

CERTIFICATE OF APPROPRIATENESS ALTERATION & ADDITION CHECKLIST



PLANNING &
DEVELOPMENT
DEPARTMENT

Well in advance of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable items and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-241 for approval criteria for alteration, rehabilitation, restoration and additions.

PROPERTY ADDRESS: 420 East 20th Street, 77008 Houston, TX

BUILDING TYPE

- | | |
|---------------------------------------------------------|----------------------------------------------|
| <input type="checkbox"/> single-family residence | <input type="checkbox"/> garage |
| <input type="checkbox"/> multi-family residence | <input type="checkbox"/> carport |
| <input checked="" type="checkbox"/> commercial building | <input type="checkbox"/> accessory structure |
| <input type="checkbox"/> mixed use building | <input type="checkbox"/> other |
| <input type="checkbox"/> institutional building | |

ALTERATION TYPE

- | | |
|------------------------------------------------------|-------------------------------------------|
| <input type="checkbox"/> addition | <input checked="" type="checkbox"/> roof |
| <input type="checkbox"/> foundation | <input type="checkbox"/> awning or canopy |
| <input type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign |
| <input checked="" type="checkbox"/> windows or doors | <input type="checkbox"/> ramp or lift |
| <input type="checkbox"/> porch or balcony | <input type="checkbox"/> other |

WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work; plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new materials description; attach specification sheets if necessary

PHOTOGRAPHS label photos with description and location

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

DRAWINGS scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

- | | |
|-----------------------------------------------------------------------|----------------------------------------------------------------------|
| <input checked="" type="checkbox"/> current site plan | <input checked="" type="checkbox"/> demolition plan |
| <input checked="" type="checkbox"/> proposed site plan | <input type="checkbox"/> current roof plan |
| <input checked="" type="checkbox"/> current floor plans | <input type="checkbox"/> proposed roof plan |
| <input checked="" type="checkbox"/> proposed floor plans | <input checked="" type="checkbox"/> current elevations (all sides) |
| <input checked="" type="checkbox"/> current window and door schedule | <input checked="" type="checkbox"/> proposed elevations (all sides) |
| <input checked="" type="checkbox"/> proposed window and door schedule | <input checked="" type="checkbox"/> perspective and/or line of sight |

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



PLANNING &
DEVELOPMENT
DEPARTMENT

PROPERTY

Address 420 East 20th Street, 77008 Houston, TX

Historic District / Landmark Houston Heights Historic District East

HCAD # 0201030000001

Subdivision Houston Heights

Lot 1 & 2 & TR 3A Block 107

DESIGNATION TYPE

- Landmark
 Protected Landmark
 Archaeological Site
 Contributing
 Noncontributing
 Vacant

PROPOSED ACTION

- Alteration or Addition
 Restoration
 New Construction
 Relocation
 Demolition
 Excavation

DOCUMENTS

- Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name Steve A. Radom

Company Radom Capital LLC

Mailing Address 1245 West 18th Street, 77008 Houston, TX

Phone (713)783-4444

Email [REDACTED]

Signature

Date 09/29/2015

APPLICANT (if other than owner)

Name Troy Schaum

Company Schaum Shieh

Mailing Address 1412 West Alabama, 77006 Houston, TX

Phone (917)294-2521

Email [REDACTED]

Signature

Date 09/29/2015

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____ Application received: ___ / ___ / ___ Application complete: ___ / ___ / ___

