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GEORGE
JAMES LA
7120 159

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



**PLANNING &
DEVELOPMENT
DEPARTMENT**

PROPERTY

Address 3702 Audubon Place
 Historic District / Landmark Contributing Structure HCAD # 0261410000017
 Subdivision Audubon Place Lot TR 1A Block 15

DESIGNATION TYPE

- Landmark
- Protected Landmark
- Archaeological Site
- Contributing
- Noncontributing
- Vacant

PROPOSED ACTION

- Alteration or Addition
- Restoration
- New Construction
- Relocation
- Demolition
- Excavation

DOCUMENTS

Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name Audubon Holdings Partnership
Claire Peterson Grauberry Separate
~~Company~~ Trust, Claire Peterson Grauberry,
 Mailing Address Trustee c/o Raymond A. Krell
1660 Smith St, Suite 3885, Houston 77002
 Phone 713-951-7601
 Email [REDACTED]
 Signature Claire Peterson Grauberry
 Date 10.26.15

APPLICANT (if other than owner)

Name Jeff Grauberry
 Company Restoration Builders, Inc.
 Mailing Address PO Box 980774
Houston, Tx. 77098
 Phone 713-839-1269
 Email [REDACTED]
 Signature KS
 Date 10/26/2015

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____ Application received: ___/___/___ Application complete: ___/___/___

CERTIFICATE OF APPROPRIATENESS ALTERATION & ADDITON CHECKLIST



PLANNING &
DEVELOPMENT
DEPARTMENT

Well in advance of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable items and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-241 for approval criteria for alteration, rehabilitation, restoration and additions.

PROPERTY ADDRESS: 3702 Audubon Place

BUILDING TYPE

- | | |
|---|--|
| <input checked="" type="checkbox"/> single-family residence | <input type="checkbox"/> garage |
| <input type="checkbox"/> multi-family residence | <input type="checkbox"/> carport |
| <input type="checkbox"/> commercial building | <input type="checkbox"/> accessory structure |
| <input type="checkbox"/> mixed use building | <input type="checkbox"/> other |
| <input type="checkbox"/> institutional building | |

ALTERATION TYPE

- | | |
|--|---|
| <input type="checkbox"/> addition | <input checked="" type="checkbox"/> roof |
| <input type="checkbox"/> foundation | <input type="checkbox"/> awning or canopy |
| <input type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign |
| <input checked="" type="checkbox"/> windows or doors | <input type="checkbox"/> ramp or lift |
| <input type="checkbox"/> porch or balcony | <input type="checkbox"/> other |

WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work; plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new materials description; attach specification sheets if necessary

PHOTOGRAPHS

 label photos with description and location

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

DRAWINGS

 scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

- | | |
|---|---|
| <input checked="" type="checkbox"/> current site plan | <input checked="" type="checkbox"/> demolition plan |
| <input checked="" type="checkbox"/> proposed site plan | <input checked="" type="checkbox"/> current roof plan |
| <input checked="" type="checkbox"/> current floor plans | <input checked="" type="checkbox"/> proposed roof plan |
| <input checked="" type="checkbox"/> proposed floor plans | <input checked="" type="checkbox"/> current elevations (all sides) |
| <input checked="" type="checkbox"/> current window and door schedule | <input checked="" type="checkbox"/> proposed elevations (all sides) |
| <input checked="" type="checkbox"/> proposed window and door schedule | <input type="checkbox"/> perspective and/or line of sight |

3702 Audubon Place

Property Description:

- Ewart and Lillian Lightfoot House
 - Built in 1922
 - Airplane Bungalow
 - No known alterations or additions

Proposed Work:

- Rehabilitate structure to a state of utility that makes possible an efficient contemporary use.
- Maintain the architectural intent and feel of the structure both interior and exterior.
- No exterior modifications other than new roof, paint, addition of railing on garage (if required by city) and modifying windows and doors on SW corner (back corner not seen from either street) to facilitate present-day requirements for a master bedroom/bath.

Current Building Material Conditions:

- Most of the existing exterior materials are in good shape other than roof. Will restore any discovered deficiencies to match existing.

Proposed New Materials:

- Only new materials will be interior.

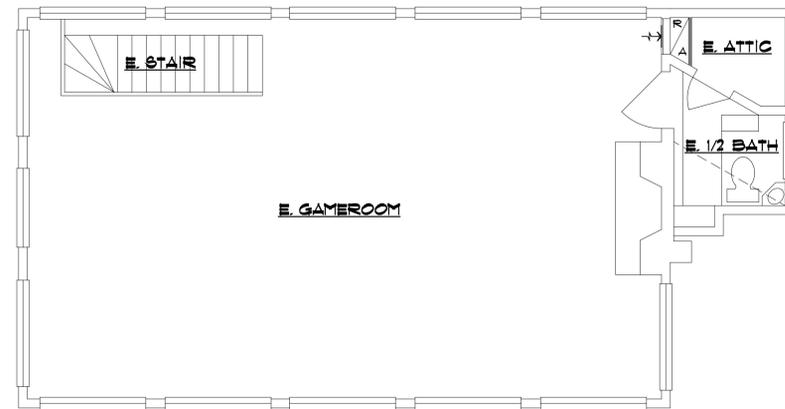
LIGHT FIXTURE SCHEDULE	
(A)	RECESSED CEILING FIXTURE - REMODELER
(B)	NOT USED
(C)	NOT USED
(D)	CEILING MOUNT FIXTURE
(E)	DECORATIVE WALL MOUNTED FIXTURE TO BE SELECTED BY OWNER
(F)	EXTERIOR CEILING MOUNT FIXTURE TO BE SELECTED BY OWNER
(G)	RECESSED SHOWER FIXTURE
(H)	EXHAUST FAN/ LIGHT - TO BE SELECTED
(I)	EXHAUST FAN - TO BE SELECTED
(J)	UNDERCABINET LIGHTING
(K)	CEILING FAN - TO BE SELECTED BY OWNER

