make an appointment to meet with staff for a project consultation. Visit the **Historic Preservation Web Manual** for historic district profiles, project guidance and forms.
www.houstontx.gov/HistoricPreservationManual

Historic Preservation Office
832.393.6556
historicpreservation@houstontx.gov

SUBMISSION INSTRUCTIONS

To submit application to Planning Department:

- email documents to historicpreservation@houstontx.gov (attachments must be less than 10MB)
- send a Dropbox shared folder invitation to historicpreservation@houstontx.gov, or
- contact staff to set up an appointment to drop off a disc or flash drive.

MEETING SCHEDULE

- Applications are due **22 calendar days** in advance of the HAHC meeting by **12 PM (noon)** on the deadline date. Exception: revisions to items deferred or denied at the previous HAHC meeting are due 15 days in advance of the scheduled meeting.
- Application deadlines are firm. All materials must be submitted by the deadline to be considered at the following HAHC meeting. Designs must be final at time of application; revisions will not be accepted after the deadline.
- HAHC will not accept new material or redesigns presented at the HAHC meeting. Deferral until the following month's meeting may be necessary in such cases to allow for adequate review by staff and commissioners.
- HAHC monthly meetings are held at 3:00 PM at City Hall Annex, 900 Bagby Street, City Council Chambers, Public Level.

2015 Meeting Dates (Thursdays unless noted otherwise)	COA Application Deadlines	Demolition / Relocation Posted Sign Deadlines
January 29	January 7	January 19
February 26	February 4	February 16
March 26	March 4	March 16
April 23	April 1	April 13
May 21	April 29	May 11
June 18	May 27	June 8
July 22 (Wednesday)	June 30	July 12
August 27	August 5	August 17
September 24	September 2	September 14
October 22	September 30	October 12
November 19	October 28	November 9
December 16 (Wednesday)	November 24	December 6

CERTIFICATE OF APPROPRIATENESS APPLICATION PART I – GENERAL FORM



**PLANNING &
DEVELOPMENT
DEPARTMENT**

DEFINITIONS

Addition: any expansion to an existing building, structure or object.

Alteration: any change to the exterior of a building or structure, including adding, moving, removing or replacing an exterior feature.

Demolition: an act or process that destroys in whole, or a majority of, any building, structure, object or site.

Excavation: to expose, uncover, or remove by digging, cutting or hollowing out.

Exterior Feature: an element of the architectural character and the general arrangement of the external portion of a building, structure or object, including building materials.

Mandatory Repair: a repair of a building or structure that is necessary to comply with Article IX, Ch. 10, Houston Code of Ordinances, as evidenced by an order of the hearing official or the building and standards commission or by a citation.

New Construction: the erection of a new building, structure, or object, on a lot, site, or other property.

Relocation: any change in the location of a building, structure, or object.

Restoration: accurately recovering the form and detail of a building, structure, object, or site and its setting as it appeared at a particular period of time by means of the removal of later work, or by the replacement of missing earlier work, or both.

To be completed by
PLANNING STAFF:

Application received by:
Accepted as complete by:

Date:

Date:

Project #: 15093363 – 3107 Beauchamp, Houston, TX 77009 – Skirting Repair

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1 Contact Information

Owner:

Alaina Hebert

████████████████████
832-350-5797

Ryan Minsterman

████████████████████
832-262-7968

Repair Contractor:

Billy Lucas
Lucas Craftsmanship Inc.
465 West 38th Street
Houston, Texas 77018
Phone: 713-864-2510
Fax: 713-864-2560
www.Lucasci.com

Project #: 15093363 – 3107 Beauchamp, Skirting Repair

2 Explanation of Emergency Action and Proposed Repair

Starting 6/1/2015 after the Memorial weekend flooding, we began to notice rippling and moving of the floor boards throughout the house. Most noticeable in the master bedroom walking area and the living/dining room area. This warping continued throughout and we called an inspector to tell us what was happened. He found a lake under the house and advised us to remove the skirting to ventilate the house immediately with hopes to possibly save some of the floor and stop the massive amount of mold that was growing.

