

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



**PLANNING &
DEVELOPMENT
DEPARTMENT**

PROPERTY

Address A15 East 9th Street, Houston, Tx 77007 (77007)

Historic District / landmark Houston Heights

Subdivision Houston Heights

HCAD # EAST 5 Block 227
 Lot of lots 13, 14

DESIGNATION TYPE

- Landmark
- Protected Landmark
- Archaeological Site
- Contributing
- Noncontributing
- Vacant

PROPOSED ACTION

- Alteration or Addition
- Restoration
- New Construction
- Relocation
- Demolition
- Excavation

DOCUMENTS

Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name BEN DONKPYL & DONA GH RYAN
 Company _____
 Mailing Address 415 EAST 9TH ST.
77007 HOUSTON, TX.
 Phone 802.368.4076

APPLICANT (if other than owner)

Name _____
 Company _____
 Mailing Address _____
 Phone _____
 Email _____
 Signature _____
 Date _____

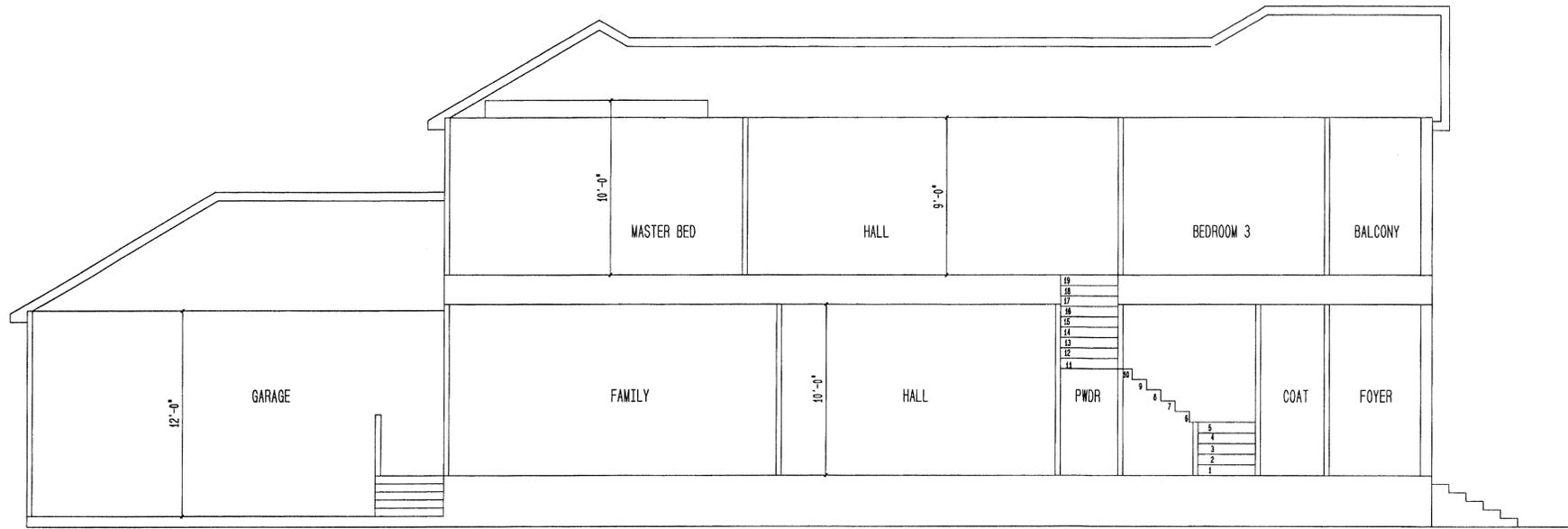
ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HIAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

