

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



**PLANNING &
DEVELOPMENT
DEPARTMENT**

PROPERTY

Address 1426 HARVARD, HOUSTON TX 77008
 Historic District / Landmark HOUSTON HEIGHTS EAST HCAD # 0201540000019
 Subdivision HOUSTON HEIGHTS Lot 19 Block 158

DESIGNATION TYPE

- Landmark Contributing
 Protected Landmark Noncontributing
 Archaeological Site Vacant

PROPOSED ACTION

- Alteration or Addition Relocation
 Restoration Demolition
 New Construction Excavation

DOCUMENTS

Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name HOLLY ROEMISCH
 Company _____
 Mailing Address 1426 HARVARD ST.
HOUSTON, TX 77008
 Phone 713-397-0987
 Email _____
 Signature Holly Roemisch
 Date 8/31/2015

APPLICANT (if other than owner)

Name TRESSA MANN
 Company EUBANKS GROUP ARCHITECTS
 Mailing Address 4116 CENTER ST
HOUSTON, TX 77007
 Phone 713-522-2652
 Email _____
 Signature Tressa Mann
 Date 8.25.2015

ACKNOWLEDGEMENT OF RESPONSIBILITY

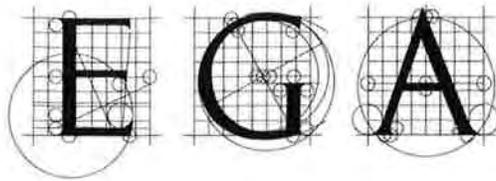
Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____ Application received: ___/___/___ Application complete: ___/___/___



EUBANKS GROUP ARCHITECTS

4116 CENTER ST. HOUSTON, TEXAS 77007
(713) 522-2652 / FAX: (713) 522-2653

Houston Archeological and Historical Commission
Re: Application for Certificate of Appropriateness
Project description for 1426 Harvard Street

August 28, 2015

To Whom It May Concern:

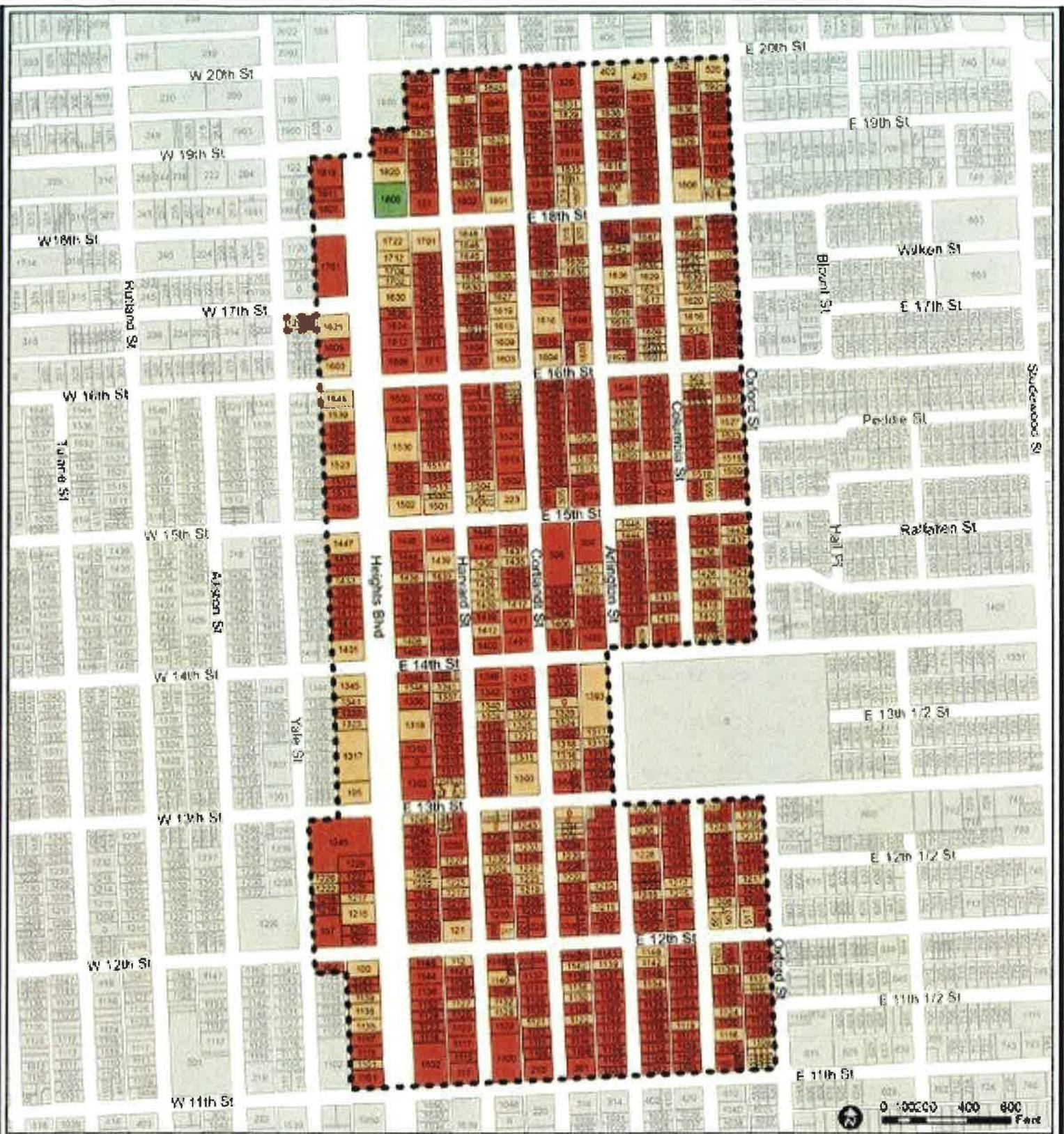
1426 Harvard is located in the Houston Heights East Historic District. This particular property is listed as non-conforming according to the building classification boundary map (see enclosed). We do not know the exact age of the structure, though we do know that prior to the purchase by the current home owners (our clients) there was at least one addition to the original structure; the most recent of which was a major remodel/addition that was completed approximately 10 years ago.