CERTIFICATE OF APPROPRIATENESS ALTERATION & ADDITON CHECKLIST



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SCH
SH /

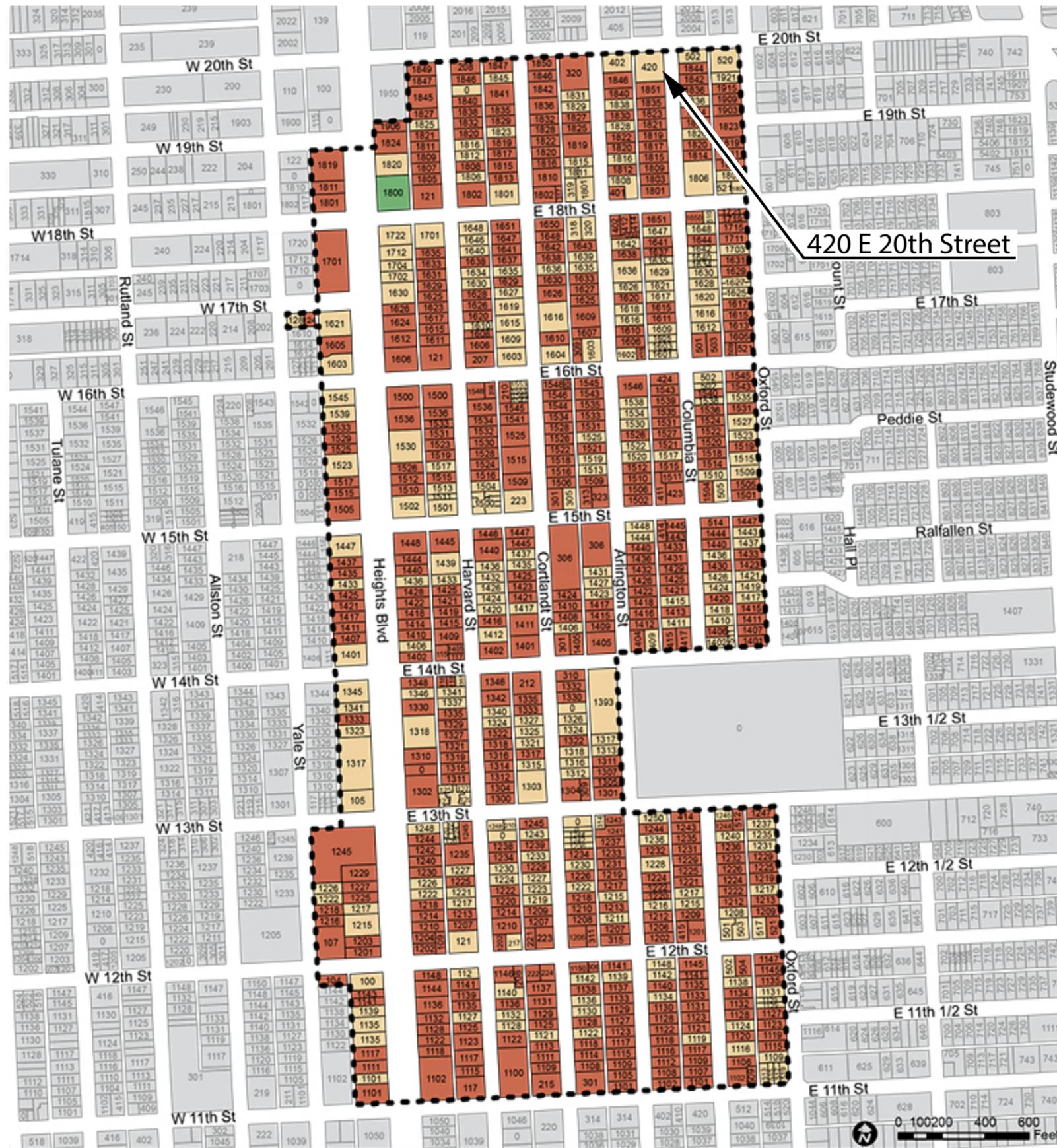
420 EAST 20TH STREET
CERTIFICATE OF APPROPRIATENESS APPLICATION

WRITTEN DESCRIPTION

HOUSTON HEIGHTS EAST HISTORIC DISTRICT

BUILDING CLASSIFICATION

- Contributing
- Non-Contributing
- Park
- Historic District Boundary



PROPERTY DESCRIPTION

420 E 20th Street, Lot 1 & 2 and Tract 3A, Block 107, Houston Heights Subdivision. The property includes a noncontributing 5,200 square foot brick clad one-story commercial storefront structure situated on a 17,820 square foot (132' x 135') corner lot.

The noncontributing commercial storefront structure was constructed circa 1955.

PROPOSED WORK

The work consists of minor repairs, restoration and modifications to the property keeping with the intent of the historical architecture. No additions are being made.

Front Elevation (North): The existing brick clad commercial storefront building is comprised of six bays. Each bay is delineated by a brick pier of varying widths. Some of the piers feature decorative brickwork. All of the bays feature glass storefront systems with the exception of the westernmost bay, which features a door and a fixed window but no storefront windows. A shed roof and canopy extend over the front and east portion of the building.

The existing storefronts will be removed and replaced with new storefront that match the existing design. The westernmost bay will be opened where the existing door is located and a new 7foot diameter circular window will be incorporated to the facade. The existing columns will be maintained, removing only the thin steel decorative arch between columns. The existing signage will be replaced with new tenant signage and parking bollards will be repaired and wrapped with new veneers as shown in the enclosed renderings.

- **Side Elevation (East):** The existing east elevation consist of two bays. The southern bay features a brick wall with two vertical strips of decorative brickwork. The northern bay features a storefront. The existing storefronts will be removed and replaced with new storefronts that match the existing design.

- **Side Elevation (West):** The west elevation features a solid stucco wall with no fenestration. The existing stucco wall will be repaired and prepped for painting. 6 new circular windows will be added to the facade.

- **Rear elevation (South):** The rear elevation of the building is not visible from the public Right-of-Way. The existing stucco wall will be repaired and prepped for painting. No new openings to be done in this facade. Gutters and Downspouts will be repaired or replaced as needed.

- **Shape/Mass:** The existing storefront commercial building has a maximum width of 130'-0 3/4" and a maximum depth of 40'-0 1/4". The existing structure has a maximum height of 13'-4 1/4". The proposed alteration will not change the existing footprint of the structure. A shed canopy extends 6'-0" over the front of the building and 4' along the 31' of the east elevation. See drawings for more detail.

- **Setbacks:** The existing structure has front (north) setback of 65'-6"; a west side setback of 6 1/2"; and east side setback of 1'-4 1/4"; and a rear setback of 29'-3 3/4". The existing setbacks will not be altered,

- **Windows/Doors:** The existing commercial building has a metal and glass storefront system. The existing storefront system will be removed and replaced with a new metal and glass part storefront system similar to existing. The proposed system will feature a 6'-4" tall bottom window and a 2'-10" tall top window. The proposed 4 new entrance doors will be 7'-0" tall by 3'-0" wide and will be constructed from aluminum and glass. The circular windows will also be constructed from aluminum and glass.

- **Roof:** The existing roof will be retained and repaired if necessary. A new TPO roof will be installed, which will be unseen from the street.

- **Materials:** The existing commercial storefront building is clad in brick featuring a stacked configuration. Portions of the building feature decorative brickwork on the piers between the bays as well as the east wall (facing Columbia Street). The rest of the building features a metal and glass storefront. The area above the storefronts is currently covered in plywood panels. The north and west elevations feature stucco walls.

The existing brick cladding will be retained along with the decorative brickwork. The storefronts will be replaced with new metal and glass storefronts. The plywood above the storefronts will be replaced with mirror panels. The stucco walls of the north and west elevations will be repaired. The existing decorative columns in the Front Elevation will remain and be painted.

PHOTOGRAPHS















DRAWINGS













SCALE: 1" = 20'

ALL OF LOTS 1 & 2
AND ADJOINING
NORTH HALF OF LOT 3
BLOCK 107
HOUSTON HEIGHTS SUBDIVISION
HARRIS COUNTY, TEXAS

SURVEY OF PROPERTY
LOCATED AT 420 E 20th STREET, HOUSTON, TEXAS.

SURVEY OF LOTS 1 AND TWO AND ADJOINING NORTH ONE HALF (N 1/2) OF LOT THREE, IN BLOCK 107, OF HOUSTON HEIGHTS SUBDIVISION, A SUBDIVISION IN HARRIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOL. 1, PG. 114, OF THE MAP RECORDS OF HARRIS COUNTY, TEXAS.

THE UNDERSIGNED DOES HEREBY CERTIFY THAT THIS SURVEY WAS THIS DAY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON AND IS CORRECT AND THAT THERE ARE NO DISCREPANCIES, CONFLICTS, OR SHORTAGES IN AREA OR BOUNDARY LINES OR ANY ENCROACHMENTS OR ANY OVERLAPPING OF IMPROVEMENTS OR ANY EASEMENTS OR RIGHTS-OF-WAY, EXCEPT AS SHOWN HEREON AND THAT SAID PROPERTY HAS ACCESS TO AND FROM A DEDICATED ROADWAY.