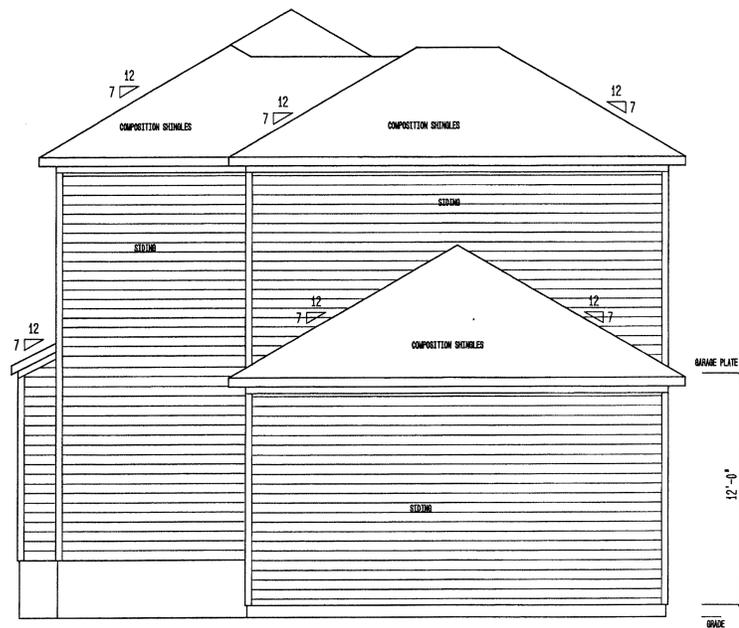


CROSS SECTION

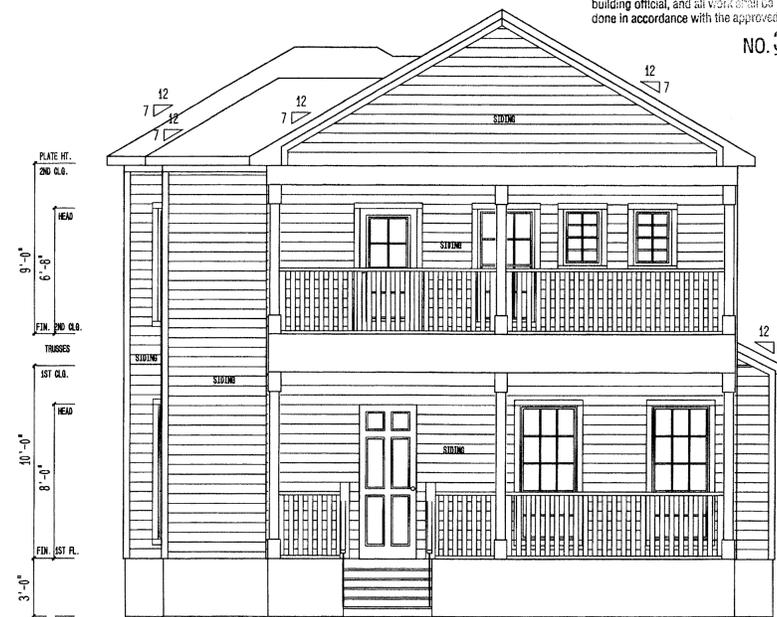
APPROVED
 FOR BUILDING PERMIT ONLY
 CITY OF HOUSTON
 CODE ENFORCEMENT DIVISION

The owner is responsible for compliance with the Building Code. Such approved plans and specifications shall not be changed, modified or altered without authorization from the building official, and all work shall be done in accordance with the approved plans.

NO. 378



REAR ELEVATION



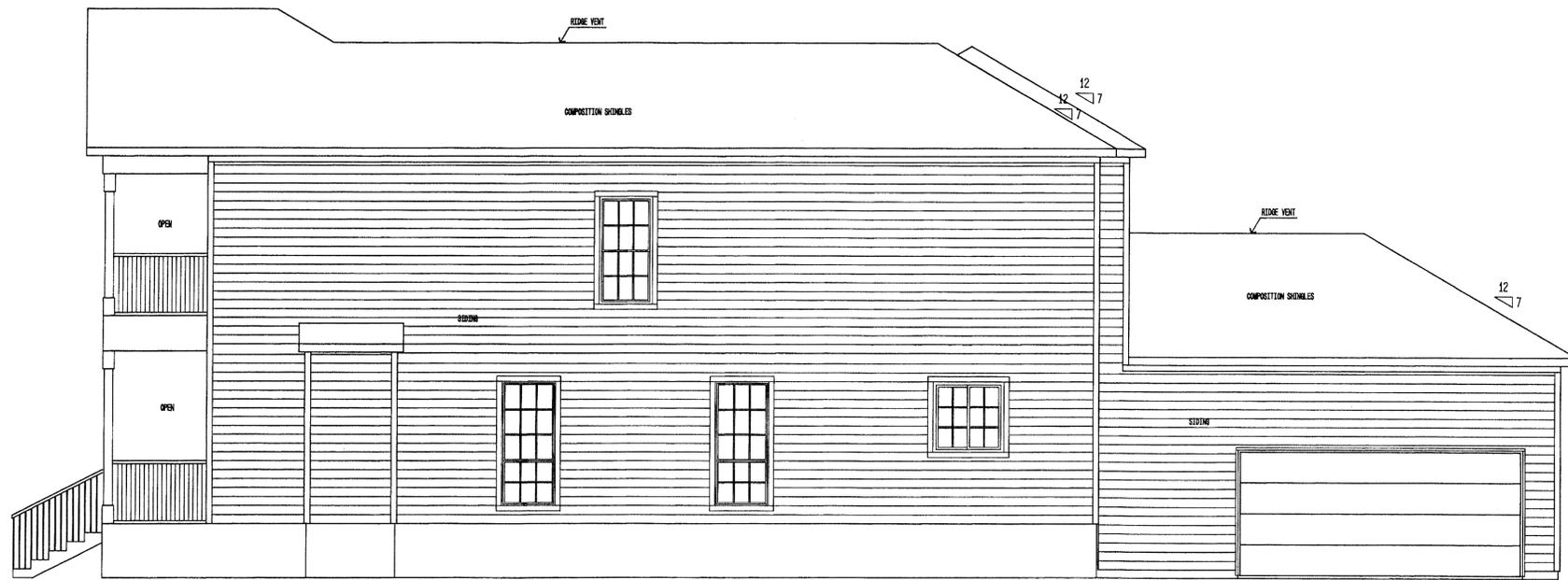
FRONT ELEVATION

REV 1	REV 2	REV 3	REV 4	REV 5	REV 6	REV 7

ORIGINAL DATE: APR. 02, 03
 REVISION DATE:
 DRAWN: SCALE: 1/4" = 1'-0"
 ALLEGRO BUILDERS

300 E. 9TH
 FRONT, REAR ELEVATION AND CROSS SECTION

SHEET
 A2.1
 OF SHEETS



RIGHT ELEVATION

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NO. 378



LEFT ELEVATION

ORIGINAL DATE:	REV. NO. 03	REV.1:
REVISION DATE:		REV.2:
DRAWN:		REV.3:
SCALE:		REV.4:
		REV.5:
		REV.6:
		REV.7:

1/4" = 1'-0"