The proposed work consists of an interior remodel along with an addition to the existing non-original structure which was added about 10 years ago. The addition is 305 sf in size and includes a small side entry stoop and raised deck at the rear yard. The new addition will be architecturally compatible with the rest of the house and new windows and doors are to be aluminum clad with divided lites to match the existing. The existing wood windows and doors not affected by the addition will remain. Siding will be painted wood to match the existing in color and texture. The new roof will be composition shingle to match the existing.

Please contact me directly if there are any questions.

Regards,

Tressa Mann
Associate, Eubanks Group Architects



Houston Heights East Historic District

Historic District Boundary

Building Classification

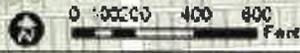
- Contributing
- Non-Contributing
- Park

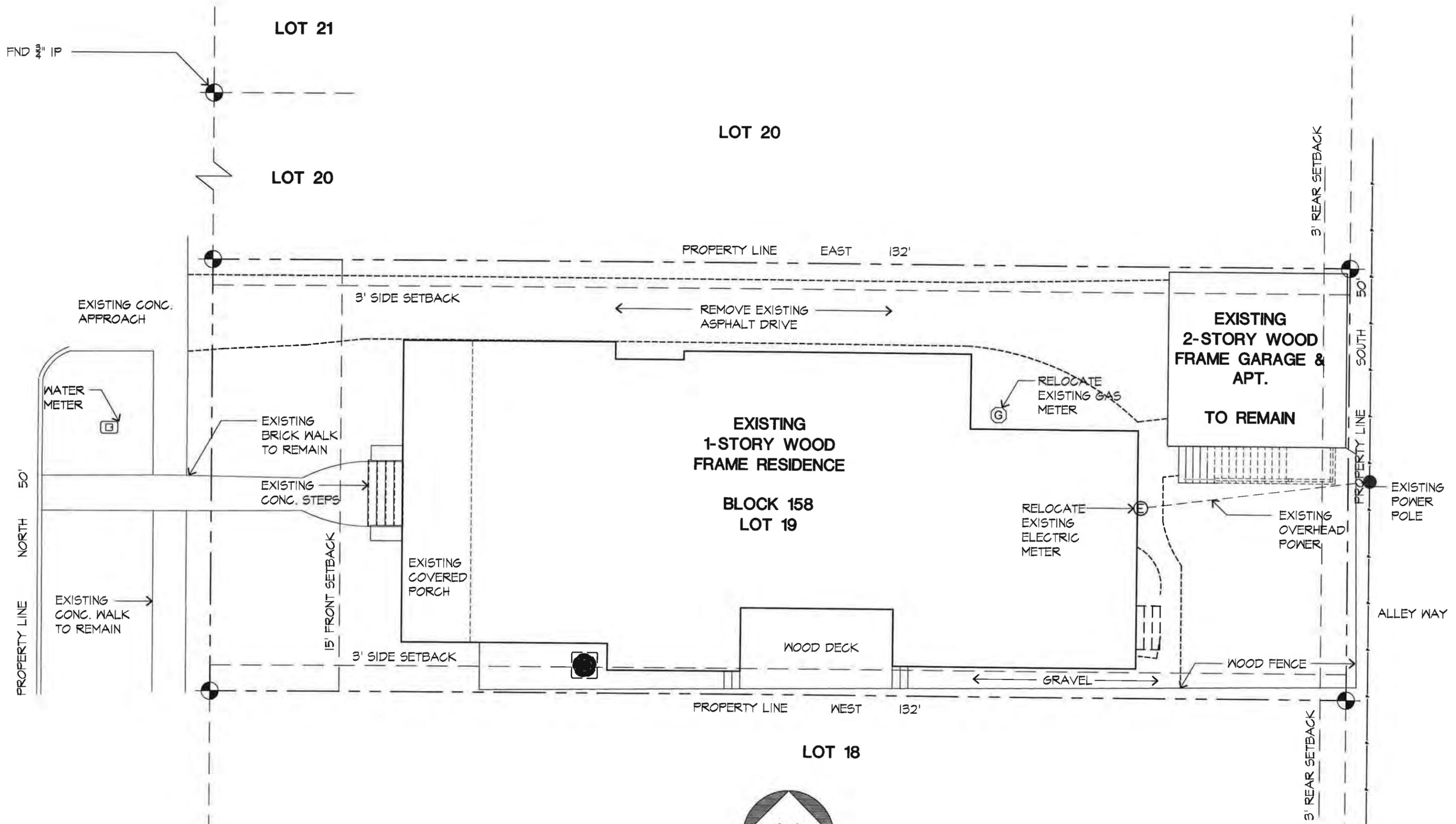
Established: February 20, 2006
 Source: GIS Services Division
 Date: May 2, 2013
 Reference: 1905_Heights_East

