

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



**PLANNING &
DEVELOPMENT
DEPARTMENT**

PROPERTY

Address 1141 HARVARD
 Historic District / Landmark _____ HCAD # 070960000002
 Subdivision HOUSTON HERITAGES Lot 2 Block 700

DESIGNATION TYPE

- | | |
|--|--|
| <input type="checkbox"/> Landmark | <input type="checkbox"/> Contributing |
| <input type="checkbox"/> Protected Landmark | <input type="checkbox"/> Noncontributing |
| <input type="checkbox"/> Archaeological Site | <input type="checkbox"/> Vacant |

PROPOSED ACTION

- | | |
|--|-------------------------------------|
| <input checked="" type="checkbox"/> Alteration or Addition | <input type="checkbox"/> Relocation |
| <input checked="" type="checkbox"/> Restoration | <input type="checkbox"/> Demolition |
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Excavation |

DOCUMENTS

Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

APPLICANT (if other than owner)

Name DEIDRA DIBAKS
 Company _____
 Mailing Address 1015 VSENER
HOUSTON TX 77009-7360
 Phone 713-708-7768
 Email _____
 Signature [Signature]
 Date 9.2.2015

Name _____
 Company _____
 Mailing Address _____
 Phone _____
 Email _____
 Signature [Signature]
 Date _____

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____ Application received: ___/___/___ Application complete: ___/___/___

CERTIFICATE OF APPROPRIATENESS APPLICATION
PART II.A – CHECKLIST AND FORM:
ADDITION, ALTERATION, REHABILITATION AND/OR RESTORATION



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Please complete all applicable items and submit with the COA application; digital application documents preferred. An incomplete application may cause delays in processing or may be deferred to the next agenda. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-241 for HAHC consideration criteria for approval for an addition, alteration, rehabilitation, or restoration of a landmark; protected landmark; or structure in a historic district.

ACTION TYPE AND SUBTYPES: (select all that apply)

- Addition**
 - Side Addition**
 - addition to a single side of structure
 - addition to multiple sides of structure
 - Rear Addition**
 - addition to rear of same width/height of existing structure
 - addition to rear taller and/or wider than existing structure
 - Additional Story / Level / Height**
 - 1 additional level/story to existing
 - 2+ additional levels/stories to existing
 - other addition increasing height of existing (explain in written description)
 - Porch / Balcony**
 - addition of a porch/balcony at the front of the structure
 - addition of a porch/balcony at a side of the structure
 - addition of a porch/balcony at the rear of the structure
 - Other**
 - type of addition not listed above (explain in written description)
GARAGE
- Alteration, Rehabilitation or Restoration**
 - Foundation**
 - leveling or height alterations
 - foundation material or foundation cladding
 - type alteration; i.e. slab on grade, pier on beam
 - Walls**
 - cladding: i.e. siding, shingles, brick, paneling, stucco
 - windows: i.e. location, size, type, material, quantity
 - doors: i.e. location, size, type, material, quantity
 - commercial storefront system
 - Roof**
 - shape: i.e. form, pitch, type
 - wall junction: i.e. eaves, soffit, brackets, overhang
 - projections: i.e. chimneys, towers, dormers
 - equipment: i.e. antennas, solar panels
 - Architectural Elements**
 - awnings or canopies
 - porch or balcony
 - columns or visible structural members
 - commercial signage
 - other architectural element alterations (explain in written description)

ALTERATION, REHABILITATION, RESTORATION, ADDITION DOCUMENTATION:

Photographs (label each photo with a description and location)

- Elevations** of front (street) facing facade and all sides of the structure visually affected by the proposed addition or alteration
- Detail Photos** of exterior elements subject to proposal illustrating current pertinent conditions; i.e. damaged beyond repair materials, architectural elements to be altered or replicated, areas to be altered or removed
- Historical Photos** or evidence illustrating past architectural authenticity if restoring or replacing missing historic elements

Renderings (accurately scaled and dimensioned)

- Current Site Plan** of the property containing the subject of the proposal, indicate area of proposed work; include dimensions for all setbacks from property line, easements, secondary structures, and any other pertinent existing site conditions

Site Address	1141 HARVARD	Subdivision	HUSTON HEIGHTS	Block	200
Primary Project Contact	DEBRA DEKES	Email	[REDACTED]		713-208-7713

1141 HARVARD

CERTIFICATE OF APPROPRIATENESS APPLICATION
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PLANNING & DEVELOPMENT DEPARTMENT

- Proposed Site Plan** for additions, removals or proposals altering site configurations; for additions clearly indicated the location, size and footprint of the addition; include dimensions locating alteration in respect to the existing structure; i.e. dimension from front wall to beginning of a rear addition
- Architectural Plans and Elevations** of the proposed alterations and/or additions, including:
 - Floor Plans** of existing and proposed if adding to the existing building footprint
 - Roof Plans** of existing and proposed if adding to or altering the existing roof shape, form, pitch or size
 - Demolition Plan** if any existing exterior features are proposed to be removed from the existing structure
 - Elevations** of existing and proposed of all sides of the structure that the proposed addition or alteration is visible

Written Description (include the following items, use the area below and/or attach additional pages)

- Subject of Proposal** description including current location and condition of the structure and any prior alterations or additions
- Proposed Work** description including plans to add, remove, repair or replace any exterior features or materials with in-kind or new features or materials; clearly describe location of proposed alterations and/or label on plan and elevation drawings
- Materials** description and condition of existing materials and proposed materials if original materials cannot be retained; include, when applicable: product information or specification sheets; door and window schedule; samples to further demonstrate new materials; any plans to salvage, reuse or recycle historic or original materials proposed for removal
- Criteria Adherence** describe how the proposal satisfies the determination criteria as stated in the Historic Preservation Ordinance, Sec. 33-241 (a) or (b) or (c) for an:
 - (a) addition, alteration, rehabilitation or restoration of an exterior feature to a landmark, protected landmark, contributing structure within a historic district, or structure on an archaeological site, upon finding that it satisfies criteria (1) through (11) as stated in Section 33-241(a)
 - OR
 - (b) an addition to a contributing structure within a historic district, upon finding that it satisfies criteria (4) and (1) or (2) or (3) as stated in Section 33-241(b)
 - OR
 - (c) an addition, alteration, rehabilitation or restoration of an exterior feature of a noncontributing structure within a historic district upon finding that it satisfies criteria (1); and for an addition, criteria (2) as stated in Section 33-241(c)

I (we) request approval of a Certificate of Appropriateness to...