ALLEGRO BUILDERS

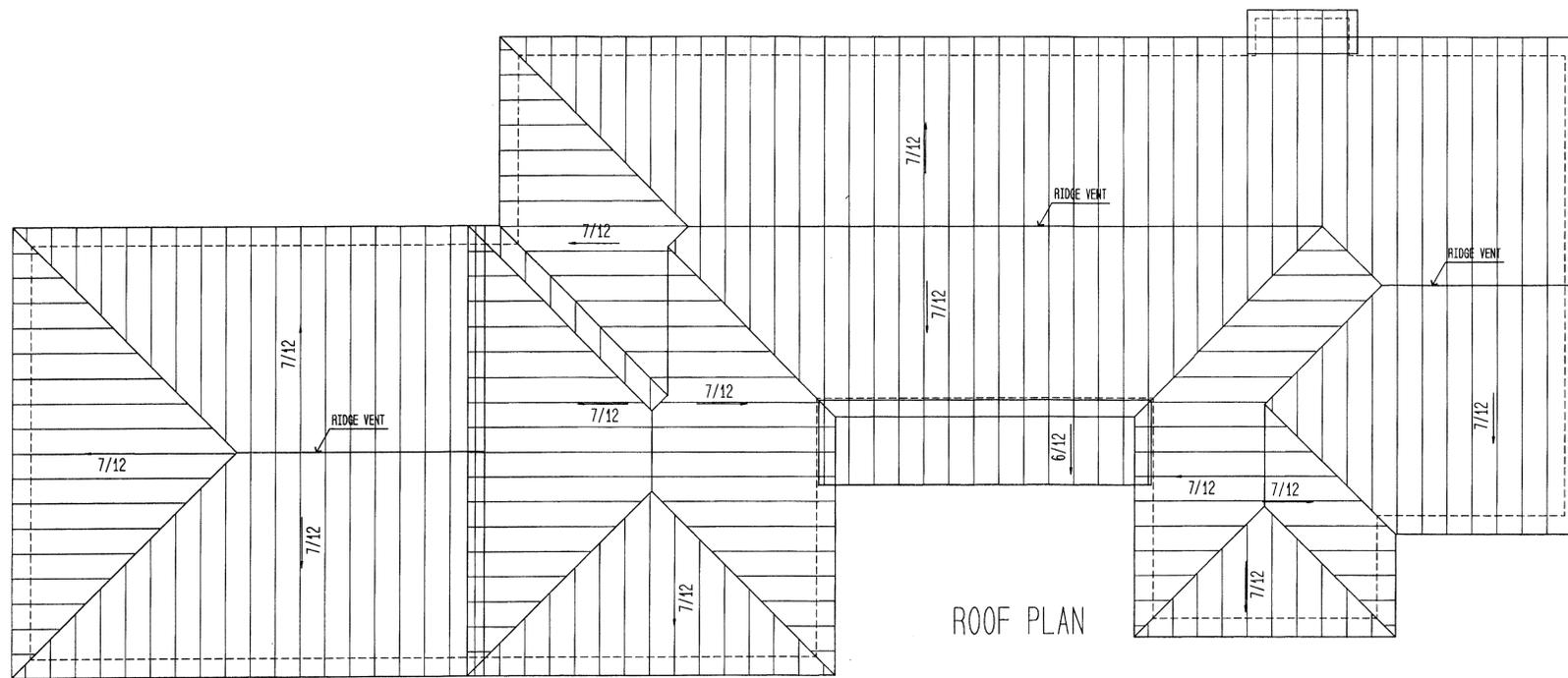
300 E. 9TH

LEFT AND RIGHT ELEVATION

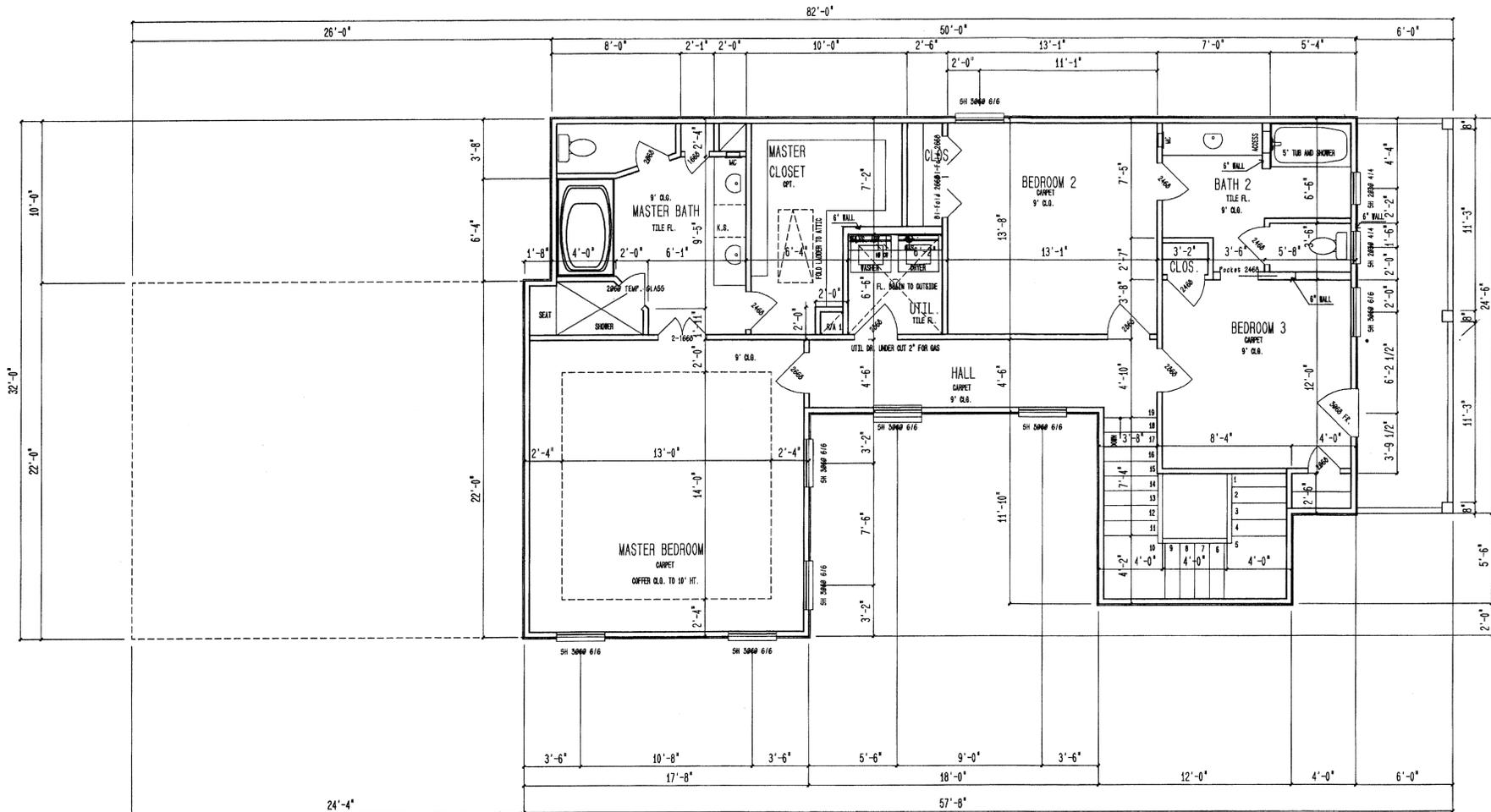
SHEET

A2.2

OF SHEETS



ROOF PLAN



SECOND FLOOR PLAN

APPROVED
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NO. 378

ORIG. DATE:	APR. 02, 03	REV. 1:
REVISION DATE:		REV. 2:
DRAWN:		REV. 3:
SCALE:		REV. 4:
		REV. 5:
		REV. 6:
		REV. 7:

1/4" = 1'-0"

ALLEGRO BUILDERS

300 E. 9TH
 SECOND FLOOR AND ROOF PLAN

SHEET
 A1.2
 OF SHEETS

9098

11

2

PROJECT DESCRIPTION

RESIDENTIAL REMODEL AND ADDITION FOR BENJAMIN DOCKRILL AND DONAGH REYN
415 EAST 9TH STREET
HOUSTON, TX 77007

LEGAL DESCRIPTION

SEE ATTACHED LAND SURVEY

15' PUBLIC ALLEY

SOUTH 100.00'

FND 1/2" I.P.
(B)

FND 1/2" I.P.
(S20°55'49"E 0.52')

EXT. CONCRETE DRIVEWAY

EXT. CONCRETE WALKWAY

EAST 66.00'

WEST 66.00'

LOT 15

GENERAL NOTES

- 01. ANY INDICATION OF LANDSCAPE ELEMENTS ON THIS SHEET IS DIAGRAMMATIC AND SHOULD ONLY BE USED FOR PLANNING PURPOSES.
- 02. PLUMBING VENTS ARE TO BE GANGED WHERE POSSIBLE AND LOCATED OUT OF VIEW FROM DU BARRY DRIVE. CONTACT DESIGNER FOR APPROVAL OF ALL ROOF PENETRATION LOCATIONS PRIOR TO INSTALLATION.
- 03. ALL WATER HEATER AND FURNACE FLUES SHALL BE LOCATED OUT OF VIEW WATSON STREET. CONTACT DESIGNER FOR APPROVAL OF ALL ROOF PENETRATION LOCATIONS PRIOR TO INSTALLATION.
- 04. THE CONTRACTOR IS TO FIELD VERIFY ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF WORK TO VERIFY ACCURACY OF ALL RELATED CONSTRUCTION MATERIALS AND REPORT ANY DISCREPANCIES TO THE DESIGNER AND OWNER.
- 05. THE CONTRACTOR IS TO FIELD VERIFY ALL UTILITY LOCATIONS PRIOR TO COMMENCEMENT OF WORK TO ENSURE EFFICIENT RELOCATION, IF NEEDED, AND RECONNECTION.

KEYED NOTES

- 01. AREA OF EXISTING PRIMARY STRUCTURE
- 02. AREA OF NEW SECOND FLOOR ADDITION
- 03. AREA OF EXISTING 2-STORY GARAGE
- 04. NEW 6' FENCE AT THIS LOCATION
- 05. NEW OPERABLE GATE MOTOR AND PAD/PROVIDE POWER TO THIS LOCATION
- 06. NEW OPERABLE GATE ON TRUCK
- 07. EXISTING ELECTRICAL PANEL AND WEATHER HEAD AT THIS LOCATION
- 08. NEW A/C COMPRESSORS ON CONCRETE PADS AT THIS LOCATION
- 09. NEW CONCRETE DRIVEWAY AT THIS LOCATION
- 10. NEW CONCRETE WALKWAY AT THIS LOCATION
- 11. DASHED LINE INDICATES EXTENTS OF BRICK PATIO BELOW

INDEX OF DRAWINGS

- A0.0 SITE PLAN
- A1.0 DEMO PLAN
- A2.0 SCHEDULES
- A2.1 FIRST FLOOR PLAN
- A2.2 SECOND FLOOR PLAN
- A2.3 ROOF PLAN
- A3.1 EXTERIOR ELEVATIONS
- A4.1 BUILDING SECTIONS
- A4.2 INTERIOR ELEVATIONS
- A7.0 DOORS AND WINDOWS
- E2.0 FIRST FLOOR ELECTRICAL PLAN
- E2.1 SECOND FLOOR ELECTRICAL PLAN
- S1.0 FOUNDATION PLAN
- S2.0 FIRST FLOOR FRAMING PLAN
- S3.0 SECOND FLOOR CEILING FRAMING PLAN
- S4.0 FOUNDATION DETAILS
- S5.0 FRAMING DETAILS
- S6.0 FRAMING DETAILS

01 SITE PLAN
SCALE: 1/4" = 1'-0"



SET 1/2" IR W/CAP
MARKED "SURVEY 1"

LOT 14

50.00'

NORTH 100.00'

50.00'