DATED THIS THE 12th DAY OF OCTOBER, 2014.

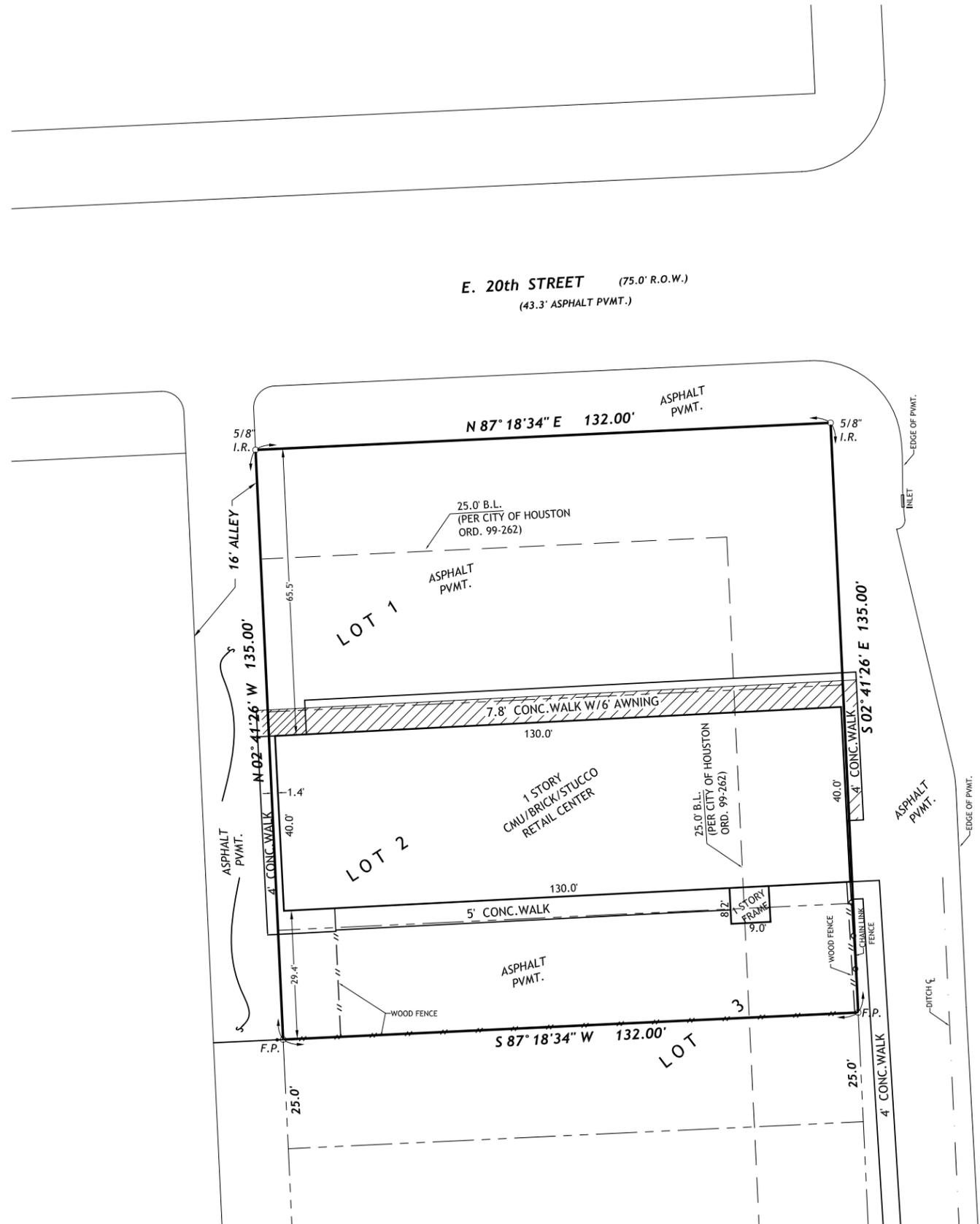
PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PRONE AREA (LIE WITHIN ZONE X) AS PER THE MAP BY FEDERAL EMERGENCY MANAGEMENT AGENCY FOR FOR HARRIS COUNTY, TEXAS, COMUNITY PANEL NO 48201 C 0670 M, REVISED JUNE 9, 2014.

BY: 
HOUTAN JALAYER, P.E., R.P.L.S.
REGISTERED PROFESSIONAL LAND SURVEYOR
REGISTRATION NO. 2400



GENERAL NOTES:

1. THIS SURVEYOR HAS NOT ABSTRACTED SUBJECT PROPERTY.
2. FLOOD DETERMINATION BASED ONLY ON VISUAL EXAMINATION OF MAPS PROVIDED BY FEMA.
3. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT.