- add a second story and attached garage to the existing house @ the rear of existing
- the current house has hardi board siding so the addition would use the same hardi as already installed.
- demo the existing garage
- repair any windows and add (2) to match in the dining
- relocate rear wall to allow for entry into the dining garage - but keep the roof intact.
- change out rear right window to be new double hung 1/1 wood to match existing style.

The house sits 36'7" from the front property line and ally access ~~is~~ is not an option because of storm drain issues so we need to put the garage to the side as drawn - so there is some back yard.

We want the garage door to blend in with the siding so it does not stand out as a garage

Attach additional pages as necessary.

1141 HARVARD p. 2

We will use Hardi siding (or equal) to match the cement siding already installed on the house.

We will need to repair the front brick steps. All ~~new~~ new windows will be full view 1/1 wood double pane windows - which will match the existing wood 1/1 windows.

1141 Harvard New Window Schedule

A = 36 x 48 Jeldwen Wood 1/1 double hung, double pane

B = 24 x 48 Jeldwen Wood 1/1 double hung, double pane

C = 24 x 24 Jeldwen Wood fixed double pane

D = 37 x 57 Jeldwen Wood 1/1 double hung, double pane (Egress window)

Contractor / Developer:
Vintage Homes
920 Columbia
Houston, TX 77008
713.417.4217

1141 Harvard
Houston, TX 77008
SITE PLAN

Issue/Revision:
09.02.15 HAHC COA APPLICATION

Drawing Description:
SITE PLAN

Dwg. Name:
Layer mgr: XX
Scale: AS NOTED
Drawn by:
Proj. Mgr.:
Date: 2015

Sheet No.:
A 1.0
Sep 02, 2015 - 9:58am

ADDRESS: 1141 Harvard Street, Houston, TX 77008
SCALE: 1" = 30'

LEGAL DESCRIPTION (AS FURNISHED): Lot Two (2), in Block Two Hundred (200), of HOUSTON HEIGHTS, a subdivision in Harris County, Texas, according to the map or plat referred to in Volume 1, Page 115, of the Map Records of Harris County, Texas.

NOTES:
1. Any Respective Contours Recorded in Harris County, City of Houston, Vol. 1, Page 115, of the Map Records of Harris County, Texas.

BASE OF BEARING BEARINGS ARE BASED ON THE RECORDED PLAT:

SURVEYOR INFORMATION:
STATE OF TEXAS
JAMES W. SEKAL, Surveyor
1141 HARVARD STREET, HOUSTON, TEXAS 77008
PHONE 713.417.4217
FAX 713.417.4218
WWW.DESIGN3STUDIO.COM

SURVEYOR'S CERTIFICATE:
I, JAMES W. SEKAL, Surveyor, do hereby certify that the above described plat was prepared by me or under my direct supervision and that I am a duly licensed Surveyor in the State of Texas. I am not aware of any fraud or other illegal or improper means used in the preparation of this plat. I am not aware of any fraud or other illegal or improper means used in the preparation of this plat. I am not aware of any fraud or other illegal or improper means used in the preparation of this plat.