ELECTRICAL LEGEND	
(O)	DUPLEX OUTLET 110V
(O) with GFI symbol	DUPLEX OUTLET W/ GROUND FAULT INTERRUPTER
(O) with 220V symbol	220 V. OUTLET
(S)	SWITCH ONE WAY
(S) with 3-way symbol	SWITCH THREE WAY
(S) with DIMMER symbol	SWITCH W/ DIMMER
(T)	TELEPHONE JACK
(TV)	TELEVISION JACK
(SD)	SMOKE DETECTOR 110V. (WITH BATTERY BACKUP)

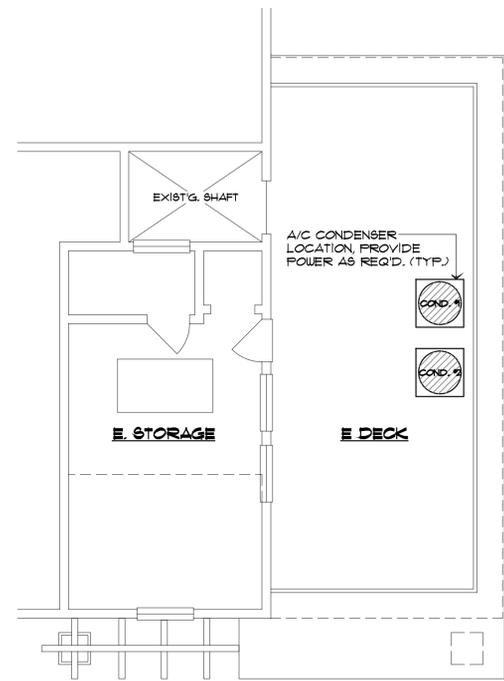
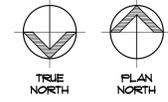
- ELECTRICAL NOTES:**
- CONTRACTOR SHALL COORDINATE THE LIGHTING LAYOUT W/ MECHANICAL LAYOUT PRIOR TO CONSTRUCTION, TO AVOID CONFLICTS, NOTIFY DESIGNER IF DISCREPANCIES OCCUR.
 - CONTRACTOR SHALL PROVIDE POWER FOR ALL APPLIANCES, A/C CONDENSER, ETC.
 - VERIFY EXACT LOCATION OF ALL T.V. & PHONE JACKS, SMOKE DETECTORS, ETC. W/ OWNER PRIOR TO CONSTRUCTION.
 - REFER TO INTERIOR ELEVATIONS FOR HEIGHT OF ALL WALL MOUNTED FIXTURES UNLESS NOTED OTHERWISE.
 - SWITCHES & PLATES TO MATCH EXISTING, VERIFY W/ OWNER.

MECHANICAL LEGEND	
(R/A)	RETURN AIR GRILLE
(T)	THERMOSTAT
(A/C)	AIR HANDLER UNIT
(COND)	A/C CONDENSER UNIT
(E.D.)	EXHAUST DUCT (FAN BY ELEC. CONTRACTOR)