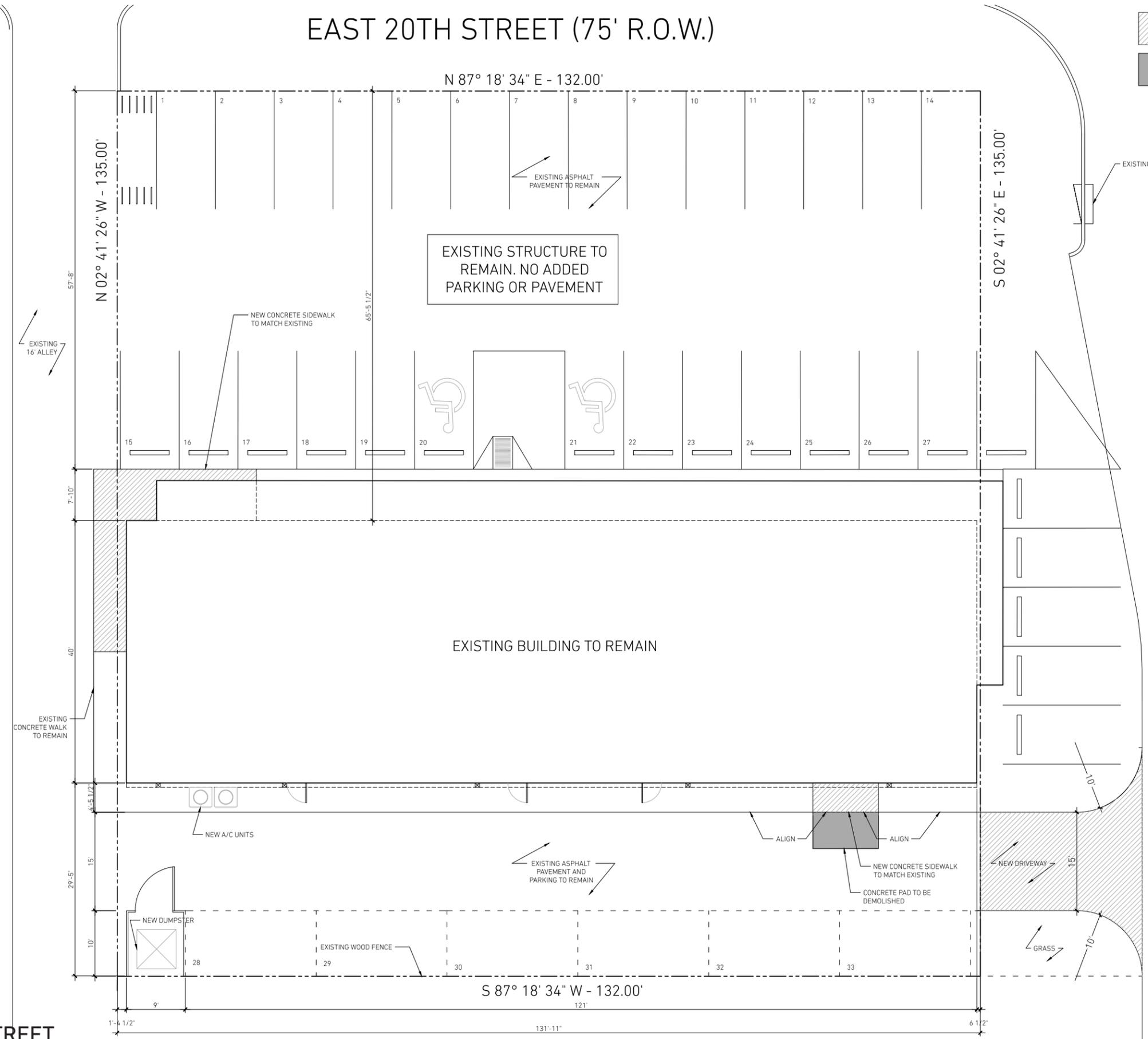
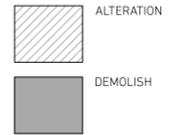