This map is made available for reference purposes only and should not be substituted for a survey product. The City of Houston will not accept liability of any kind in conjunction with its use.



PLANNING & DEVELOPMENT DEPARTMENT





01 EXISTING/DEMO SITE PLAN
 3/32"=1'-0"

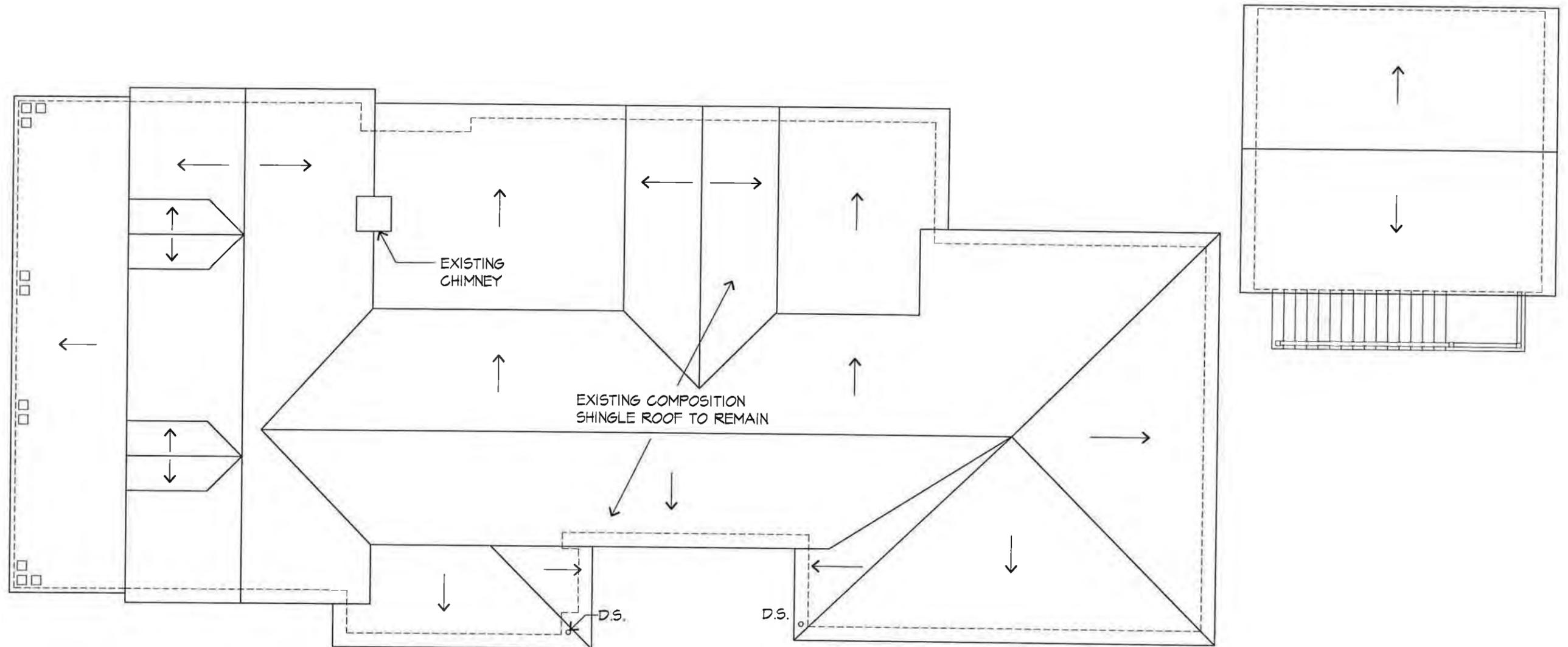
SK-001

EXISTING/DEMO SITE PLAN

EUBANKS GROUP ARCHITECTS
 A DIVISION OF ARCOLA, INCORPORATED

PROJECT: ROEMISCH RESIDENCE	SCALE: 1/8"=1'-0"
FILE NAME:	DATE: 8.31.15

DESIGN DEVELOPMENT:
 HAHC ISSUE: 31 AUGUST, 2015



03 EXISTING ROOF PLAN

1/8"=1'-0"