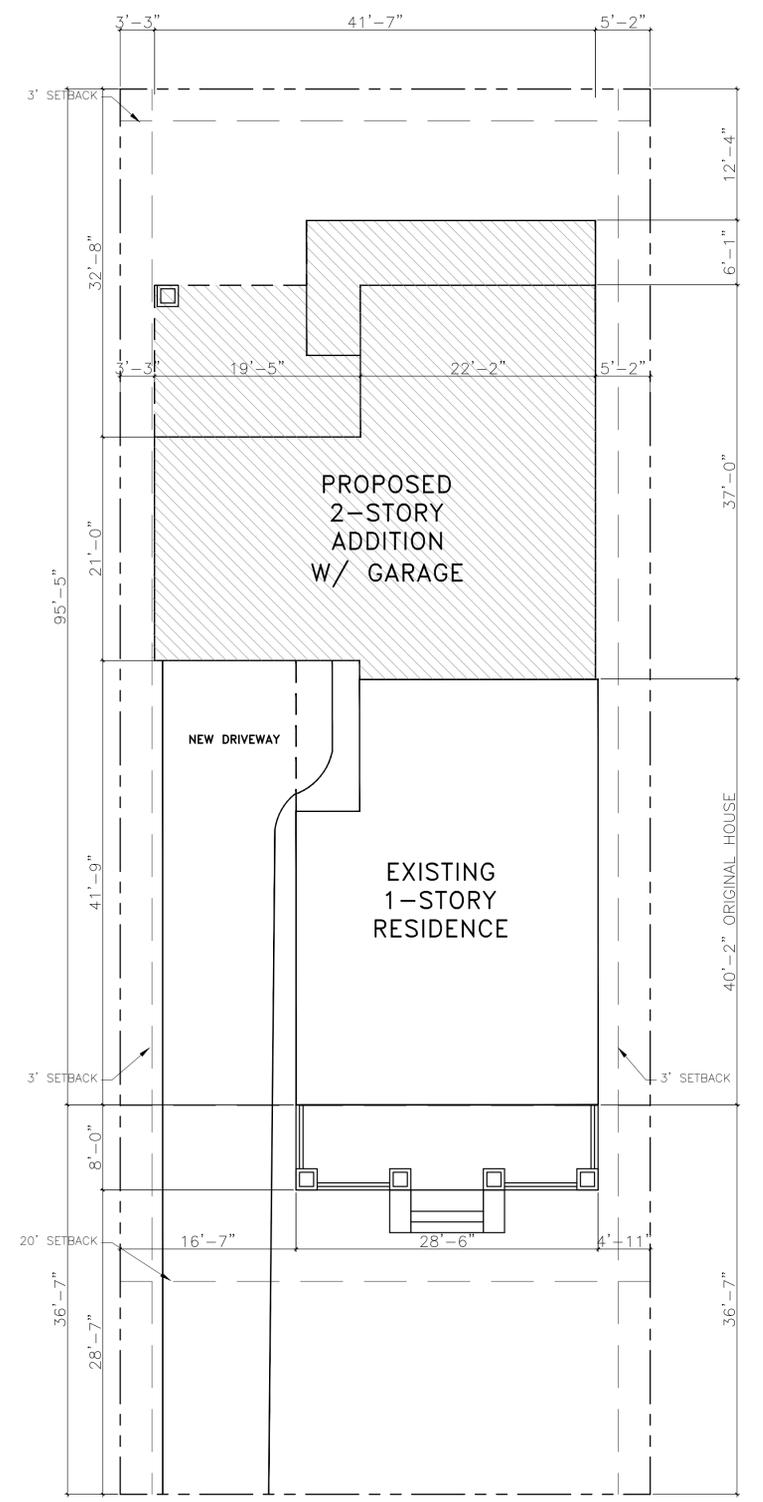
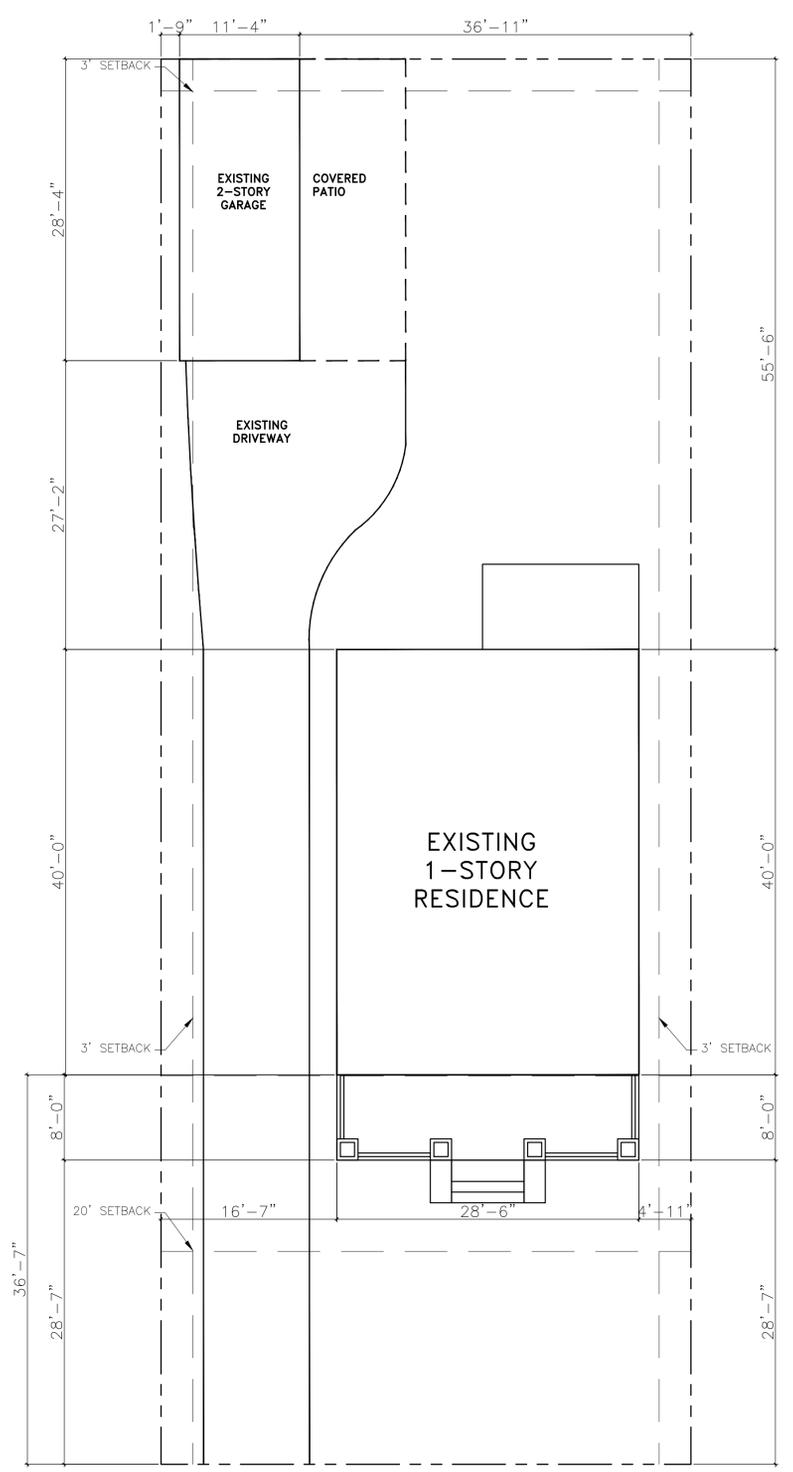
APPROVED BY: JAMES W. SEKAL, Surveyor