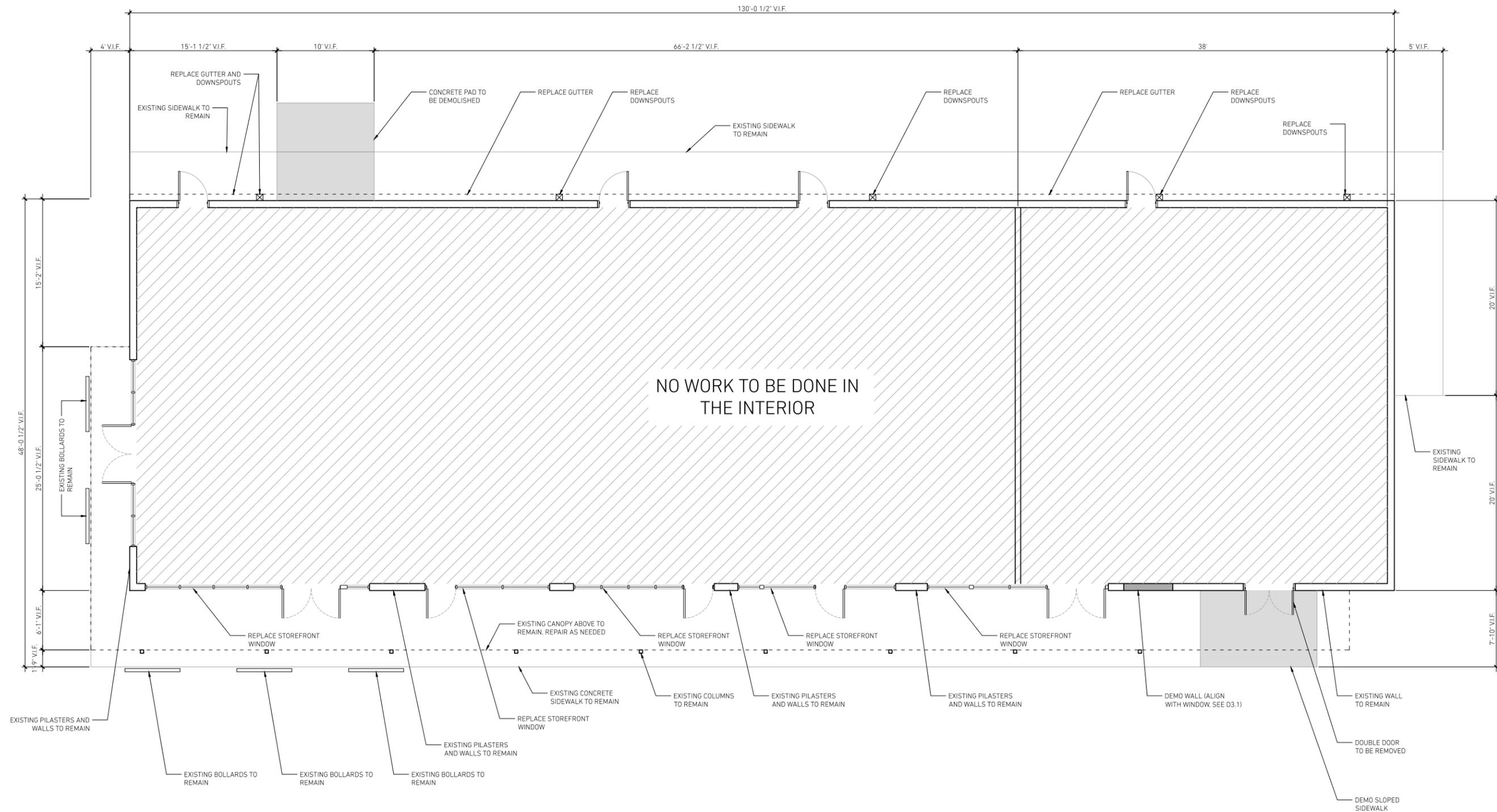
SCH / SH 420 EAST 20TH STREET

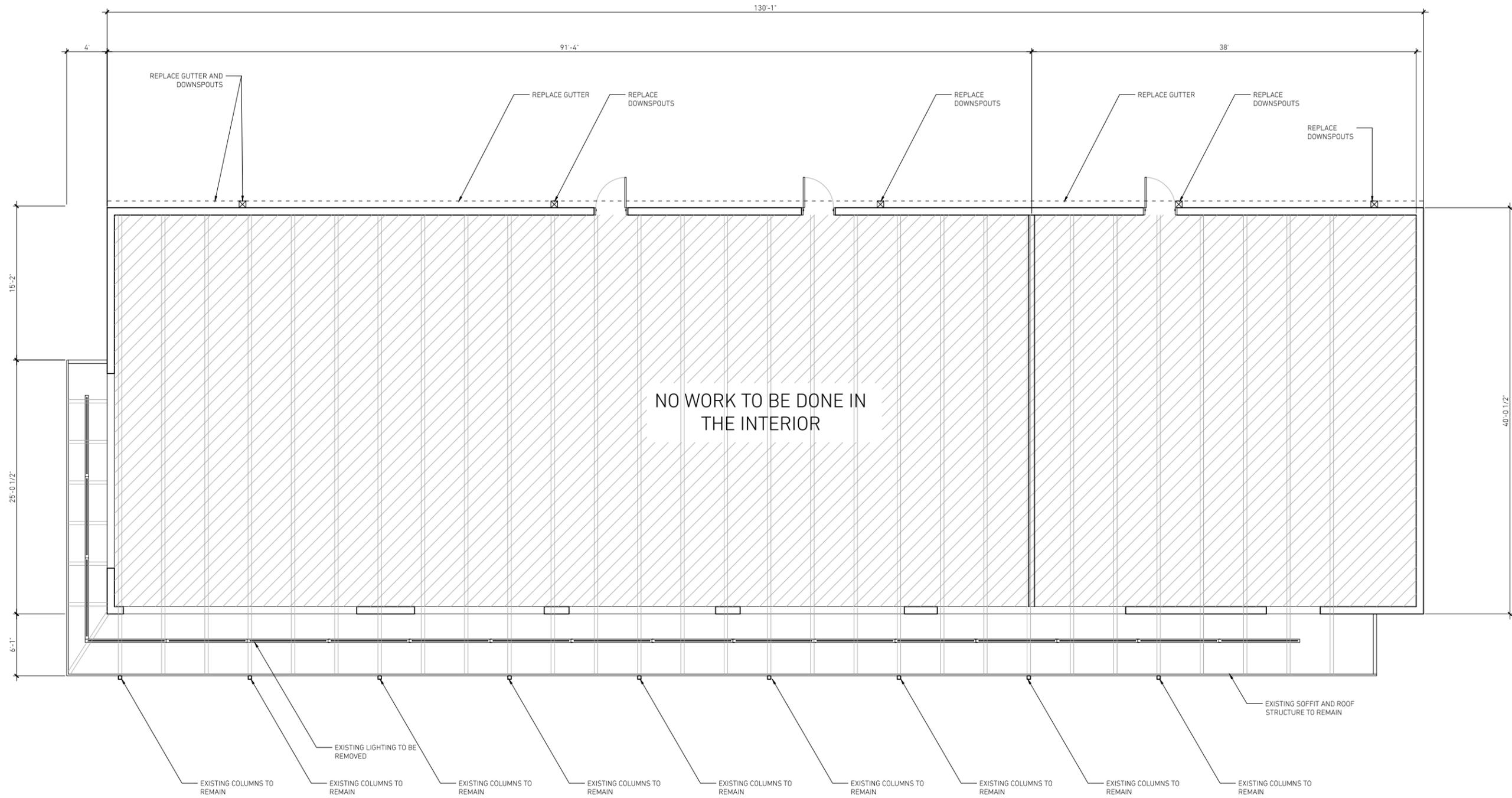
MARSH / JALAYER & ASSOCIATES
ENGINEERING CONSULTANTS & SURVEYORS
8910 BELL FLOWER, HOUSTON, TEXAS 77063
(713) 282-2282
FIRM REGISTRATION No. F-8973
FIRM REGISTRATION No. 101700-00