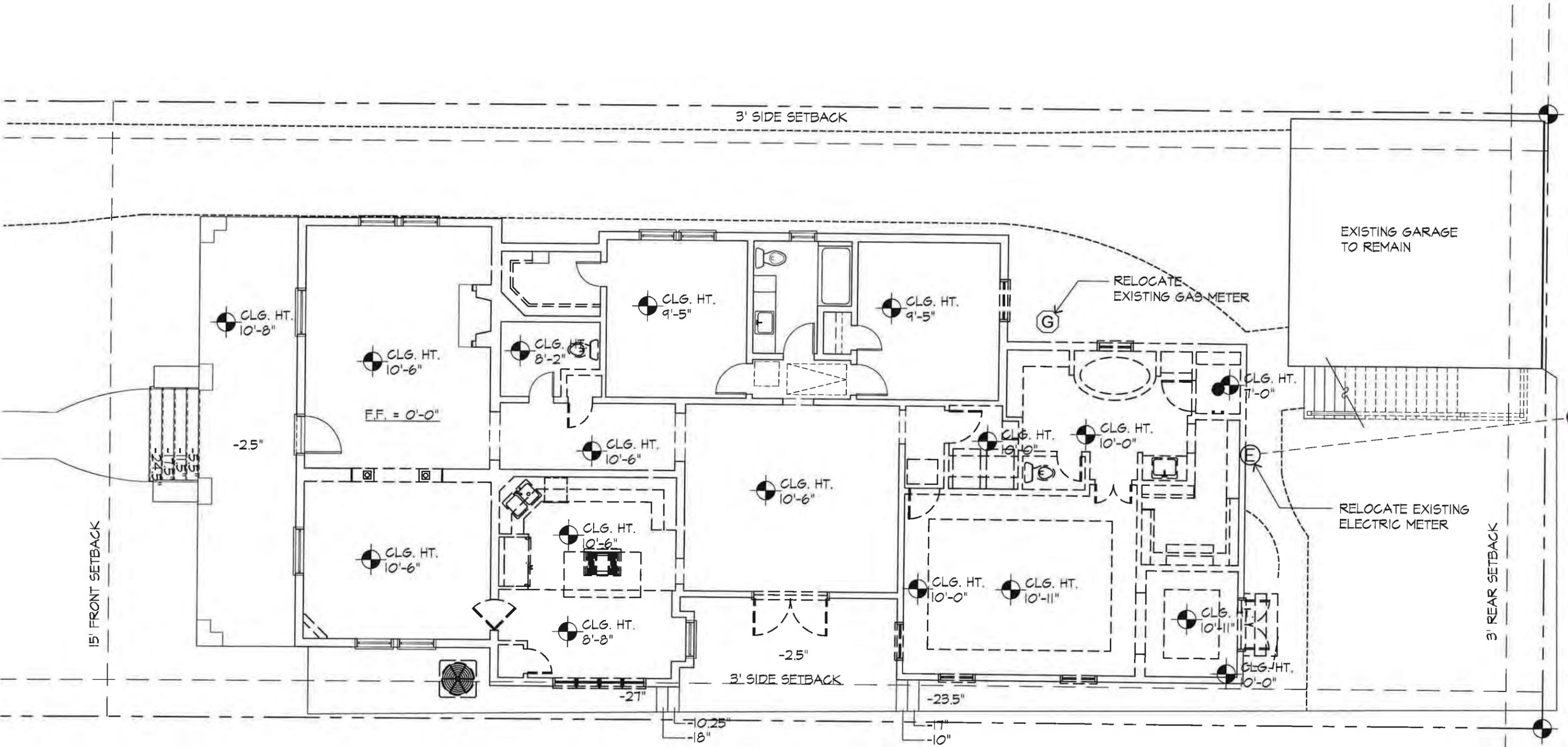
SK-002

EXISTING ROOF PLAN

EUBANKS GROUP ARCHITECTS
A DIVISION OF ARCOLA, INCORPORATED

PROJECT: ROEMISCH RESIDENCE	SCALE: 1/8"=1'-0"
FILE NAME:	DATE: 8.31.15

DESIGN DEVELOPMENT:	
PRELIMINARY PRICING ISSUE:	14 AUGUST, 2015
DESIGN DEVELOPMENT:	
HAHC ISSUE:	31 AUGUST, 2015



SK-003