DATE: 09/02/15

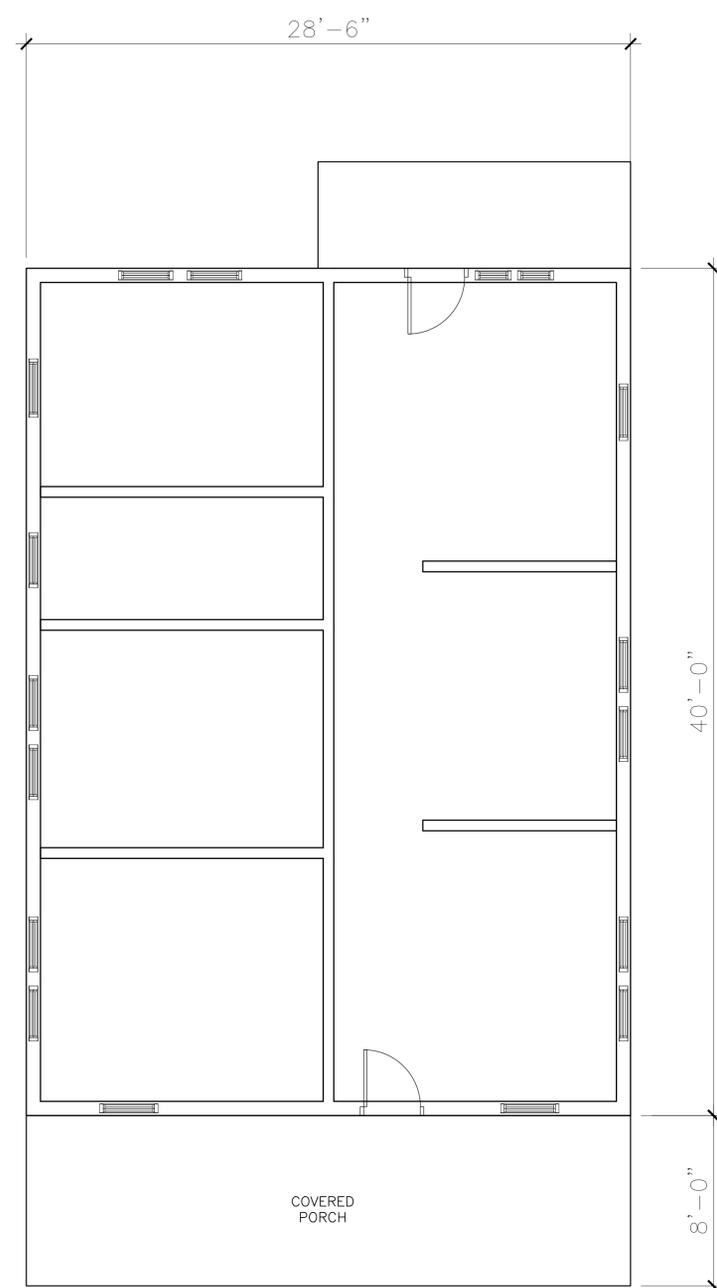
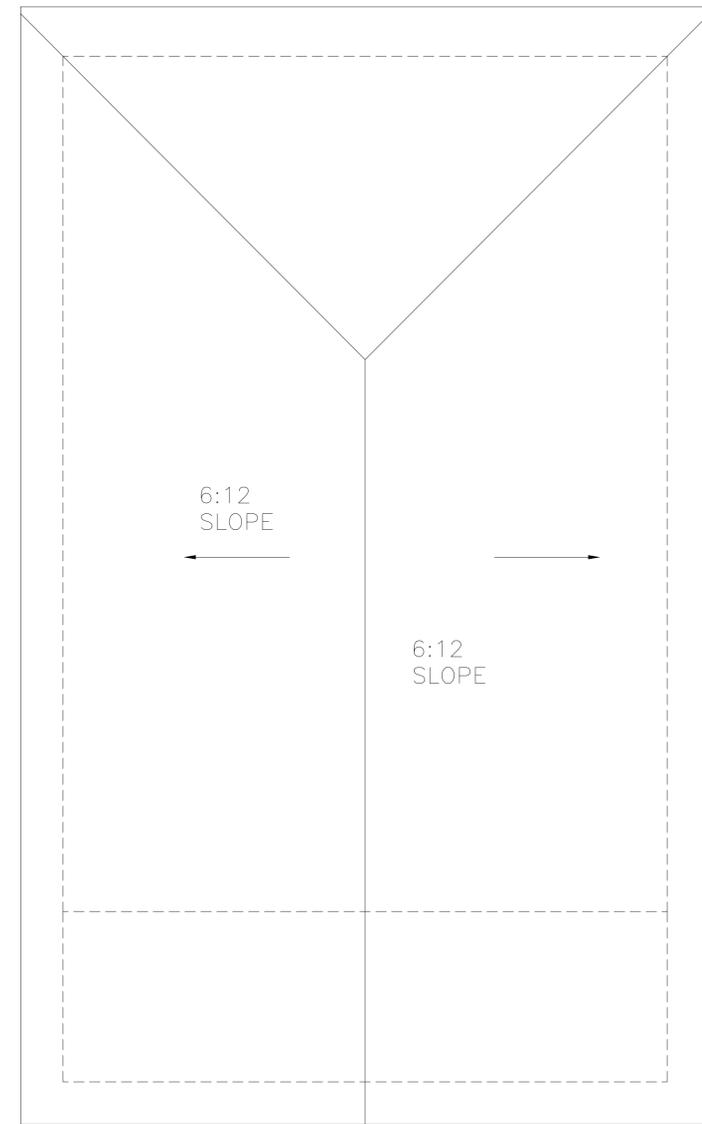
01 SURVEY NTS

02 EXISTING SITE PLAN 1/8" = 1'-0"

03 PROPOSED NEW SITE PLAN 1/8" = 1'-0"



Contractor / Developer:
 Vintage Homes
 920 Columbia
 Houston, TX 77008
 713.417.4217