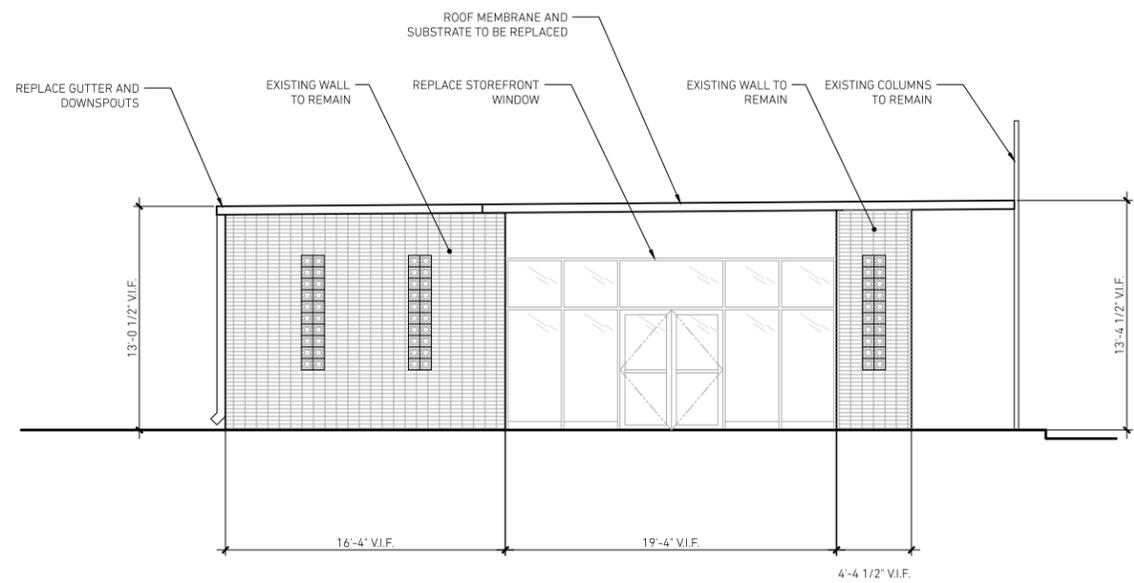
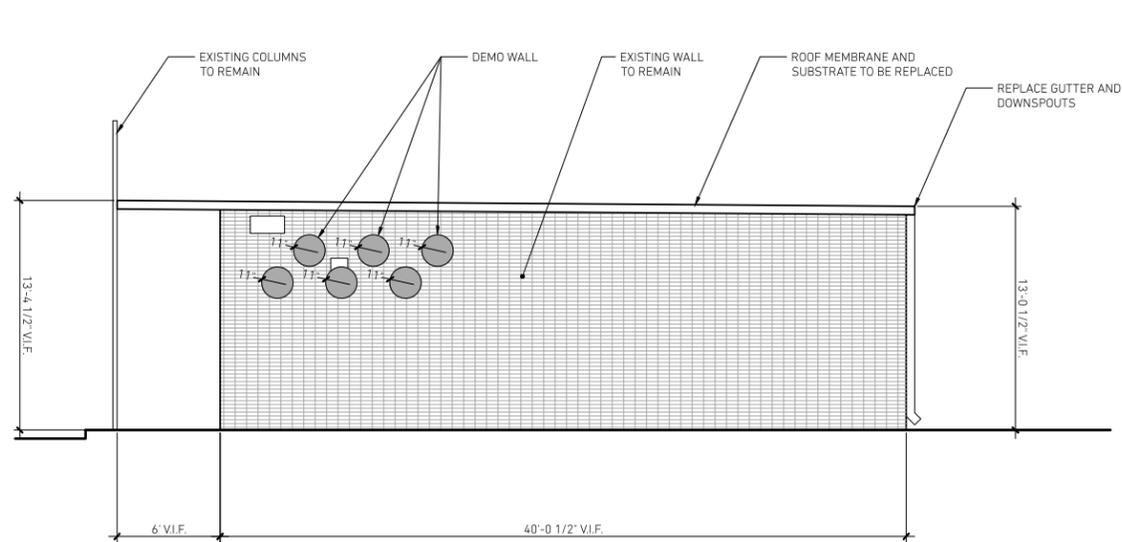
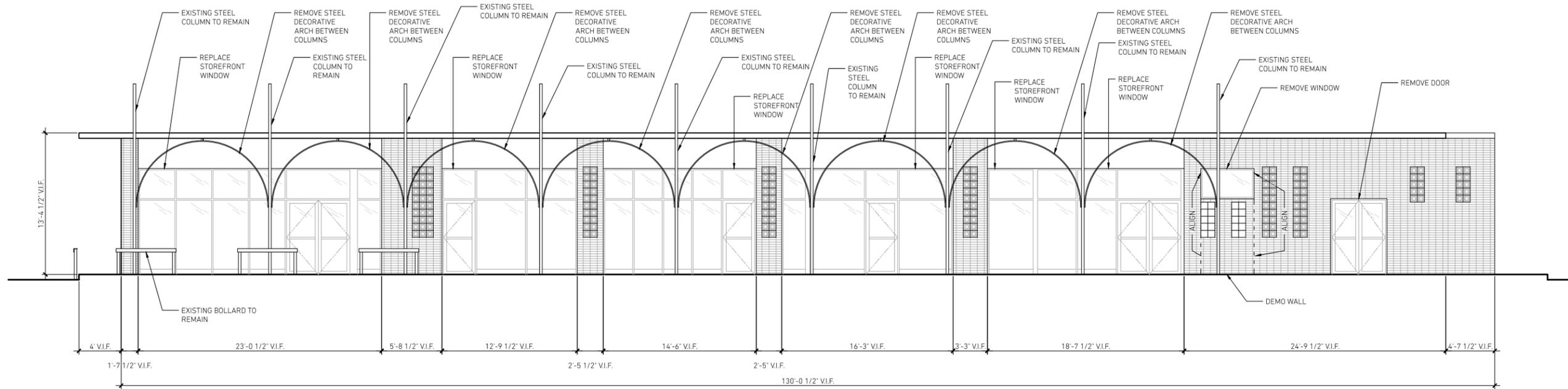
Survey
09/29/2015