EXIST./DEMO FLOOR PLAN

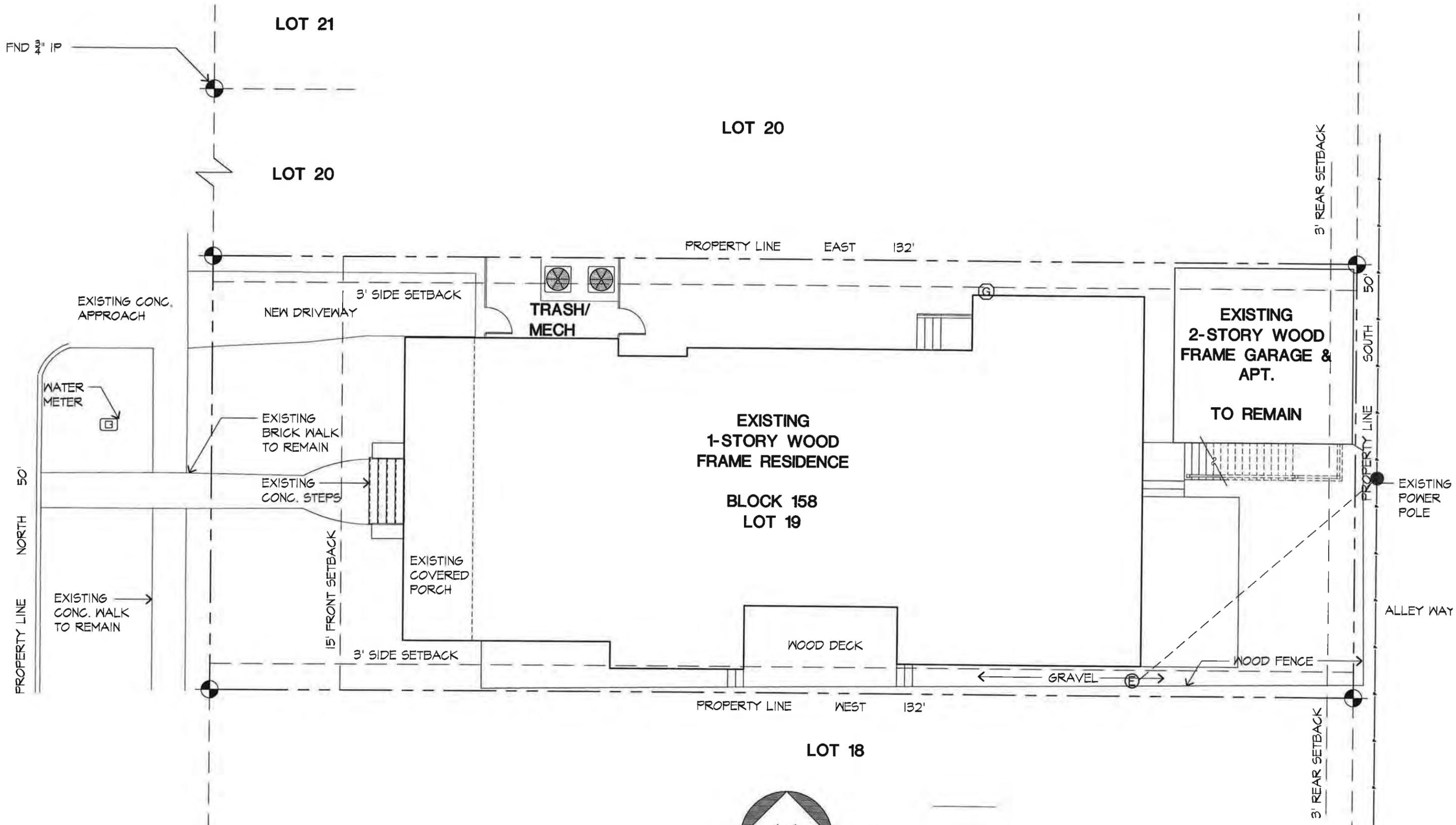
EUBANKS GROUP ARCHITECTS
A DIVISION OF ARCOLA, INCORPORATED

PROJECT: ROEMISCH RESIDENCE	SCALE: 1/8"=1'-0"
FILE NAME:	DATE: 8.31.15



01 EXISTING/DEMO FLOOR PLAN
1/8"=1'-0"

DESIGN DEVELOPMENT:	
PRELIMINARY PRICING ISSUE:	14 AUGUST, 2015
DESIGN DEVELOPMENT:	
HAHC ISSUE:	31 AUGUST, 2015