2.1 Skirting removal:

- All skirting on the North and South side of the house was new cedar planks installed by Elron Industries, the previous owner.
- The vents installed by the seller had plywood behind them so they were not providing any ventilation.
- The skirting on the front of the house was old/possible original siding, only a portion of this was removed once we realized it would not provide much additional ventilation.

2.2 Post-skirting removal:

- Rented industrial fans to dry out all of the existing water.
- Cleaned out the trash left under during the previous owner's repair work.
- Applied mold treatment.
- Added rain barrels with hoses to the street to limit the amount of water flowing back to the house.
- Add drainage under the house and an emergency sump pump

Result: The floor bowing did subside in some areas, but most likely need to be replaced in most, if not all, rooms.

Project #: 15093363 – 3107 Beauchamp, Skirting Repair

2.3 Proposed Fix to Skirting:



LUCAS CRAFTSMANSHIP INC. – “EXCEPTIONAL QUALITY”

Mrs. Alaina Hebert
3107 Beauchamp
Houston, TX. 77009
832-350-5797

8/24/15

Re: Siding Repairs

The following is a preliminary bid for work to be performed at the above mentioned premises:

- Obtain necessary COH Repair / spec permit.
- Complete incidental framing to exterior skirt frame at north, south and partial east side of home.
- Install Fiberglass batt insulation as needed and ½" CDX plywood sheathing.
- Install back primed pine lap siding to match existing at same areas including 7 approx. 16" x 8" wire mesh framed ventilation screens.
- Complete necessary prep work and paint complete north, south and east side skirt portion of siding to match existing.
- All construction debris to be discarded of and residence to be kept neat and organized throughout this project. All work to be performed in a professional workman like manner. Any alteration or deviation from the above mentioned specifications or final plans involving additional costs shall become an extra charge over and above this bid. Contractor shall provide all labor, materials and supervision for the completion of this project, unless otherwise stated. Estimated time for completion is 7 days.

The above work to be completed for the sum of \$ 7,020.00
With payment as outlined below:

Acceptance of proposal

Respectfully submitted


Lucas Craftsmanship Inc.
William Lucas, President

Terms

50% to begin work
Balance upon completion

3 Supporting Documents

3.1 Photos – Dropbox

<https://www.dropbox.com/sh/ieja4q57kirdwo1/AAAhb2nsDAzceNBerLI3HxR4a?dl=0>

Project #: 15093363 – 3107 Beauchamp, Skirting Repair

3.2 Fox Inspection Report

- Real Estate Inspections
- Infrared Thermography
- Stucco Inspections
- Diagnostic Inspections



*Providing peace of mind,
one home at a time,
since 1989*

INSPECTION GROUP
FIG Services LLC d/b/a FOX INSPECTION GROUP
Property Inspection Report #150710MD-3107 Beauchamp Street
11227 Endicott Lane Houston, TX 77035
(Office) 713.723-3330 (Email) [REDACTED]

TREC Inspectors # 1718, 3648, 6289, 7248, 9278, 10583, 10524, 10525, 24253, 24274, 26271, 26280, 26719, 26752, 26765, 26772, 26778, 28994
SBCCI Registered Building Inspector #5229
SBCCI Registered Mechanical Inspector # 1729
Exterior Design Institute (EDI) # TX-113, TX-116, TX-119, TX-121, TX-148
ICC Building Inspectors # 1852678-105, #5294898-85
State of Texas Registered Code Enforcement Officer # CE1828
ICC Residential Combustion Inspectors # 1852678-85, #5294898-85
ICC Residential Building Inspectors # 5167893-01, #5294898-01
ICC Mechanical Inspectors # 1852678-345, #5294898-345
Texas Department of Insurance VIP Certificate #20110861045, # 23961801163
SBCCI Registered One & Two Family Dwelling Code Certified Inspector #1943 & #2185
ICC Certified Level 1 Infrared Thermographer #660, #662, #663, #664, #2643, #2605



*This information is provided for the homeowners information only and is
not to be used for any other purpose.*

For reference: The front of the unit faces east

Description: 1 story, wood framed single family residence ; cement board/wood exterior; composition roof; detached garage,

Weather Conditions: Partly Cloudy,

Approximate Outside Temperature: 90's

This report # 150710MD-3107 Beauchamp Street is the property of FIG Services, LLC d/b/a Fox Inspection Group © 2014, all rights reserved.