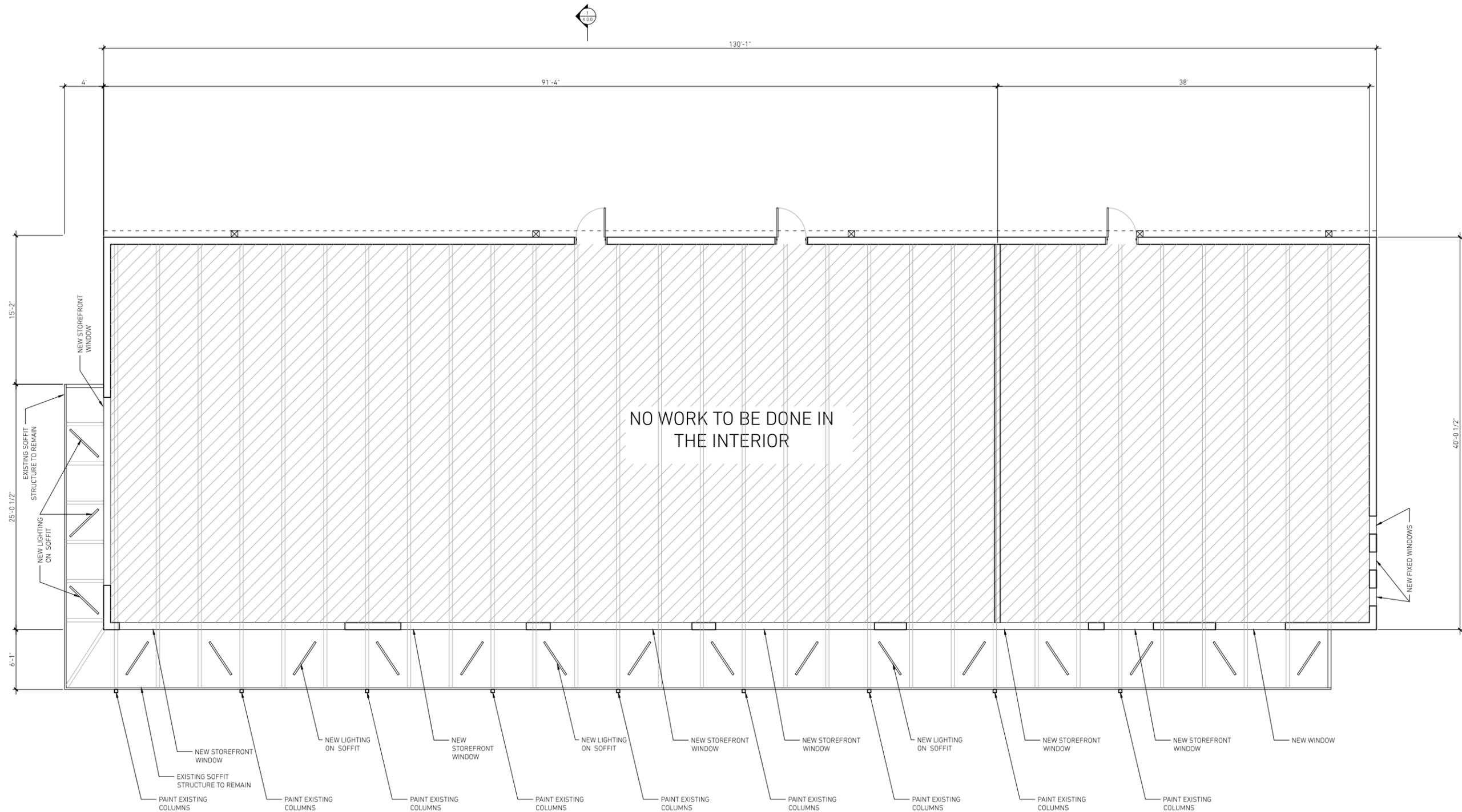
EAST 20TH STREET (75' R.O.W.)