01 NEW SITE PLAN
3/32"=1'-0"

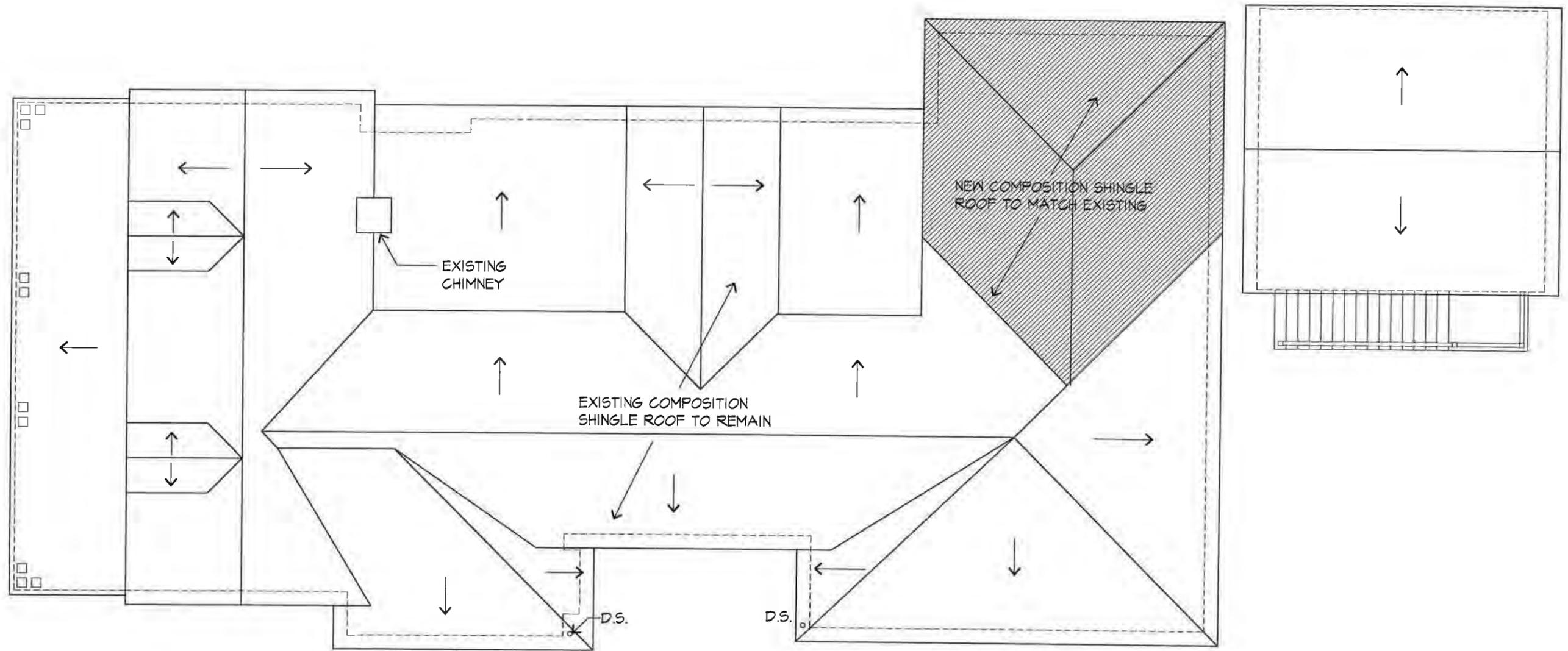
SK-004

NEW SITE PLAN

EUBANKS GROUP ARCHITECTS
A DIVISION OF ARCOLA, INCORPORATED

PROJECT: ROEMISCH RESIDENCE	SCALE: 1/8"=1'-0"
FILE NAME:	DATE: 8.31.15

DESIGN DEVELOPMENT:
HAHC ISSUE: 31 AUGUST, 2015



LEGEND:

 INDICATES NEW ADDITION



01 NEW ROOF PLAN