21' B.L.
W658292

LOT 13

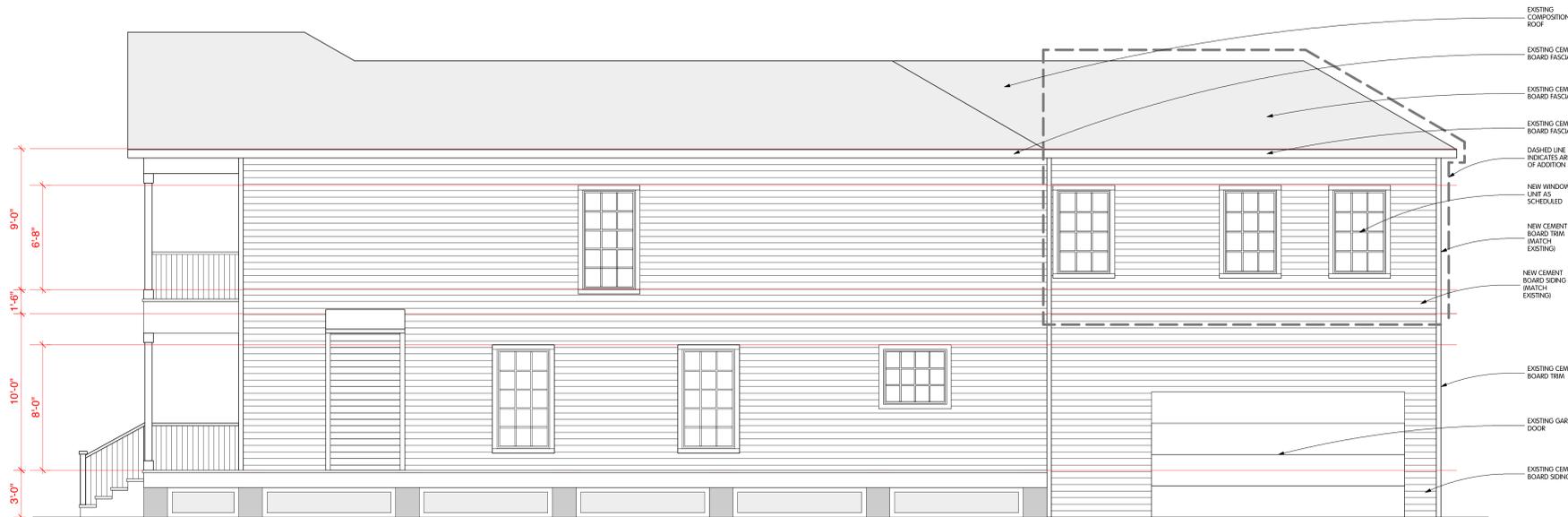
FND 1/2" I.P.
(A)

66.00'

ISSUES
ISSUED FOR PERMIT/BID
XX DATE 20XX

415 EAST 9TH
RESIDENTIAL
REMODEL

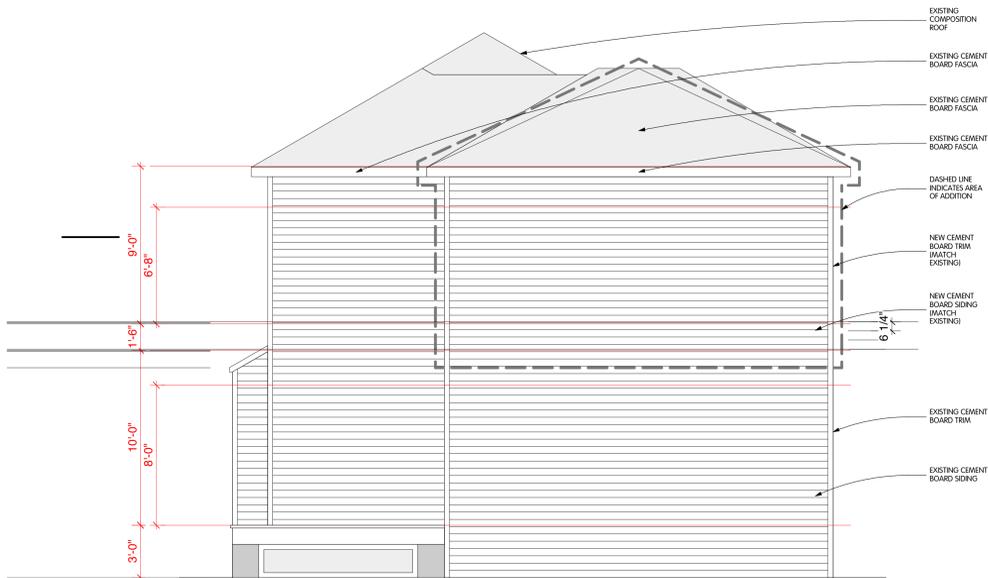
A1.1



23 EAST ELEVATION- SIDE
SCALE: 1/4" = 1'-0"



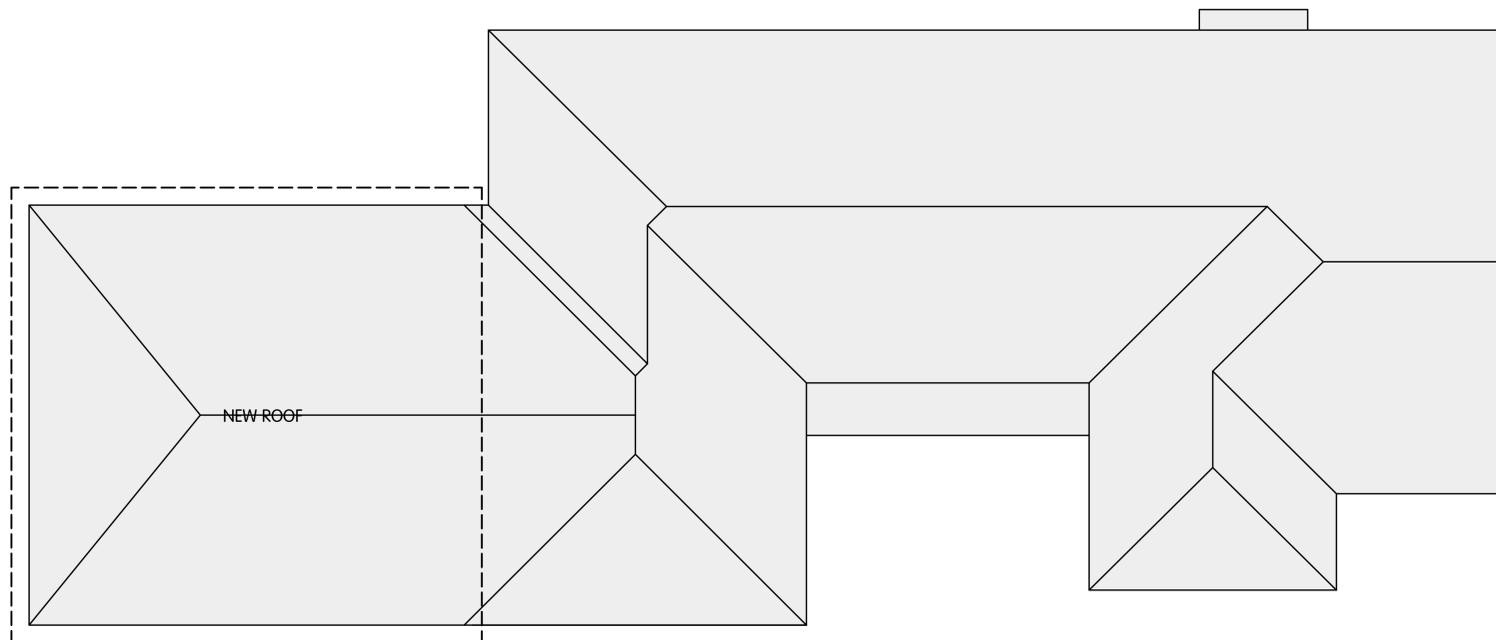
07 SOUTH ELEVATION- FRONT
SCALE: 1/4" = 1'-0"