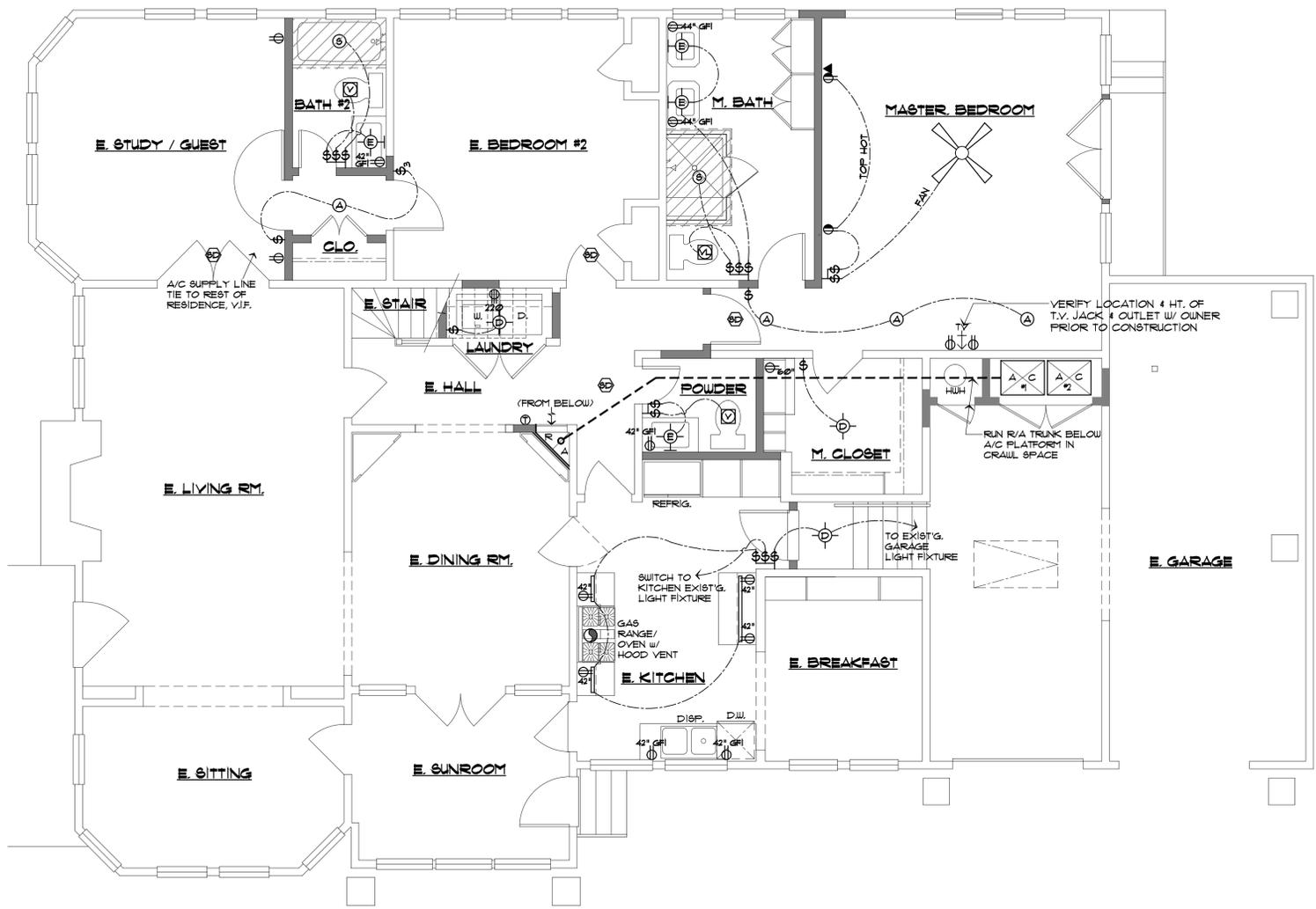
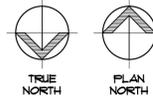
- MECHANICAL NOTES:**
- THIS DRAWING IS A SUGGESTED DUCT LAYOUT ONLY. CONTRACTOR SHALL DESIGN SYSTEM AND SUBMIT TO OWNER FOR APPROVAL.
 - THIS DRAWING HAS DUCTS AND DIFFUSERS SHOWN SO AS NOT TO CONFLICT WITH ELECTRICAL LIGHTING LAYOUT. NOTIFY DESIGNER IF ANY COORDINATION BETWEEN ELECTRICAL AND MECHANICAL IS REQ'D.
 - DUCTWORK TO BE FLEX DUCT SEALED AIRTIGHT.
 - INSULATE RETURN AIR CHASE WITH SOUND ATTENUATING MATERIAL.
 - FILTER TO BE LOCATED AT RETURN AIR GRILLE.
 - PROVIDE TIGHT-FITTING SEALED DUCT PENETRATIONS AT EXTERIOR WALL CONDITIONS.



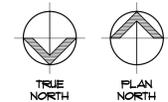
2 SECOND FLOOR ELECTRICAL SWITCHING PLAN & SUGGESTED MECHANICAL LAYOUT
SCALE: 1/4" = 1'-0"



3 PARTIAL FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR ELECTRICAL SWITCHING PLAN & SUGGESTED MECHANICAL LAYOUT
SCALE: 1/4" = 1'-0"