1141 Harvard
 Houston, TX 77008

CONSTRUCTION PLAN

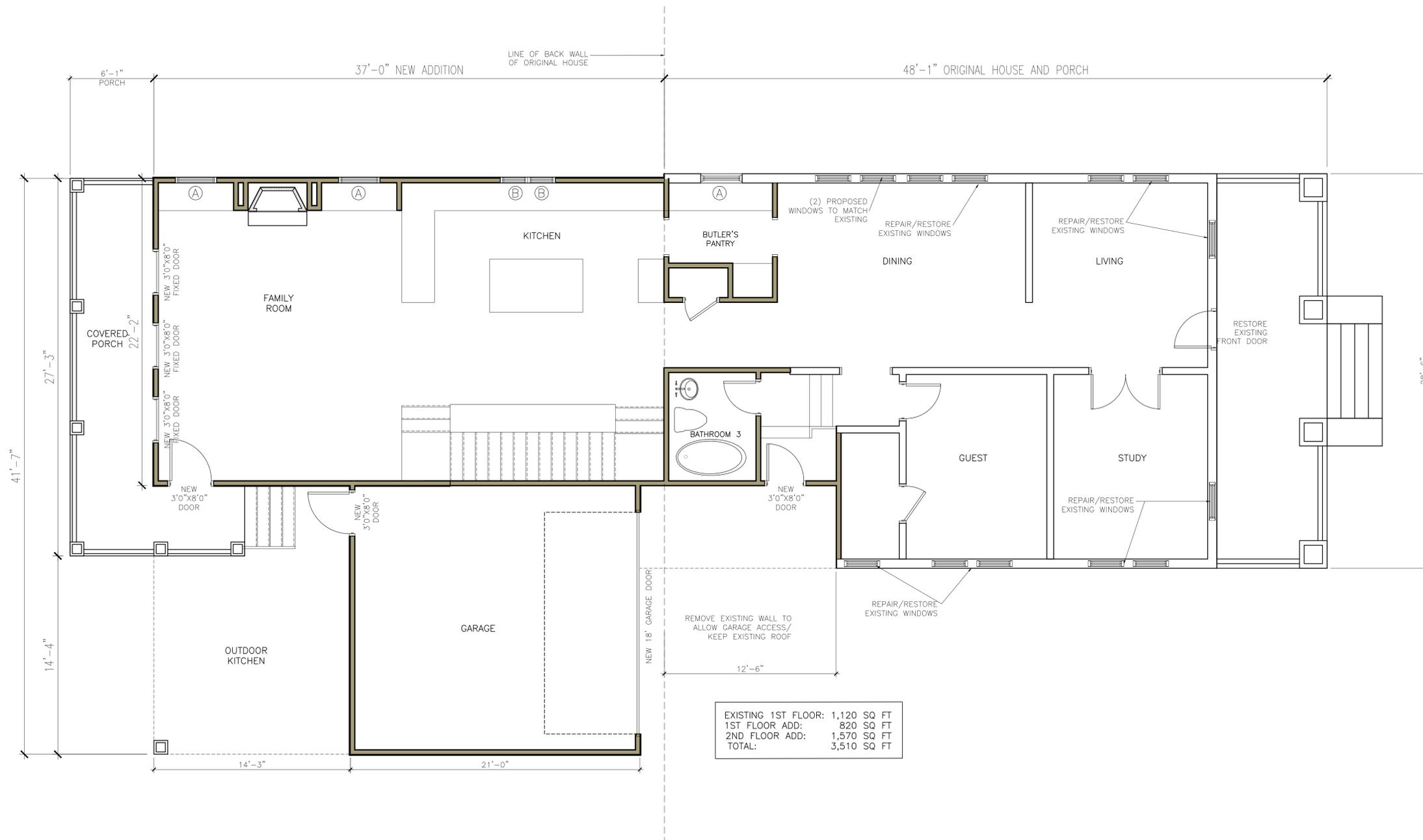
Issue/Revision:	
09.02.15	HAHC COA APPLICATION

Drawing Description:

EXISTING PLAN

Dwg. Name:		Sheet No.: A 1.1
Layer mgr:	XX	
Scale:	AS NOTED	
Drawn by:		
Proj. Mgr.:		
Date:	2015	Sep 02, 2015 - 9:59am

Contractor / Developer:
Vintage Homes
920 Columbia
Houston, TX 77008
713.417.4217



01 1ST FLOOR CONSTRUCTION PLAN

1/4" = 1'-0"

02 PLAN NOTES

- Do not scale drawings. Written dimensions take precedence. Contractor shall verify and be responsible for all dimensions and conditions on the job and notify Design 3, Inc. of any variations from the dimensions or conditions shown on the drawings presented herein.
- All written notes on these drawings shall take precedence over the minimum standard notes detailed on the last sheet of these drawings.
- Ceiling heights taken from where the note is located on plan.
- All floor drains to have overflow pan with relief.
- Provide plumbing access panel at all bathtubs as per IRC 2006 Sect. P2704.1
- All glass at tubs and showers shall be tempered safety glass and to comply with IRC 2006 Sect R308.
- See stair notes and details on A4.2.
- Provide attic access with a minimum clear opening of 22" x 30". Provide capacity of 350 lbs. See IRC sect. R807.1.
- Locate water heater(s) in attic above a load bearing partition in a pan with a relief line to outside or storm sewer line. Installation shall comply with IRC 2006 Chapter 28.
- Locate HVAC equipment in attic unless otherwise noted.
- Provide 24" wide plywood walkway to access all mechanical equipment located in attic. Maximum distance from attic access to equipment shall not exceed 20'-0". Provide a 30" wide service platform at service side of all equipment in attic.
- All insulation shall have a flame spread rating not to exceed 25 and a smoke density rating not to exceed 450 as per IRC 2006 sect R320.1.
- Provide adequate furring so vent and soil pipes do not penetrate plates. All plumbing vents shall exit through a roof plane that slopes to the back.
- Plumbing walls shall be 2x6 unless otherwise noted. Plumber shall use only 2x6 walls (type B) for any plumbing that is larger than 3".
- Smoke detectors are located on Electrical.
- Minimum class B roofing and no openings within 5 feet of common wall.
- All guardrails shall conform to IRC 2006 sect R312
- All exterior walls are to be minimum 2 x 4 unless dimensioned or noted otherwise.
- Methods of termite protection if required by IRC table R301.2 shall be in accordance with section R320.1.
- Bathtub and shower floors and walls above bathtubs with installed shower heads and in shower compartments shall be finished with a nonabsorbent surface to a height of not less than six feet above the floor according to R307.2.