Project #: 15093363 – 3107 Beauchamp, Skirting Repair

3.3 Perma-Pier Foundation Repair

Project #: 15093363 – 3107 Beauchamp, Skirting Repair



Houston Service Center
 3574 West T.C. Jester • Houston, TX 77018
 (713)-849-9993 • (877)-840-9993 • FAX (713) 849-9998

7 / 15 / 2015

Month / Day / Year

Alaina Hebert

Name

3107 Beauchamp Houston 77079

Street City Zip

(832) 350-6797

Phone Fax

E-mail

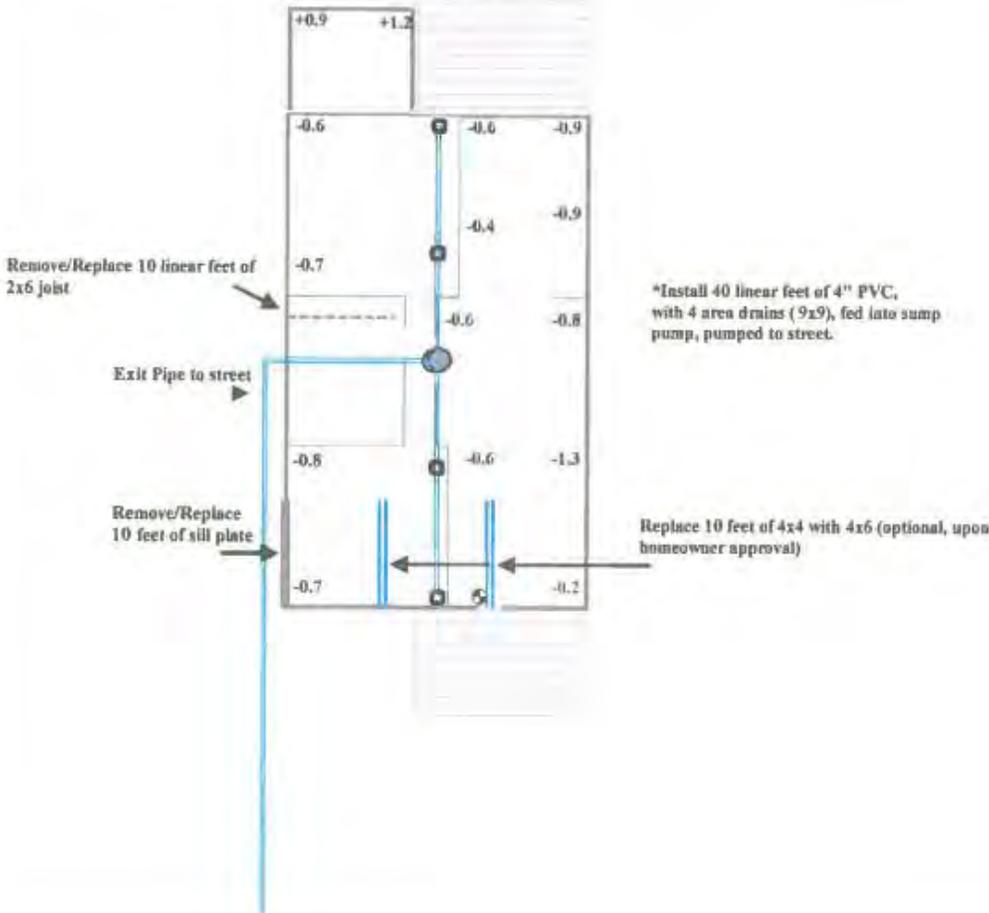
STRUCTURE DESCRIPTION

Siding:

Front	Back	Sides
slab		
Foundation Type		Stories
Brian Gilchrist (832) 598-1079		
Assessor		

Legend

- Concrete Pressed Pier
- ⊗ Concrete Pressed Pier w/Breakout
- Clean-out
- Downspout
- Jolst / Sill Plate
- ⊖ French Drain
- Sonotubes- Poured in place piers
- ⊖ Surface Drain/Catch Basin
- Water Flow in Drainage
- ==== Supporting Beams
- Surface Water Flow
- Concrete Pad
- ▭ Swales
- ⊙ Reference Point
- Sump Pump



Project #: 15093363 – 3107 Beauchamp, Skirting Repair

3.4 Residential Repair Spec List – Project #: 15093363



Department of Public Works & Engineering
Building Code Enforcement Branch



RESIDENTIAL REPAIR SPEC LIST

This form is to be completed by the applicant to obtain permits for work that does not require a plan review provided the materials match or are equivalent to the materials being repaired or replaced. The materials and method of construction must comply with the Code and are subject to field inspection for final approval. The issuance of a permit does not grant permission to violate the requirements of the code or authorize construction on, or use of, any property in violation of deed restrictions.

Please Print:

Applicant: Alaina Hebert Date: 8/25/15
 Project Address: 3107 Beauchamp St, Houston, TX 77009
 Cost of Improvements: \$ 700 Project Number: 15093363

Check all that apply:

- 1. Replace exterior siding
- 2. Replace doors
- 3. Replace windows
- 4. Replace trim
- 5. Replace rafters
- 6. Replace roof covering/decking
- 7. Re-frame walls and/or ceiling
- 8. Install smoke detectors
- 9. Replace stucco or EIFS wall covering
- 10. Replace existing stairs and/or steps
- 11. Replace ceiling and/or wall covering/insulation
- 12. Replace existing fireplace
- 13. Repair porch
- 14. Repair Electrical (Provide details below)
- 15. Repair Plumbing (Provide details below)
- 16. Repair Mechanical (Provide details below)
- 17. Replace decking (Note: a permit is NOT required if deck surface is less than 30 inches above grade and there is no roof structure over the deck)
- 18. Replace flooring (Note: a permit is NOT required for floor finish materials- carpet, tile, wood flooring, etc.)
- 19. Other, provide description below (Note: other work may require a plan submittal depending on the description of the work. Call (832) 394-8820 for verification)

APPROVED PERMIT ONLY
 BUILDING PERMIT DIVISION
 NO. 35M
 This permit is issued in accordance with the provisions of the City of Houston Building Code, and all work shall conform to the specifications and details shown on the approved plans.

Applicant Signature: [Signature]

Energy Code: The following requirements shall be maintained for efficiency requirements:

Insulation and Windows	Max U-factor	Max SHGC	Ceiling R-Value	Wall R-Value	Floor R-value	All values shall meet or exceed the minimums provided by this table
	0.15	0.40	30	13	13	Indicate insulation type: _____

Insulation required when full cavities exceed "corner to corner" or "edge to edge" fastener insulation must be R-19 when _____

Project #: 15093363 – 3107 Beauchamp, Skirting Repair

3.5 Drain Inspection



5735 Cheltenham Drive
Houston, Texas 77096
Tel: 713 22SEWER / 713 2273937
Cell: 713 3045150
Email: [REDACTED]

Invoice # 33074
Alaina Hebert
Inspection at 3107 Beauchamp
Houston, Tx 77009
07/17/2015

Sewer Inspection Report

Performed a sewer scoping of the under-house and exterior under-ground sanitary sewer system.
Performed a hydro-static leak test on the under-house sewer system.
The main house is on a pier and beam support structure.
One main line PVC clean-out was found (partially buried) on the left side of the house.
The system scoped through the available clean-out showed to comprise of PVC pipe under the house and cast iron pipe on the exterior downstream from the clean-out through to the city connection at the front left of the property.
The PVC looks to be in very good condition and this was confirmed with the hydro-static leak test showing it to be leak-free at this time.