MBC
DESIGN ASSOCIATES
10326 RAYBROOK LANE
HOUSTON, TEXAS

ISSUED FOR:
BIDS & PERMIT 8/28/15

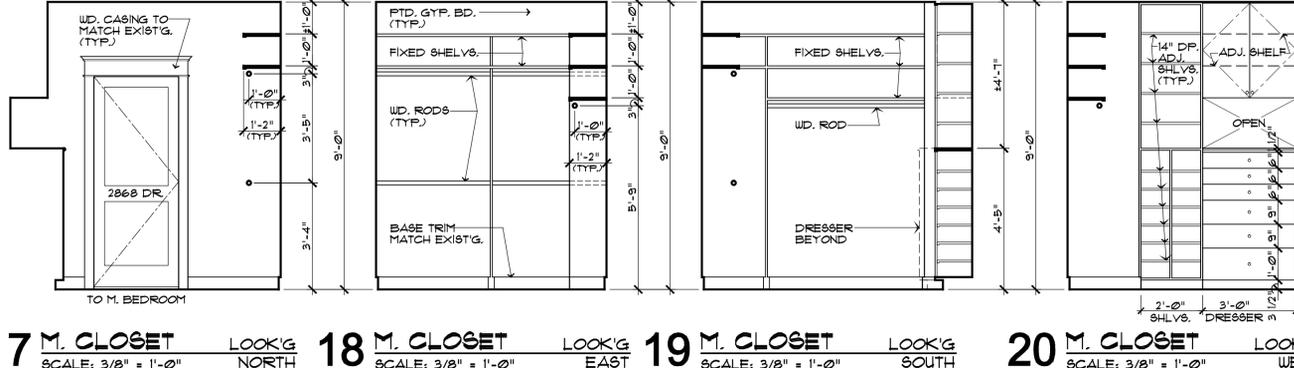
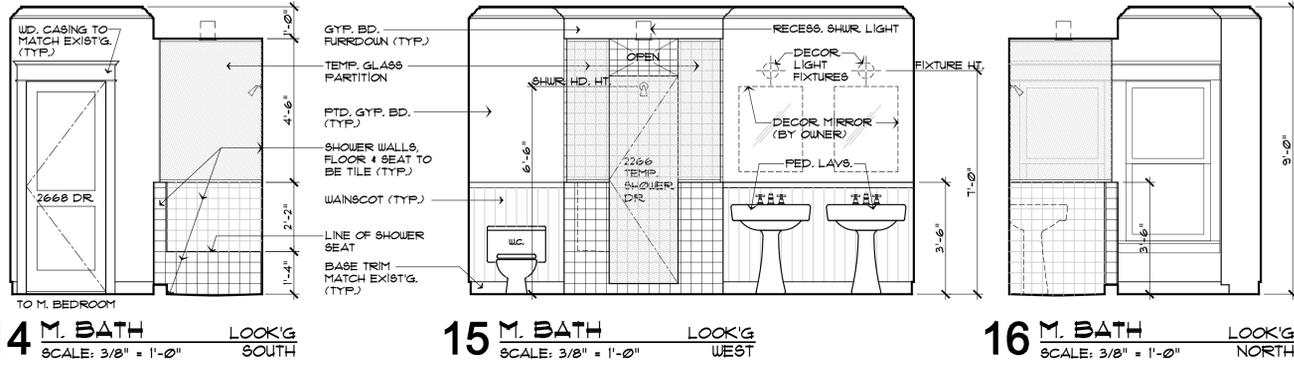
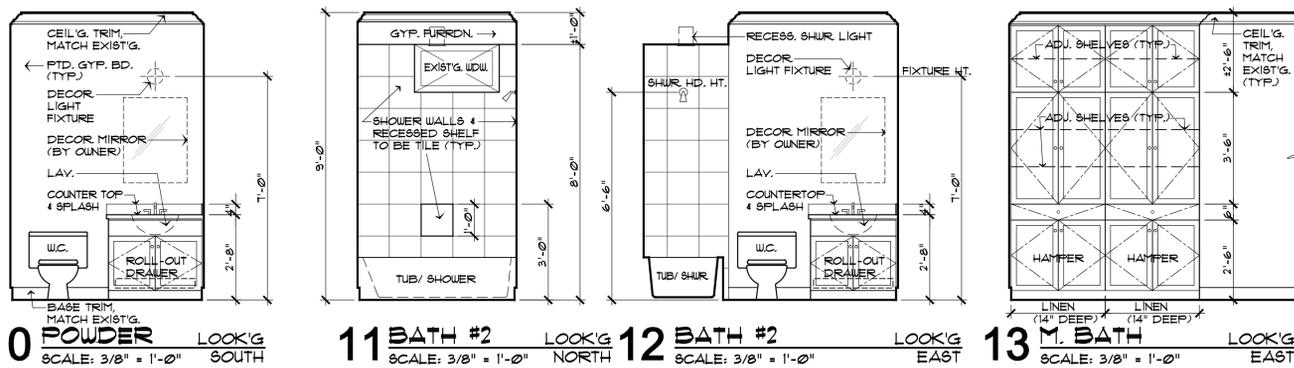
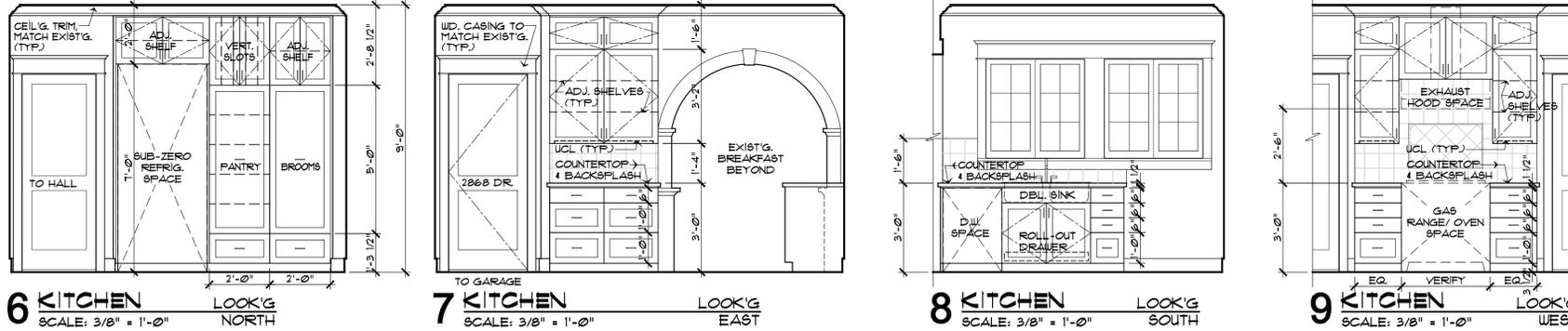
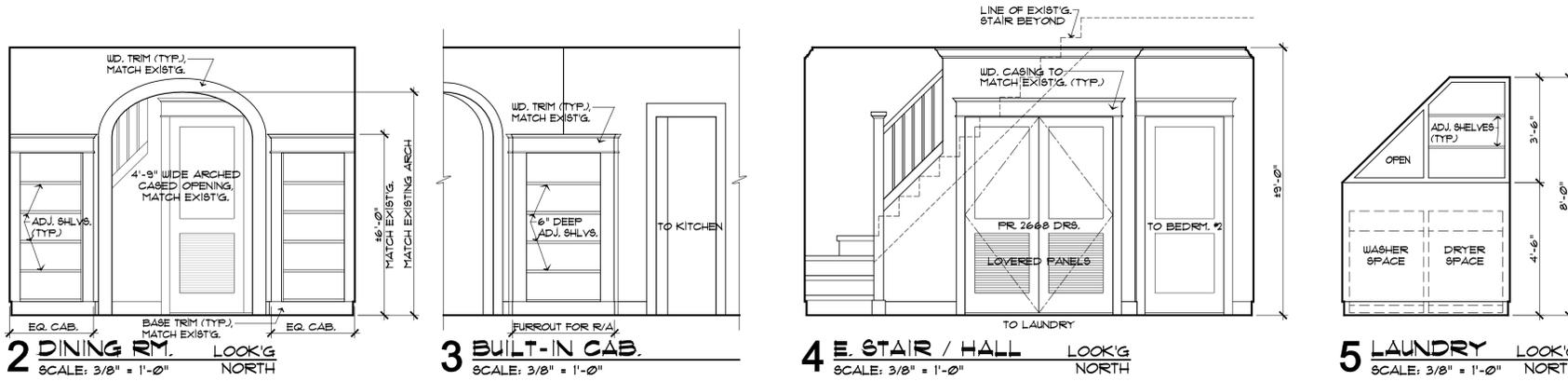
MECHANICAL &
ELECTRICAL PLAN

3702 AUDUBON PLACE
HOUSTON, TEXAS 77006

GRANBERRY / PETERSEN
REMODELING

SCALE: 1/4" = 1'-0"
DRAWING NO.