21 NORTH ELEVATION- REAR
SCALE: 1/4" = 1'-0"



05 WEST ELEVATION- SIDE
SCALE: 1/4" = 1'-0"



AREA CALCULATIONS:

INTERIOR SPACE	
FIRST FLOOR	1363 SQ. FT.
SECOND FLOOR	1243 SQ. FT.
NEW SECOND FLOOR ADDITION	535 SQ. FT.
SECOND FLOOR	3141 SQ. FT.

EXTERIOR SPACE	
GARAGE	545 SQ. FT.
FRONT PORCH	147 SQ. FT.
FRONT BALCONY	147 SQ. FT.
SIDE DECK	

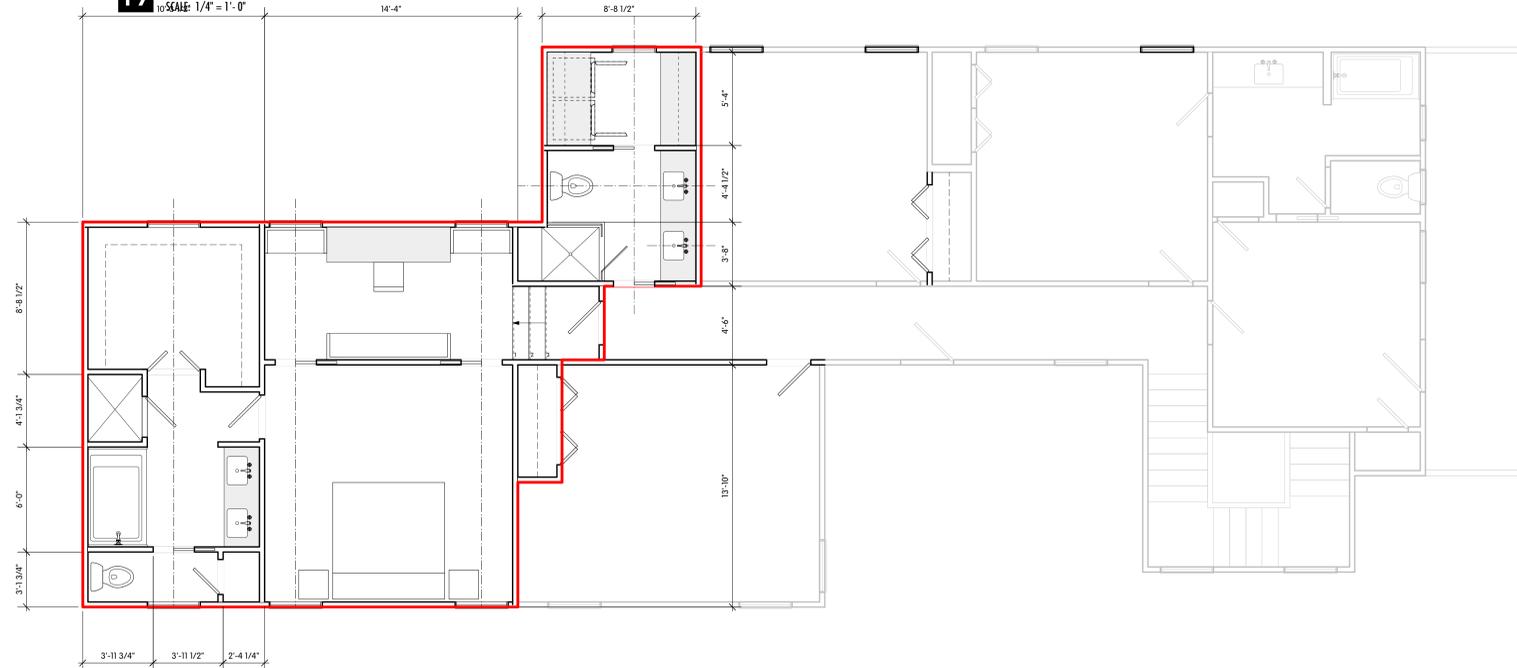
TOTAL BUILT

GENERAL NOTES:

01. ALL NEW WALLS SHOWN IN PLAN ARE TO BE 2" X 4" WOOD STUDS AT 16" O.C. UNLESS SHOWN SHADED OR OTHERWISE NOTED.
02. ALL AREAS ARE CALCULATED TO OUTSIDE FACE OF STUD WALL.
03. INTERIOR WALL FINISH SHALL BE PAINTED 5/8" TYPE "X" GYP. BOARD UNLESS OTHERWISE NOTED.
04. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. IF DIMENSIONAL CLARIFICATION IS REQUIRED, CONSULT DESIGNER. **DO NOT SCALE DRAWINGS.**
05. ALL FLOOR HEIGHTS CALLED OUT IN PLAN ARE TO TOP OF FINISH FLOOR. SEE FINISH SCHEDULES FOR FLOOR MATERIALS AND SECTIONS FOR MATERIAL THICKNESS. ALL FLOOR HEIGHTS ARE RELATIVE TO TOP OF SLAB (0'-0" REF. ELEV.).
06. PRECISE LOCATION OF ALL SWITCHES, PLUGS, JACKS, LIGHTING, PLUMBING FIXTURES, ARE GRILLS, ETC. IS ABSOLUTELY CRITICAL. COORDINATION BETWEEN ARCHITECTURAL SHEETS AND STRUCTURAL SHEETS IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. DIMENSIONS AND SPACING ON THE STRUCTURAL SHEETS ARE GENERAL RECOMMENDATIONS AND SHALL BE ADJUSTED TO ACHIEVE ARCHITECTURAL INTENT.
07. ALL ELECTRICAL, GAS, AND WATER SUPPLIES FOR ALL EQUIPMENT AND FIXTURES SHALL BE LOCATED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS UNLESS OTHERWISE NOTED. CONTRACTOR TO VERIFY AL SIZE OF OWNER PROVIDED EQUIPMENT AND APPLIANCES.
08. MECHANICAL SYSTEMS TO BE 14 SEER UNITS WITH NATURAL GAS FRIED FURNACE.
09. PLUMBING VENTS ARE TO BE GANGED WHERE POSSIBLE AND LOCATED OUT OF VIEW FROM ADJACENT ROAD. CONTACT DESIGNER FOR APPROVAL OF ALL ROOF PENETRATION LOCATIONS PRIOR TO INSTALLATION.
10. ALL FLOOR MATERIAL TRANSITIONS SHALL OCCUR UNDER THE CENTERLINE OF DOORS UNLESS OTHERWISE NOTED.
11. VERIFY FINAL LOCATION OF ALL FLUES AND JACKS WITH THE DESIGNER PRIOR TO INSTALLATION.
12. WATER HEATER SHALL BE ELECTRIC WATER TANK MODEL LOCATED IN GARAGE REPLACING EXISTING. ENSURE PROPER SIZE, CLEARANCES AND VENTILATION PER TO COH-BUILDING CODE.
13. ALL HOSE BIBS, THE BRIGATION SYSTEM SHALL BE PLUMBED TO A NON-DOMESTIC USE WATER METER.
14. COORDINATE LOCATION OF ALL UTILITY RELATED ITEMS: ELECTRIC METER, GAS METER, TELEPHONE, CABLE & SATELLITE TELEVISION, IRRIGATION CONTROLS, ETC. WITH THE DESIGNER IN THE FIELD.
15. PROVIDE 3/4" PLYWOOD DECKING OVER ALL ACCESSIBLE ATIC SPACE.
16. PROVIDE SOUND BATT INSULATION IN ALL INTERIOR WALLS, FLOORS, CEILING OF ALL BEDROOMS AND BATHROOMS.
17. ALL APPLIANCES, EQUIPMENT, AND PLUMBING FIXTURES DIMENSIONS TO BE VERIFIED PRIOR TO INSTALLATION TO INSURE PROPER SIZE AND FIT.
18. ALL NEW SIDING TO MATCH EXISTING GARAGE SIDING IN FINISH, EXPOSURE, AND COURSING.

19 ROOF PLAN

SCALE: 1/4" = 1'-0"



KEYED NOTES:

01. EXTENTS OF FIRST FLOOR ROOF EDGE
02. DASHED LINE INDICATES VERTICAL WALL PLANE OF FIRST FLOOR
03. EXTENTS OF SECOND FLOOR ROOF EDGE
04. DASHED LINE INDICATES VERTICAL WALL PLANE OF SECOND FLOOR
05. DASHED LINE INDICATES OPEN PORCH STRUCTURES BELOW
06. COMPOSITION SHINGLE ROOF
07. INTEGRATED ROOF VENTILATION SYSTEM
08. COMPOSITION SHINGLE ROOF (PROVIDE ALTERNATE PRICING FOR STANDING SEAM METAL ROOF SYSTEM)
09. DASHED LINE INDICATES REAR PORCH STRUCTURES BELOW
10. GABLED ROOF TRANSITION
11. HOUR FIRE RATED TYPE "X" GYPSUM BOARD SHALL HEIGHT BOTTOM OF UPPER ROOF DECK) AT THIS LOCATION
12. HOUR FIRE RATED METAL EXTERIOR DOOR W/SELF CLOSING HINGES
13. DASHED LINE INDICATES AREA OF NEW ADDITION
14. DASHED LINE INDICATES AREA OF EXISTING 2-STORY GARAGE STRUCTURE
15. PROVIDE WATER LINE AT THIS LOCATION
16. PROVIDE GAS LINE AT THIS LOCATION
17. PROVIDE CENTER EXHAUST VENT AT THIS LOCATION
18. PROVIDE CONCRETE PADS FOR A/C EQUIPMENT
19. PROVIDE RAIL DOWN ATIC ACCESS DOOR WITH A CLEAR OPENING NOT LESS THAN 22 INCHES IN WIDTH AND A LOAD CAPACITY OF NOT LESS THAN 350 POUNDS
20. HANGBOARD GUARDRAIL TO BE 36" AT HIGHEST POINT OF RAIL WITH 250 LB. LOAD CAPACITY IN ANY DIRECTION
21. PROVIDE RECESSED SOAP DISH AT THIS LOCATION
22. PROVIDE RECESSED MIRROR CABINET AT THIS LOCATION
23. PROVIDE SIX LIGHT FIXTURES ALONG BOTTOM OF RIDGE BEAM IN ATIC AT THESE LOCATIONS
24. INSULATE AND SEAL ALL VERTICAL MECHANICAL CHASES
25. BRICK PATH AT THIS LOCATION
26. 3/4" TYPICAL AND GROOVE SUBSTRATE AT EXTERIOR EAVES, TRANSITION TO 3/4" PLYWOOD ABOVE CONDITIONED SPACE. TYPICAL TO ALL LOCATIONS
27. DASHED LINE INDICATES 54" DEEP UNDER STAIR OPEN STORAGE SHELVING (VERIFY EXTENTS AND DETAIL IN FIELD)
28. EXISTING HOTWATER HEATER TO REMAIN

PLAN KEYS:

- ROOM ROOM KEY
- (W1) WINDOW KEY
- (D1) DOOR KEY
- PF.00 PLUMBING FIXTURE KEY
- EQ.00 EQUIPMENT KEY
- (N1) NOTE KEY
- 0000.0 INTERIOR ELEVATION KEY
- 0000.0 SECTION KEY
- 0000.0 DETAIL KEY