The concern is the condition of the exterior ageing cast iron pipe .

Cast iron typically has a life span of between 50-60 yrs. This system therefore is well into and beyond the "end-of-life era" and as such the home owner should expect to be changing this old system out to PVC possibly in the near future.
The system does appear to be still functioning as intended.
The camera showed moderate to severe areas of rust and corrosion, inner wall flaking and joint misalignment.

It is always recommended to change out these ageing pipes to PVC prior to structurally damaging leaks developing.

Note: Because of the constant ground movement in the Houston area, a major cause of sewer failure, and the general age of the sewer system, it is necessary to have periodic inspections of the under-ground sanitary sewer system .
What we see and report on today may not be the case in for example, a year from now.

Total \$290 (paid check # 1028)

- *Real Estate Inspections*
- *Infrared Thermography*
- *Stucco Inspections*
- *Diagnostic Inspections*



*Providing peace of mind,
one home at a time,
since 1989*

INSPECTION GROUP

FIG Services LLC d/b/a FOX INSPECTION GROUP
Property Inspection Report #150710MD-3107 Beauchamp Street
11227 Endicott Lane Houston, TX 77035
(Office)713.723-3330 (Email) [REDACTED]

TREC Inspectors # 1718, 3648, 6389, 7248, 9378, 10503, 10524, 10533, 20283, 20378, 20531, 20580, 20719, 20754, 20760, 20975, 20976, 20994
SBCCI Registered Building Inspector #5939
SBCCI Registered Mechanical Inspector # 1739
Exterior Design Institute (EDI) # TX-113, TX-116, TX-119, TX-121, TX-140
ICC Building Inspectors # 1052678-B5, #5294898-B5
State of Texas Registered Code Enforcement Officer # CE1858
ICC Residential Combination Inspectors # 1052678-R5, #5294898-R5
ICC Residential Building Inspectors # 5167093-B1, #5294898-B1
ICC Mechanical Inspectors # 1052678-M5, #5294898-M5
Texas Department of Insurance VIP Certificates #20110061045, # 33901081163
SBCCI Registered One & Two Family Dwelling Code Certified Inspector #1863 & #2185
ITC Certified Level I Infrared Thermographers #8661, #8662, #8692, #8694, #26034, #26505



This information is provided for the homeowners information only and is not to be used for any other purpose.

For reference: The front of the unit faces east

Description: 1 story, wood framed single family residence ; cement board/wood exterior; composition roof; detached garage,

Weather Conditions: Partly Cloudy,

Approximate Outside Temperature: 90's

FLOORS:

Water damaged wood flooring. Observed cupping/unevenness of wood flooring, indication of high moisture conditions below wood flooring. Excessive moisture in crawl space due to lack of ventilation and drainage conditions around the house do not properly direct water away from home during heavy rains.

Living Room:



Dining Room:



East end of Kitchen Island:



East Bedroom:



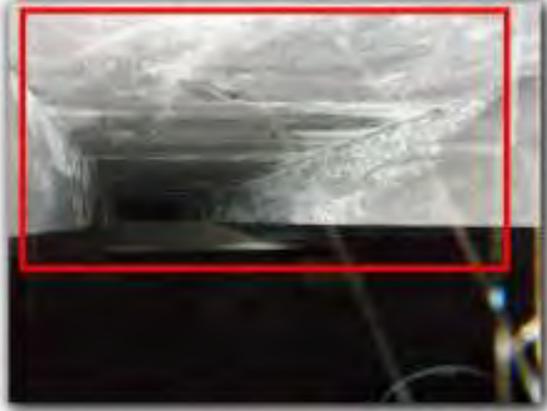
Hallway at Bathroom door:



Master Bedroom:



Wood rot/fungus on various wood members in crawl space observed below house. This condition if left untreated will eventually result in structural damage to wood members. The rot / fungus feeds off the cellulose fibers of the wood.