ME-1



GENERAL NOTES - CODE COMPLIANCE

- 44" MAX WINDOW SILL HEIGHT IN ALL HABITABLE ROOMS.
- CONTRACTOR TO PROVIDE GOOD ATTIC VENTILATION.
- WHERE WOOD FRAME WALLS ARE SUBJECT TO WATER SPLASH, FRAMING TO BE PROTECTED WITH WATERPROOF PAPER.
- SHOWER STALL WALLS TO BE FINISHED WITH NON-ABSORBENT SURFACE TO MIN HEIGHT OF 10" ABOVE DRAIN INLET.
- STRUTS MIN. 2" X 4". 8' MAXIMUM UNBRACED LENGTH. MIN. SLOPE OF 45 DEGREES FROM HORIZONTAL.
- PROVIDE FIRESTOPPINGS IN CONCEALED SPACES OF HALLS, HURR DOWNS, CEILING AND FLOOR LEVELS AND AT 10' INTERVALS ALONG LENGTH OF HALL.
- RAFTERS TO BE NAILED TO ADJACENT CEILING JOISTS.
- EVERY DUELLING UNIT TO HAVE BATHROOM WITH HOT AND COLD RUNNING WATER. IRC SECTION R306.1.
- EVERY DUELLING UNIT TO HAVE HEATING FACILITIES, IRC SECTION R303.6.
- ALL EXTERIOR WALLS TO BE BRACED EFFECTIVELY, IRC SECTION R602.
- PROVIDE CROSS VENTILATION AT ENCLOSED ATTICS, IRC SECTION R806.
- PROVIDE FIRESTOPPS OF APPROVED MATERIAL, IRC SECTION R602.8.
- PROVIDE FIRESTOPPS AT CONCEALED VERTICAL AND HORIZONTAL SPACES, IRC SECTION R602.8.
- SPACE STUDS AT 16" INCH O.C.
- SMOKE DETECTORS TO BE 10V HARD-WIRED, INTER-CONNECTED WITH BATTERY BACK-UP (SEE ELECTRICAL), IRC SECTION R310.
- PROVIDE W.P. DUPLEX ELECTRICAL RECEPTACLE WITHIN 25'-0" OF A/C COMPRESSOR (GFI IF NOT IN SOFFIT).
- PROVIDE FAN UNDER WATER HEATERS WITH DRAIN TO OUTSIDE.
- ALL EGRESS IN SLEEPING ROOMS SHALL COMPLY WITH IRC SECTION R310.
- NEW WINDOWS TO PROVIDE A MINIMUM 0.55 U VALUE WITH A MINIMUM 0.40 SHGC.

SITE NOTES

- CONTRACTOR TO VERIFY EXACT LOCATION OF ALL EXISTING WATER, SANITARY SEWER, AND UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY EXACT LOCATION OF AREA DRAINS AND SITE DRAINAGE PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY DESIGNER PRIOR TO CONSTRUCTION OF ANY DISCREPANCIES ON PLANS.

SHEET INDEX

- A-1 SITE / ROOF PLAN
- INTERIOR ELEVATIONS
- A-2 FIRST FLOOR PLAN
- SECOND FLOOR PLAN
- STORAGE FLOOR PLAN
- A-3 EXTERIOR ELEVATIONS
- ME-1 ELECTRICAL SWITCHING PLAN
- SUGGESTED MECHANICAL LAYOUT