01 SECOND FLOOR DEMO PLAN

SCALE: 1/4" = 1'-0"

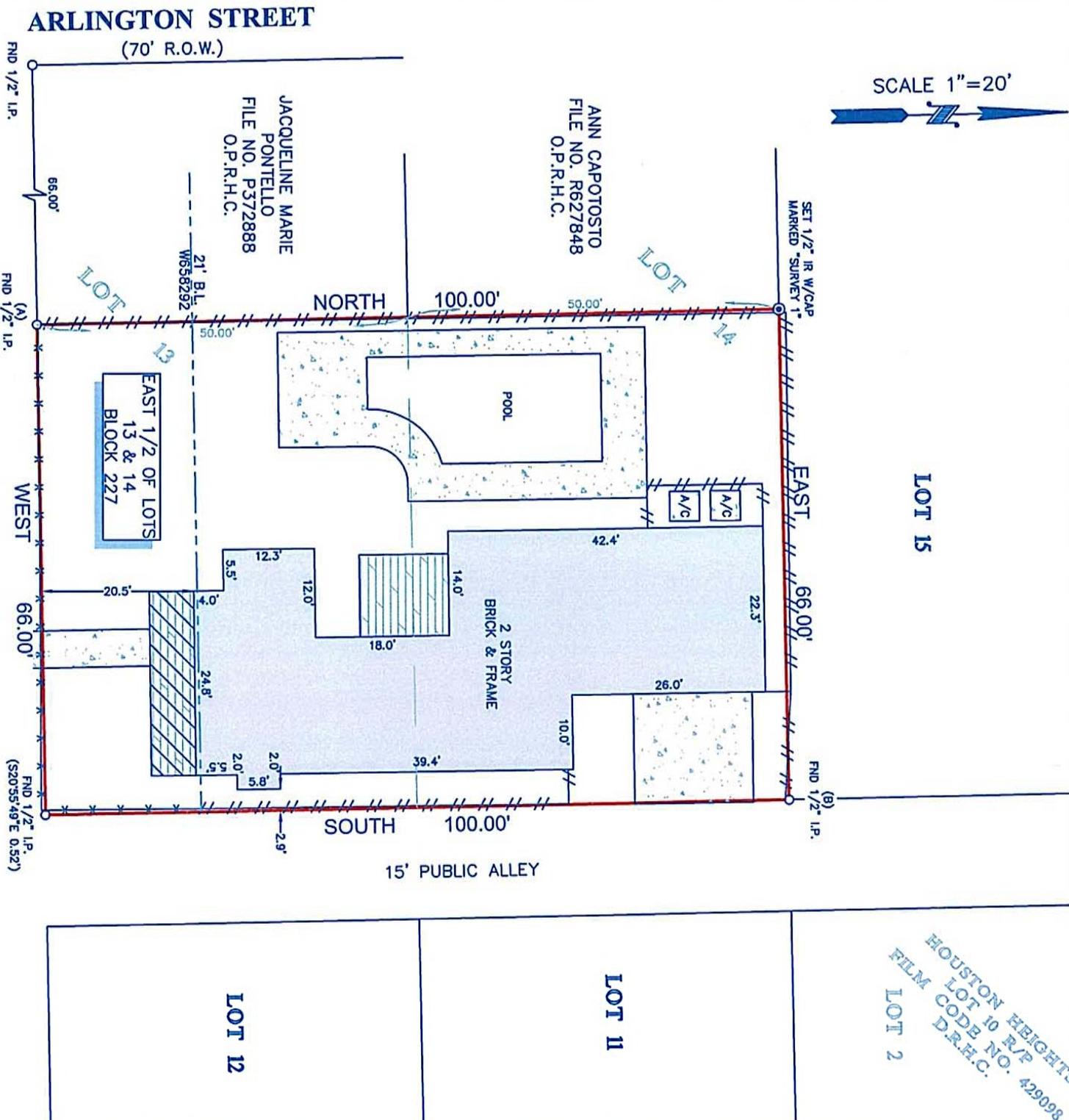


ISSUES
ISSUED FOR PERMIT/200
15 APRIL 2015

415 EAST 9TH
RESIDENTIAL
REMODEL

A2.2

SCALE 1"=20'



EAST 9TH STREET
(70' R.O.W.)

LEGEND

	CONCRETE
	COVERED AREA
	WOOD DECK
	B.L. = BUILDING LINE
	FENCE
	WOOD METAL

- NOTES:**
1. ALL BEARINGS SHOWN HEREON ARE AS ASSUMED. POINTS (A) AND (B) WERE HELD FOR HORIZONTAL CONTROL.
 2. ABSTRACT INFORMATION FOR THE SUBJECT TRACT WAS PROVIDED BY THE TITLE INSURANCE COMPANY LISTED ABOVE.
 3. THIS SURVEY IS CERTIFIED TO THE TITLE INSURANCE COMPANY LISTED ABOVE FOR THIS TRANSACTION ONLY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
 4. ALL EASEMENTS AND BUILDING LINES SHOWN ARE PER THE RECORDED PLAT UNLESS OTHERWISE NOTED.
 5. THERE ARE NO NATURAL DRAINAGE COURSES ON SUBJECT PROPERTY.
 6. SUBJECT TO THE RESTRICTIVE COVENANTS AS LISTED IN SCHEDULE B OF THE TITLE COMMITMENT ISSUED ON JULY 2, 2015, UNDER G.F. NO. 7685-15-1146.

LEGAL DESCRIPTION: THE EAST ONE-HALF OF LOT(S) 13 & 14, IN BLOCK 227, OF HOUSTON HEIGHTS, A SUBDIVISION IN HARRIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 1-A, PAGE 114 OF THE MAP RECORDS OF HARRIS COUNTY, TEXAS.

SURVEYORS CERTIFICATE: _____ CLIENT: _____

HOUSTON HEIGHTS
LOT 10 R/P
FILM CODE NO. 429098
LOT 2
D.R.H.C.