There is no perimeter beam present due to construction type. This condition, if left untreated may/will result in bowing of the structure due to excessive wood rot of existing plates and wall studs.



Concrete slab under master bath/closet does not appear to be slab on grade type. Concrete is not touching ground and compounding moisture issue.



Recommended repairs:

- 1) Remove all skirts and skirt framing from around the home to allow for proper ventilation.
- 2) Have sanitary sewer drains checked by a qualified/licensed plumbing contractor to determine if any cast iron material is present. Repair/replace as recommended by contractor.
- 3) Install underground and area drains for downspouts and back and south side yard to eliminate ALL surface water from infiltrating crawl space.
- 4) Install an area drain in crawl space or possibly a sump pump system as a back-up to perimeter and downspout drains for surface water.
- 5) Remove all mold/mildew from beams and floor joists and apply a fungicide with an approved fungicide to prevent regrowth. Recommend installing proper vapor barrier in crawl space at ground level to reduce humidity levels and leaving entire perimeter open for proper ventilation. It is recommended that 1 SQ. FT. of free vent area be supplied per 150 SQ. FT. of floor space without vapor barrier and 1 SQ. FT. of free vent area be supplied per 300 SQ. FT. of floor space with a vapor barrier.
- 6) Install proper perimeter beam and repair damaged floor joists and wall studs for proper support of walls and roof structure.
- 7) Recommend consulting with structural engineer for evaluation of entire foundation and make recommended repairs.
- 8) Repair/replace interior finishes as required to suit personal tastes.

Please let us know if you have any questions or if we can help in any way.

Fox Inspection Group
(713) 723-3330

Mark T. Denton
TREC #10503
(832) 349-2701



RESIDENTIAL REPAIR SPEC LIST

This form is to be completed by the applicant to obtain permits for work that does not require a plan review provided the materials match or are equivalent to the materials being repaired or replaced. The materials and method of construction must comply with the Code and are subject to field inspection for final approval. The issuance of a permit does not grant permission to violate the requirements of the code or authorize construction on, or use of, any property in violation of deed restrictions.

Please Print:

Applicant: Alaina Hebert Date: 8/25/15
 Project Address: 3107 Beauchamp St, Houston, Tx 77009
 Cost of Improvements: \$ 9100.00 Project Number: 15093363

Check all that apply:

- 1. Replace exterior siding
- 2. Replace doors
- 3. Replace windows
- 4. Replace trim
- 5. Replace rafters
- 6. Replace roof covering/decking
- 7. Re-frame walls and/or ceiling
- 8. Install smoke detectors
- 9. Replace stucco or EIFS wall covering
- 10. Replace existing stairs and/or steps
- 11. Replace ceiling and/or wall covering/insulation
- 12. Replace existing fireplace
- 13. Repair porch
- 14. Repair Electrical (Provide details below)
- 15. Repair Plumbing (Provide details below)
- 16. Repair Mechanical (Provide details below)
- 17. Replace decking (Note: a permit is NOT required if deck surface is less than 30 inches above grade and there is no roof structure over the deck)
- 18. Replace flooring (Note: a permit is NOT required for floor finish materials: carpet, tile, wood flooring, etc.)
- 19. Other, provide description below (Note: other work may require a plan submittal depending on the description of the work. Call (832) 394-8820 for verification)

NO APPROVED PLANS
 CODE CITY OF HOUSTON
 BUILDING PERMIT DIVISION
 NO 35M
 The owner is responsible for providing specifications for all work to be performed in accordance with the approved plans. Plans must be submitted to the Building Department for review and approval. Plans that do not comply with the Building Code shall not be approved.

Applicant Signature: [Signature]

Energy Code: The following requirements shall be maintained for efficiency requirements.

Insulation and Windows	Max U-factor	Max. SHGC	Ceiling R-Value	Wall R-Value	Floor R-value	All values shall meet or exceed the minimums provided by this table. Indicate insulation type: _____
	0.75	0.40	30	13	13	

Insulation required when full cavities exposed "corner to corner" or "edge to edge". Ceiling insulation must be R-19 when ~~_____~~
 _____ must have a label showing the required information or shall show compliance in other manner.





