1141 Harvard
Houston, TX 77008

CONSTRUCTION PLAN

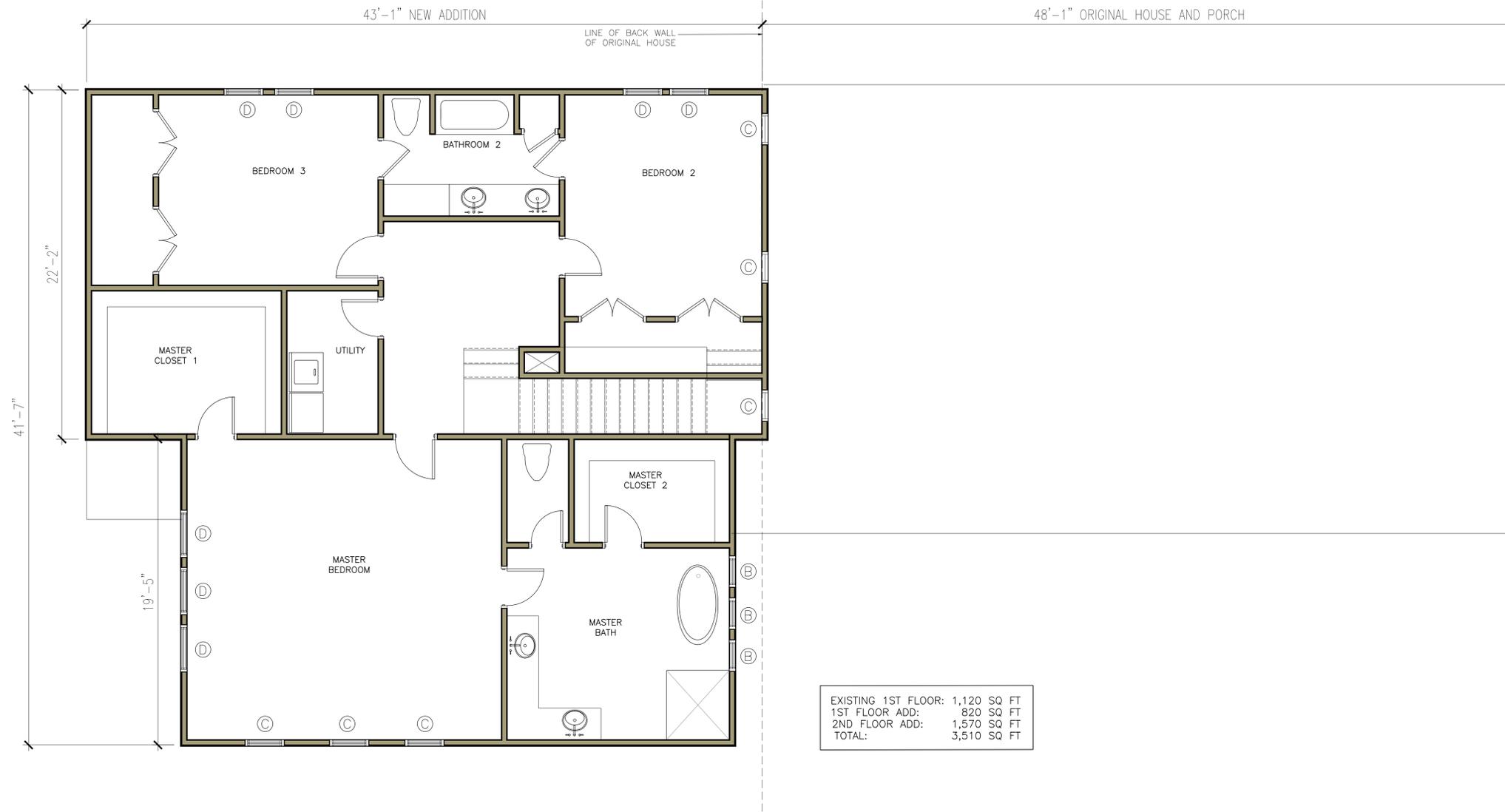
Issue/Revision:
09.02.15 HAHCOA APPLICATION

Drawing Description:

CONSTRUCTION PLAN

Dwg. Name:	Layer mgr: XX	Sheet No.:
Scale: AS NOTED	Drawn by:	A 1.2
Proj. Mgr.:	Date: 2015	

Contractor / Developer:
Vintage Homes
920 Columbia
Houston, TX 77008
713.417.4217



EXISTING 1ST FLOOR:	1,120 SQ FT
1ST FLOOR ADD:	820 SQ FT
2ND FLOOR ADD:	1,570 SQ FT
TOTAL:	3,510 SQ FT

01 2ND FLOOR CONSTRUCTION PLAN

1/4" = 1'-0"

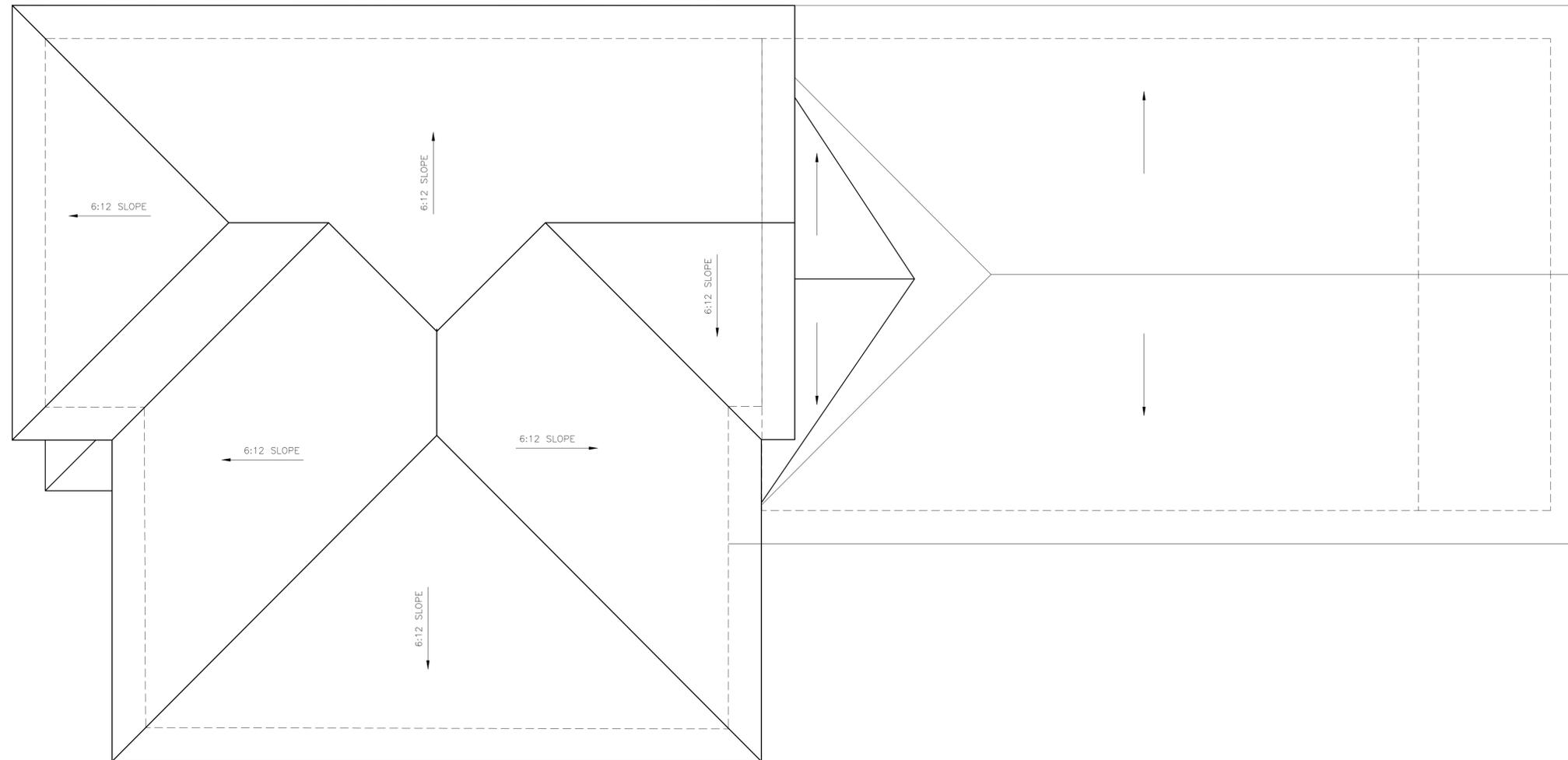
1141 Harvard
Houston, TX 77008
CONSTRUCTION PLAN