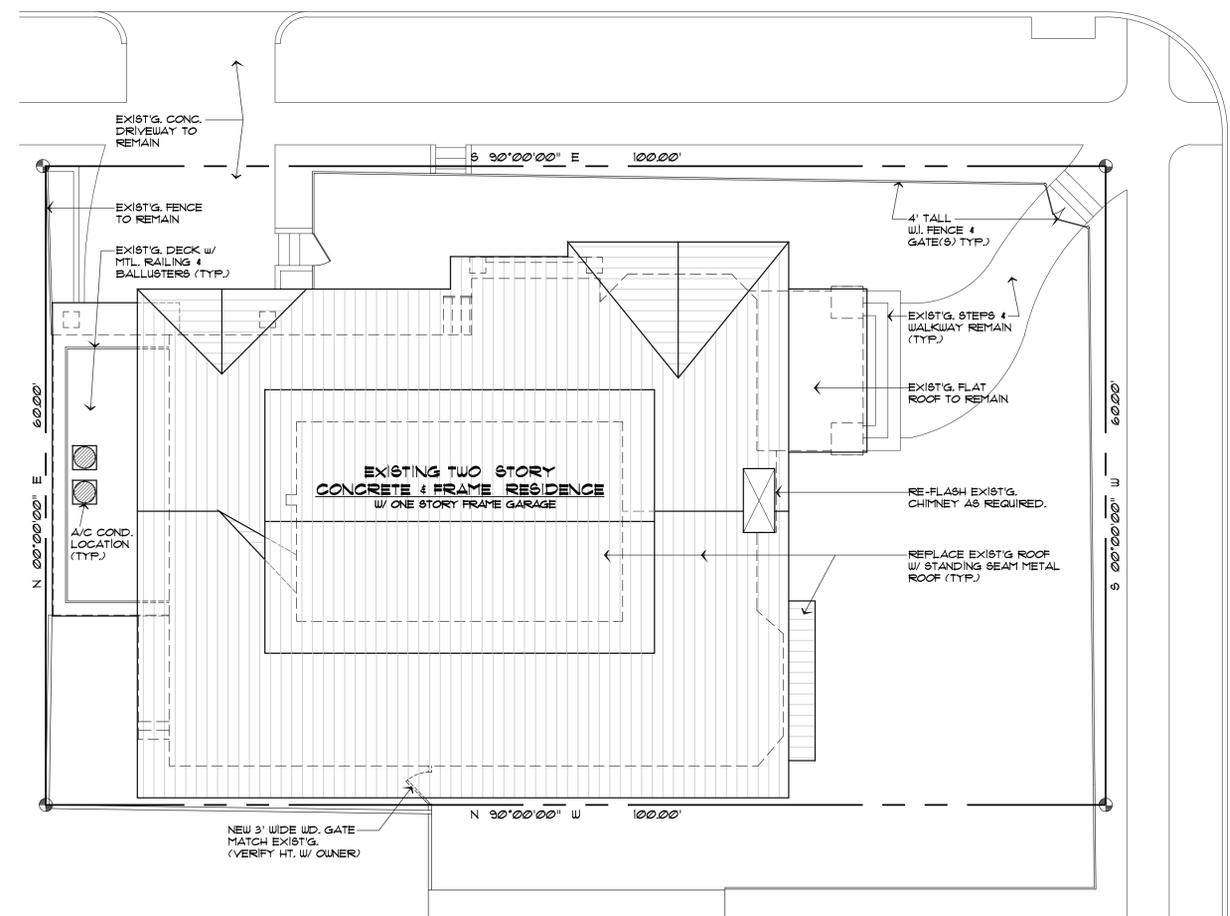
MBC
DESIGN ASSOCIATES

10326 RAYBROOK LANE
HOUSTON, TEXAS

ISSUED FOR:

BIDS & PERMIT 8/28/15

MARSHALL AVENUE



SITE PLAN & INT. ELEV.
GENERAL NOTES

AUDUBON PLACE

3702 AUDUBON PLACE
HOUSTON, TEXAS 77006

GRANBERRY / PETERSEN
REMODELING

SCALE: AS NOTED

DRAWING NO.

1 SITE / ROOF PLAN
SCALE: 1/8" = 1'-0"



LEGAL DESCRIPTION:
EAST 60'x100' OF LOT 1, BLOCK 15, MONTROSE ADDITION, AN ADDITION IN HARRIS COUNTY, AS DESCRIBED IN DEED RECORDED UNDER COUNTY CLERK'S FILE C144002, IN THE RECORDS OF HARRIS COUNTY, TEXAS

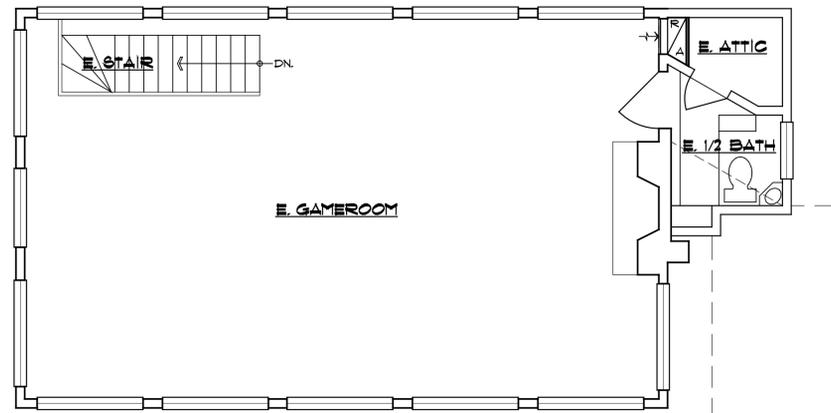
A-1

17 M. CLOSET LOOK'G NORTH
SCALE: 3/8" = 1'-0"

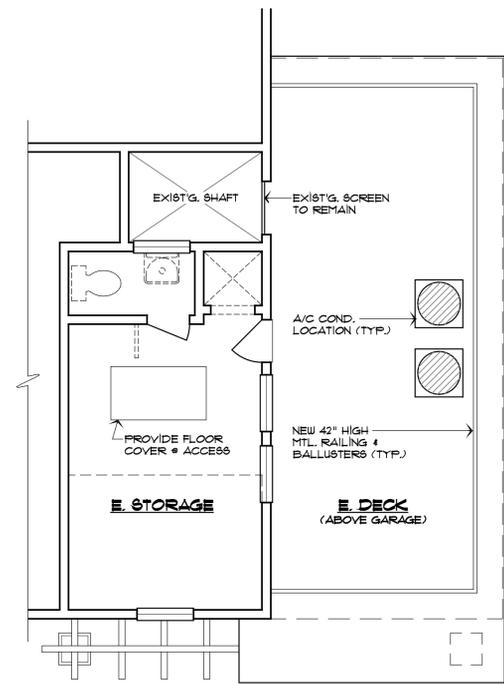
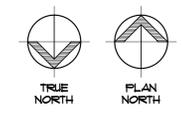
18 M. CLOSET LOOK'G EAST
SCALE: 3/8" = 1'-0"