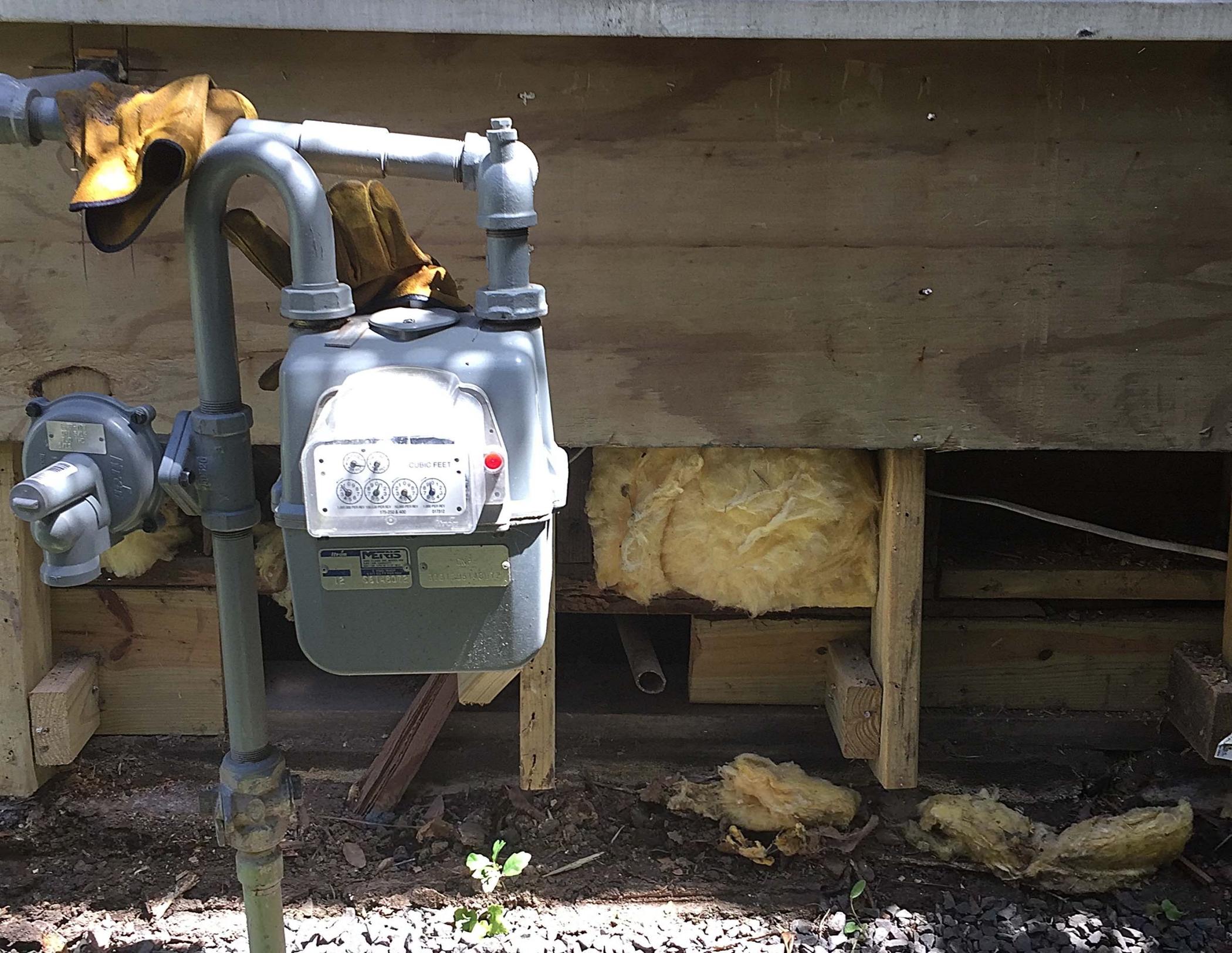












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CUBIC FEET

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