02 PLAN NOTES

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- All glass at tubs and showers shall be tempered safety glass and to comply with IRC 2006 Sect R308.
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09.02.15	HAHC COA APPLICATION
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CONSTRUCTION PLAN	
Dwg. Name:	
Layer mgr: XX	Sheet No.:
Scale: AS NOTED	A 1.3
Drawn by:	
Proj. Mgr.:	
Date: 2015	Sep 02, 2015 - 9:59am

Contractor / Developer:
Vintage Homes
920 Columbia
Houston, TX 77008
713.417.4217



1141 Harvard
Houston, TX 77008
ROOF PLAN

Issue/Revision:
09.02.15 HAHC COA APPLICATION

Drawing Description:

ROOF PLAN

Dwg. Name:

Layer mgr: XX

Scale: AS NOTED

Drawn by:

Proj. Mgr.:

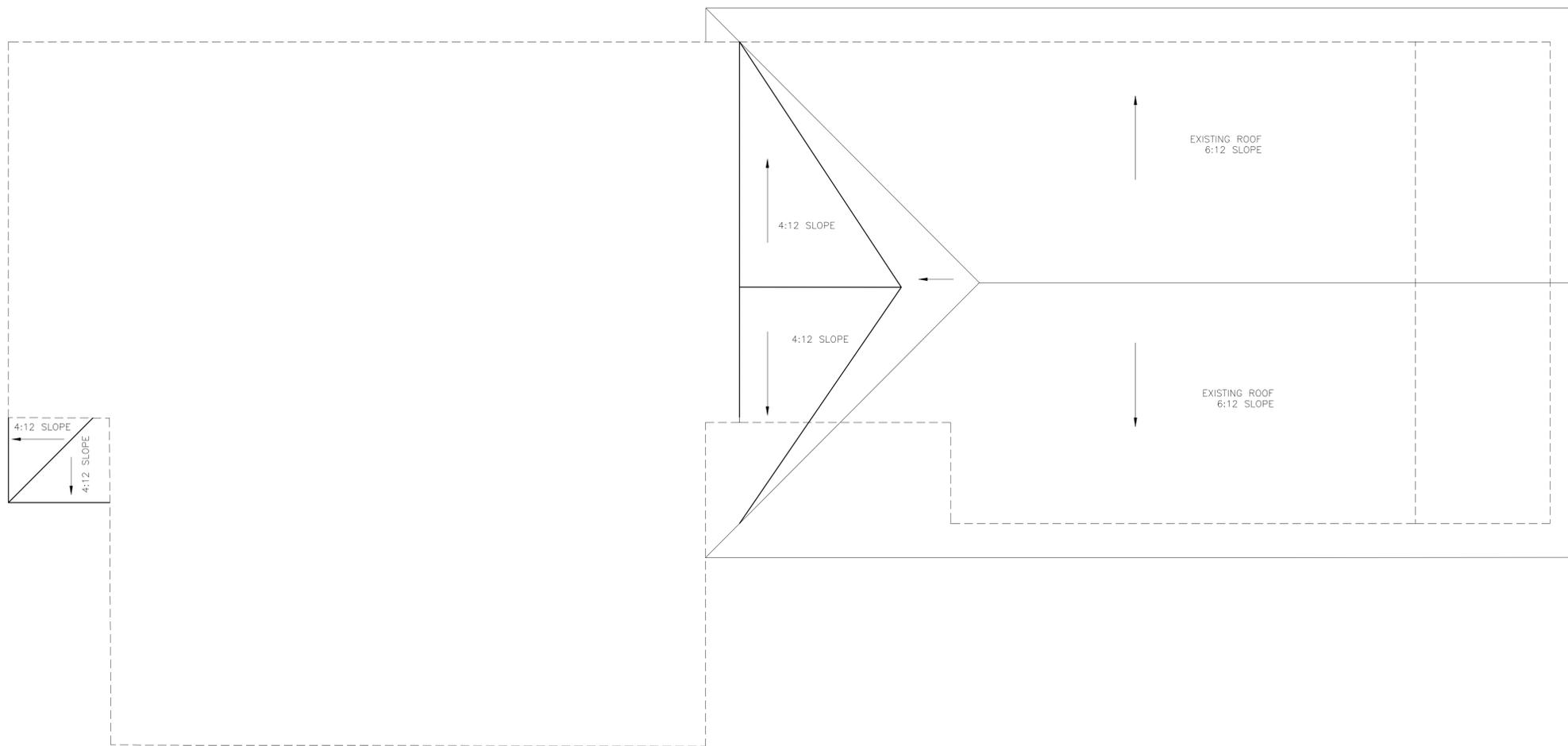
Date: 2015

Sheet No.:

A 1.4

Sep 02, 2015 - 1000am

Contractor / Developer:
Vintage Homes
920 Columbia
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1141 Harvard
Houston, TX 77008
ROOF PLAN

Issue/Revision:
09.02.15 HAHC COA APPLICATION

Drawing Description:

ROOF PLAN

Dwg. Name:

Layer mgr: XX

Scale: AS NOTED

Drawn by:

Proj. Mgr.:

Date: 2015

Sheet No.:

A 1.5

Sep 02, 2015 - 1001am

Contractor / Developer:
 Vintage Homes
 920 Columbia
 Houston, TX 77008
 713.417.4217



01 ORIGINAL FRONT ELEVATION



03 EXISTING LEFT ELEVATION

1/4" = 1'-0"



04 EXISTING RIGHT ELEVATION

1/4" = 1'-0"



01 EXISTING REAR ELEVATION

1141 Harvard
 Houston, TX 77008

EXISTING ELEVATIONS

Issue/Revision:
 09.02.15 HAHC COA APPLICATION

Drawing Description:
EXISTING ELEVATIONS

Dwg. Name:		Sheet No.:	
Layer mgr:	XX		
Scale:	AS NOTED		
Drawn by:			A 3.0
Proj. Mgr.:			
Date:	2015		Sep 02, 2015 - 10:02am

Contractor / Developer:
Vintage Homes
920 Columbia
Houston, TX 77008
713.417.4217



+ 9'-0" A.F.F. 2ND FLOOR CEILING
+ 6'-8" A.F.F. 2ND FLOOR HEADER

+ 25" A.F.F. EGRESS WINDOW OPENING
2nd FLR
+ 10'-0" A.F.F. CLG @ ADDITION
+ 9'-0" A.F.F. EXISTING CEILING
+ 8'-0" A.F.F. HEADER @ ADDITION
+ 6'-8" A.F.F. EXISTING HEADER

EXISTING 1st FLR
+30" ABOVE GRADE

10'-6" 1ST FLOOR EAVE @ EXISTING
19'-0" RIDGE @ EXISTING
22'-4" EAVE @ ADDITION
28'-10" RIDGE @ ADDITION GABLE
32'-0" MAX RIDGE @ ADDITION

03 PROPOSED FRONT ELEVATION

1/4" = 1'-0"



+ 9'-0" A.F.F. 2ND FLOOR CEILING
+ 6'-8" A.F.F. 2ND FLOOR HEADER

+ 25" A.F.F. EGRESS WINDOW OPENING
2nd FLR
+ 10'-0" A.F.F. CLG @ ADDITION
+ 9'-0" A.F.F. EXISTING CEILING
+ 8'-0" A.F.F. HEADER @ ADDITION
+ 6'-8" A.F.F. EXISTING HEADER

EXISTING 1st FLR
+30" ABOVE GRADE

50'-0" EXISTING ROOF TO REMAIN
10'-0" NEW ROOF CRICKET FOR DRAINAGE
14'-0" NEW BEAM TO SUPPORT EXISTING ROOF
27'-10" EXISTING HOUSE AND WINDOWS TO REMAIN

04 PROPOSED LEFT SIDE ELEVATION

1/4" = 1'-0"

1141 Harvard
Houston, TX 77008
PROPOSED ELEVATIONS

Issue/Revision:
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ELEVATIONS

Dwg. Name:	Layer mgr: XX	Sheet No.:
Scale: AS NOTED	Drawn by:	A 3.1
Proj. Mgr.:	Date: 2015	
Date: 2015		Sep 02, 2015 - 1003am

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 Houston, TX 77008
 713.417.4217



03 PROPOSED BACK ELEVATION

1/4" = 1'-0"



04 PROPOSED RIGHT SIDE ELEVATION

1/4" = 1'-0"

1141 Harvard
 Houston, TX 77008

ELEVATIONS

Issue/Revision:
 09.02.15 HAHC COA APPLICATION

Drawing Description:

ELEVATIONS

Dwg. Name:	Layer mgr: XX	Sheet No.:
Scale: AS NOTED	Drawn by:	A 3.2
Proj. Mgr.:	Date: 2015	

1141 Harvard



Existing Front



Right Side



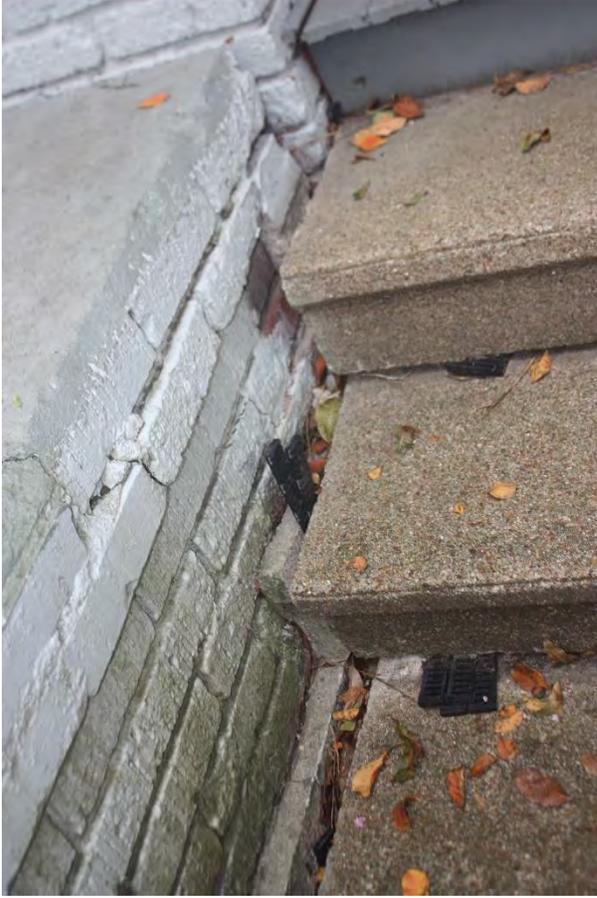
Left Side



Back



Detached Garage



Entry Stairs – To Repair