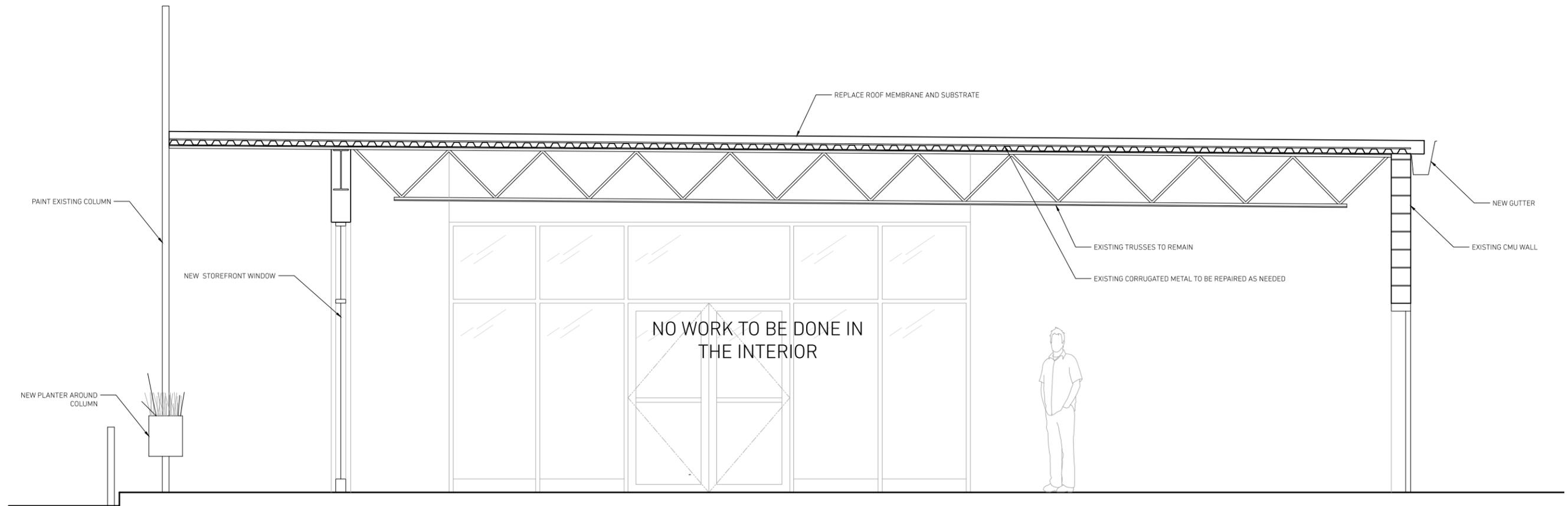


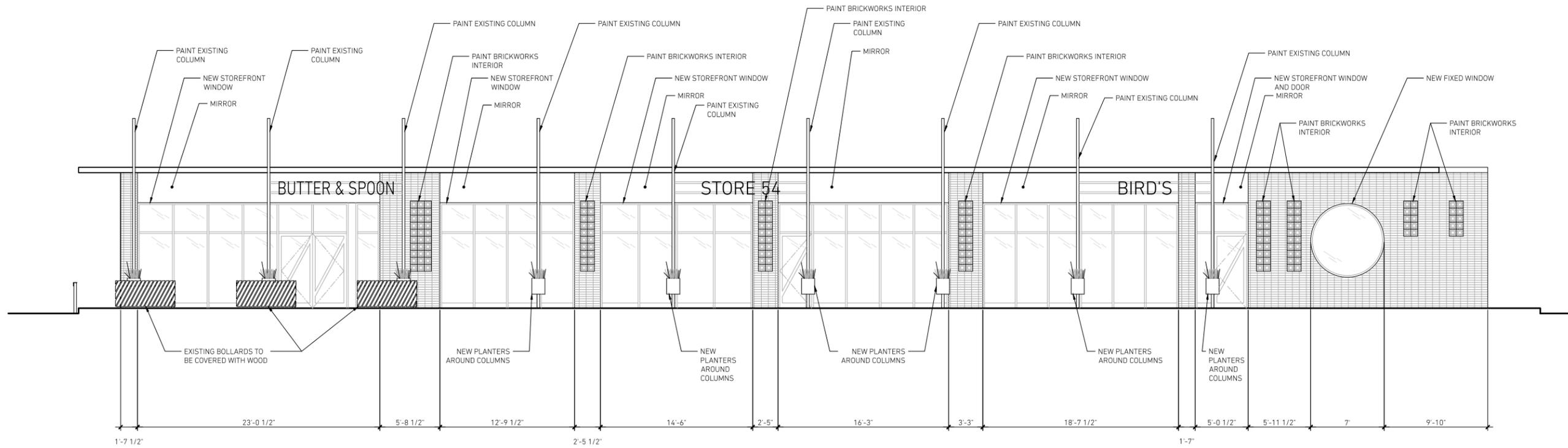




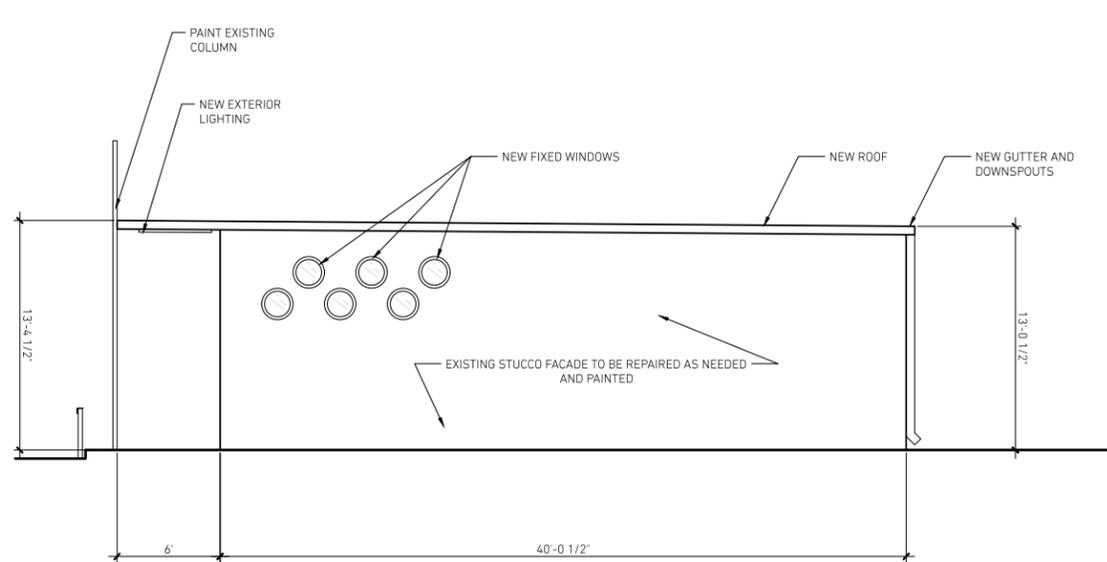




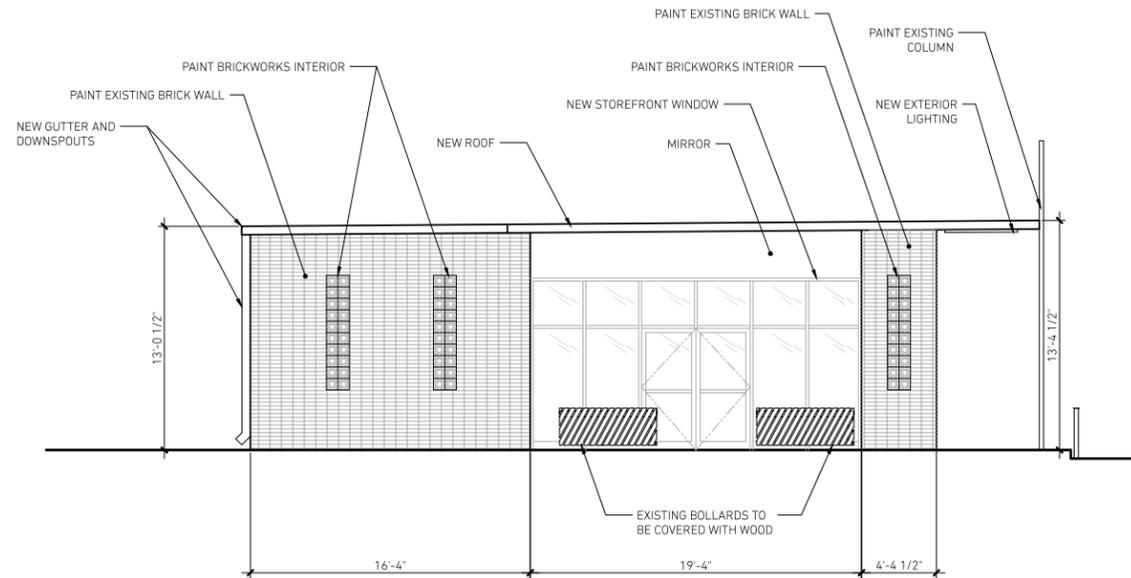




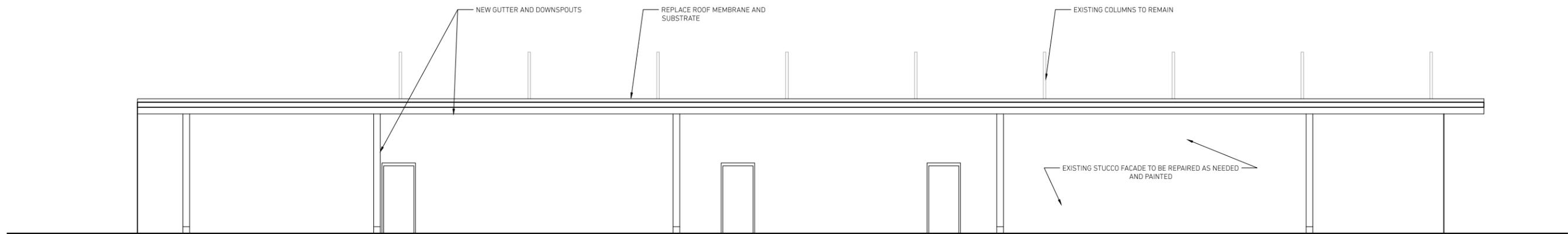
Front elevation (North)



Side elevation (West)



Side elevation (East)



Rear elevation (South)