19 M. CLOSET LOOK'G SOUTH
SCALE: 3/8" = 1'-0"

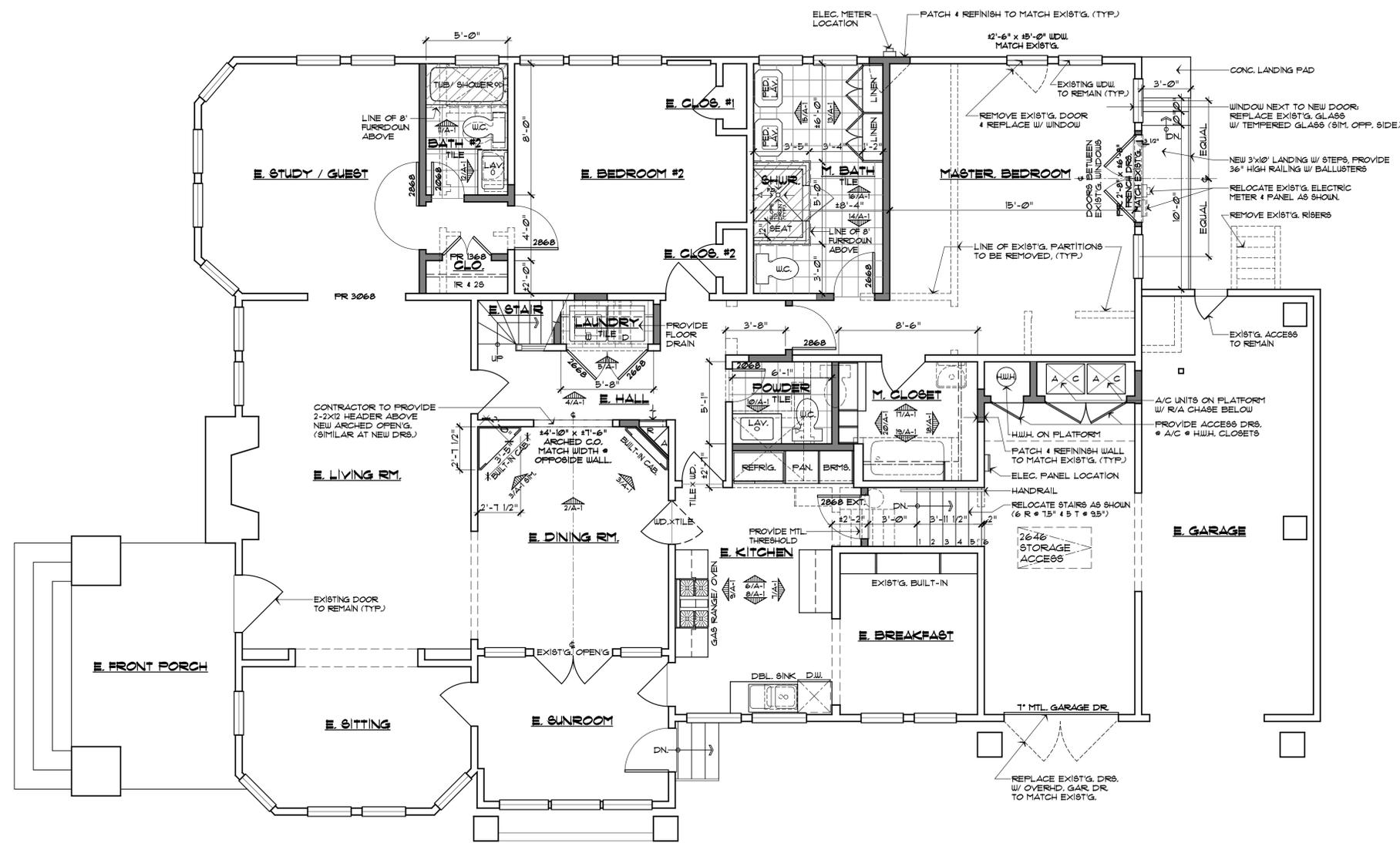
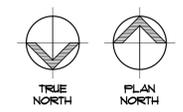
20 M. CLOSET LOOK'G WEST
SCALE: 3/8" = 1'-0"



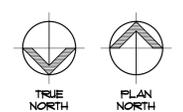
2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 PARTIAL FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



LEGEND	
	NEW WALLS
	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE REMOVED

CONSTRUCTION NOTES:

1. CONTRACTOR SHALL VERIFY EXIST. CONDITIONS, DIMENSIONS, ETC. AND NOTIFY DESIGNER IF ANY DISCREPANCIES OCCUR.
2. CONTRACTOR TO PROTECT ALL FLOORS NOT AFFECTED BY NEW WORK AND SEAL OFF AREAS NOT NECESSARY TO AVOID DAMAGES. NOTE: VERIFY W/ OWNER PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO PROTECT EXTERIOR WINDOWS, EXISTING GARAGE AND DRIVEWAY AS NECESSARY.
4. CONTRACTOR TO VERIFY WATER PRESSURE FOR NEW MASTER BATHROOM, POWDER & BATH #2 FIXTURES TO BE ADEQUATE PRIOR TO CONSTRUCTION.
5. CONTRACTOR TO COORDINATE ANY MECHANICAL ALTERATIONS AND/OR MODIFICATIONS TO HVAC W/ OWNER PRIOR TO CONSTRUCTION.
6. CONTRACTOR TO PROVIDE SOLID BLOCKING AT FOLLOWING AREAS: SHOWER GLASS PARTITIONS VERTICAL MOUNTING CHANNELS, WALL MOUNTED T.V., ETC.
7. CONTRACTOR SHALL PATCH & REFINISH TO MATCH EXISTING AT ALL AREAS AFFECTED BY NEW WORK.
8. CONTRACTOR TO MATCH EXISTING CASING TRIM DETAIL, CEILING MOULDING & BASE TRIM.
9. PROVIDE LOUVERED VENTILATION AT LOWER PANELS OF LAUNDRY DOORS, PROVIDE SAMPLE.
10. CONTRACTOR TO COORDINATE W/ OWNER REMOVAL OF EXISTING FABRIC & WAINSCOT.
11. CONTRACTOR TO VERIFY W/ OWNER ITEMS TO BE SALVAGED PRIOR TO DEMOLITION.
12. CONTRACTOR TO VERIFY W/ OWNER THE EXTEND OF ALTERATIONS TO EXTERIOR.
13. CONTRACTOR TO MATCH DECOR. DETAILS AT NEW GARAGE DOOR TO MATCH EXISTING, VERIFY W/ OWNER PRIOR TO CONSTRUCTION.

MBC
DESIGN ASSOCIATES

10326 RAYBROOK LANE
HOUSTON, TEXAS

ISSUED FOR:
BIDS & PERMIT 8/28/15

FLOOR PLANS

3702 AUDUBON PLACE
HOUSTON, TEXAS 77006

GRANBERRY / PETERSEN
REMODELING

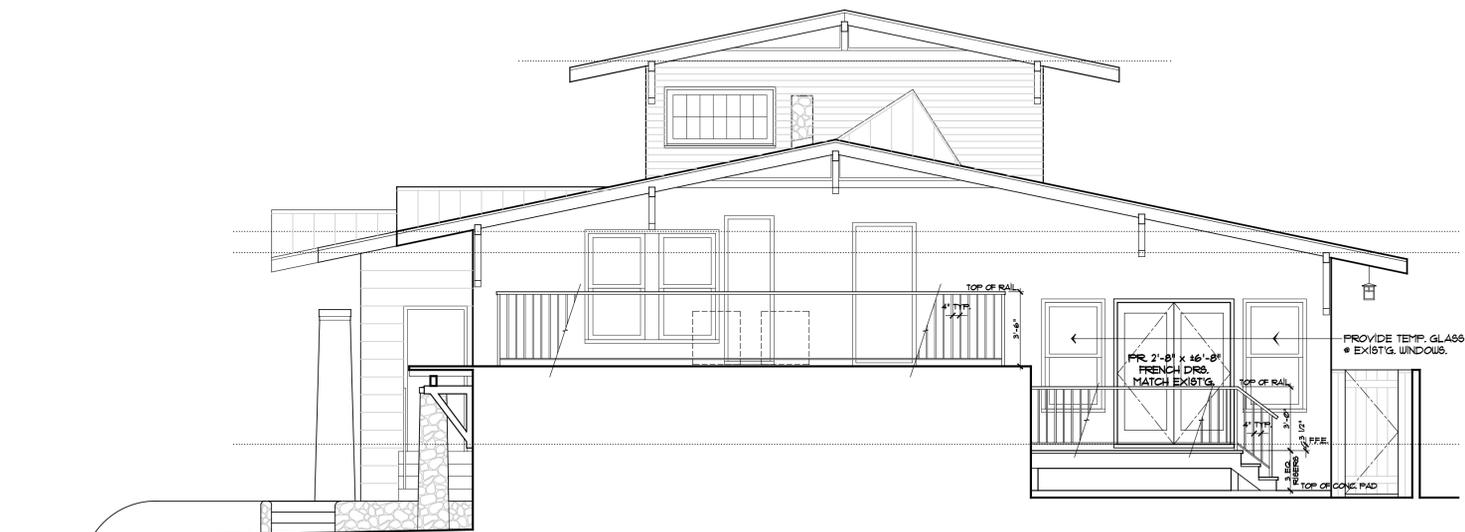
SCALE: 1/4" = 1'-0"

DRAWING NO.

A-2



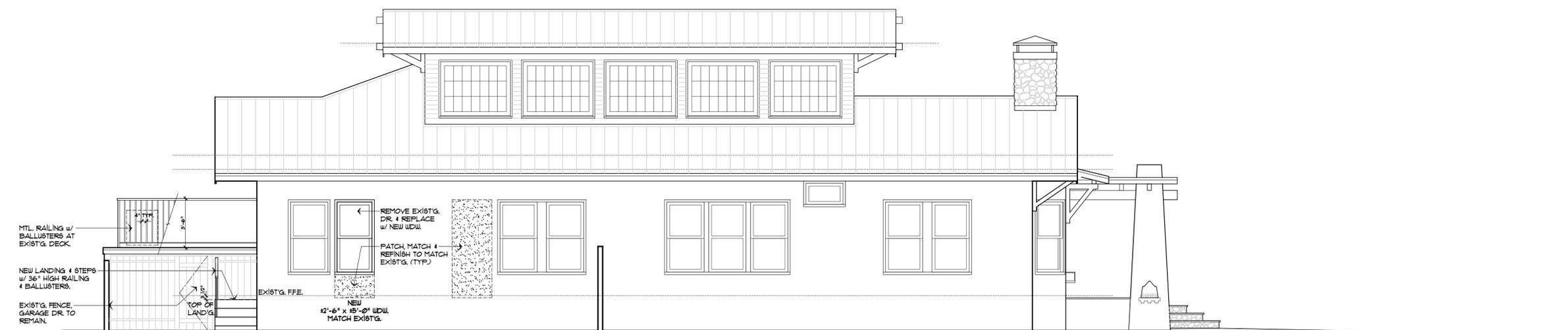
1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
SCALE: 1/4" = 1'-0"



4 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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EXTERIOR
ELEVATIONS

3702 AUDUBON PLACE
HOUSTON, TEXAS 77006

GRANBERRY / PETERSEN
REMODELING

SCALE: 1/4" = 1'-0"
DRAWING NO.

A-3

