1/8"=1'-0"

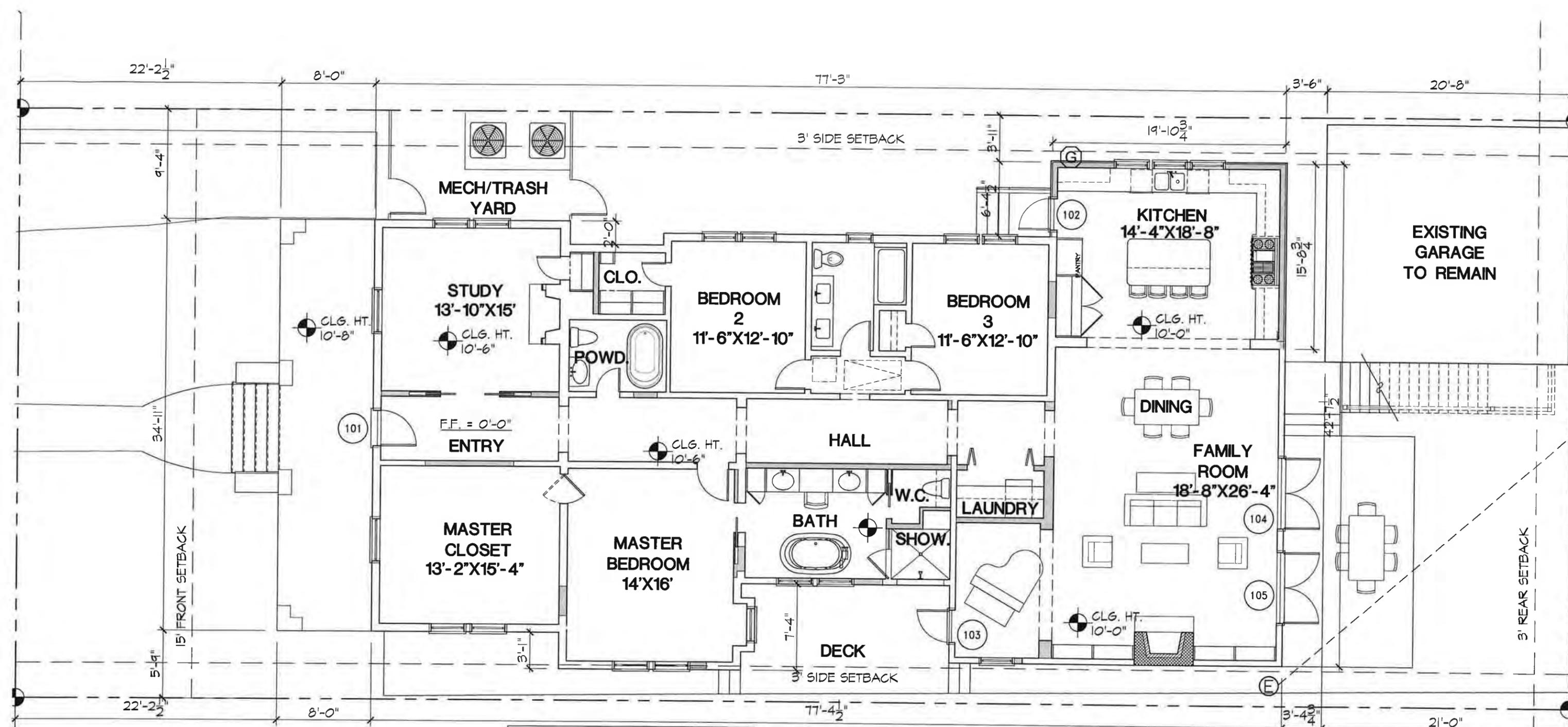
SK-005

NEW ROOF PLAN

EUBANKS GROUP ARCHITECTS
A DIVISION OF ARCOLA, INCORPORATED

PROJECT: ROEMISCH RESIDENCE	SCALE: 1/8"=1'-0"
FILE NAME:	DATE: 8.31.15

DESIGN DEVELOPMENT:	
PRELIMINARY PRICING ISSUE:	14 AUGUST, 2015
DESIGN DEVELOPMENT:	
HAHC ISSUE:	31 AUGUST, 2015



LEGEND:

 INDICATES EXISTING SHELL CONSTRUCTION & FRAMED WALLS

 INDICATES NEW WOOD FRAMING / STRUCTURE

SF CALCULATIONS:

FINISHED:	
EXISTING:	2,500 SF
NEW ADDITION:	300 SF
TOTAL FINISHED SF:	2,800 SF



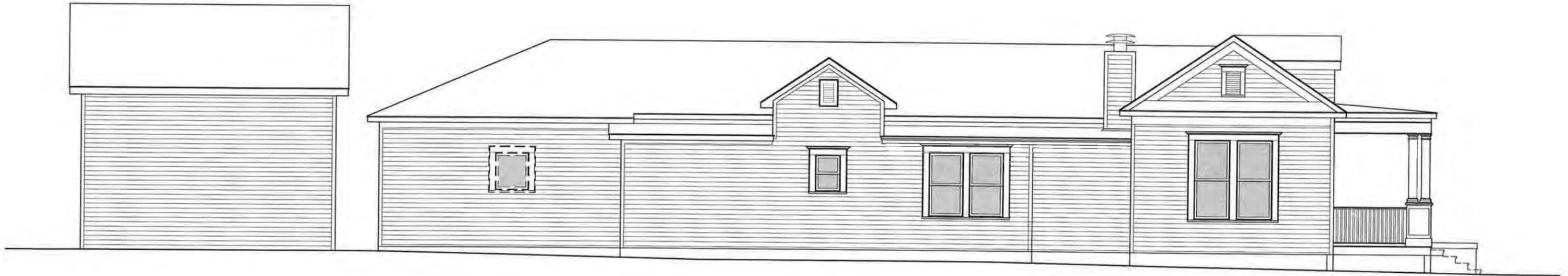
01 NEW FIRST FLOOR PLAN/DIM PLAN
1/8"=1'-0"

SK-006 NEW FIRST FLOOR PLAN

EUBANKS GROUP ARCHITECTS
A DIVISION OF ARCOLA, INCORPORATED

PROJECT: ROEMISCH RESIDENCE SCALE: 1/8"=1'-0"
FILE NAME: DATE: 8.31.15

DESIGN DEVELOPMENT: PRELIMINARY PRICING ISSUE: 14 AUGUST, 2015
DESIGN DEVELOPMENT: HAHC ISSUE: 31 AUGUST, 2015



02 EXISTING NORTH EXTERIOR ELEVATION
1/8"=1'-0"



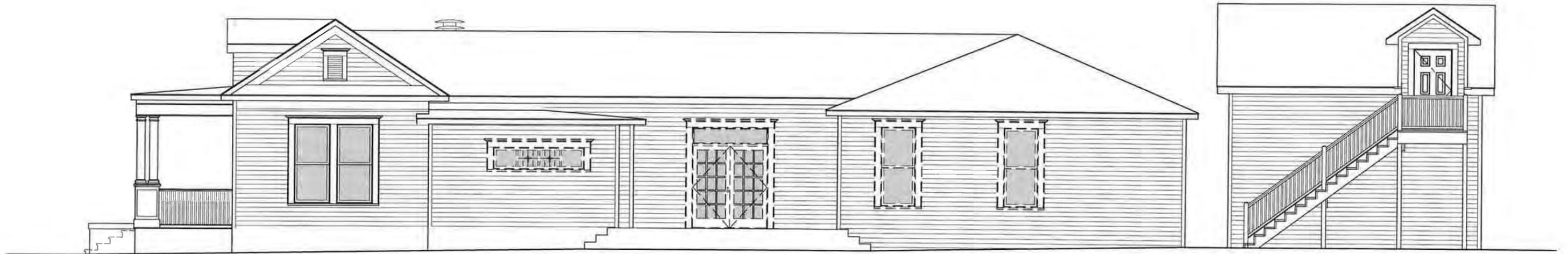
01 EXISTING WEST EXTERIOR ELEVATION
1/8"=1'-0"

SK-007 EXISTING EXTERIOR ELEVATIONS

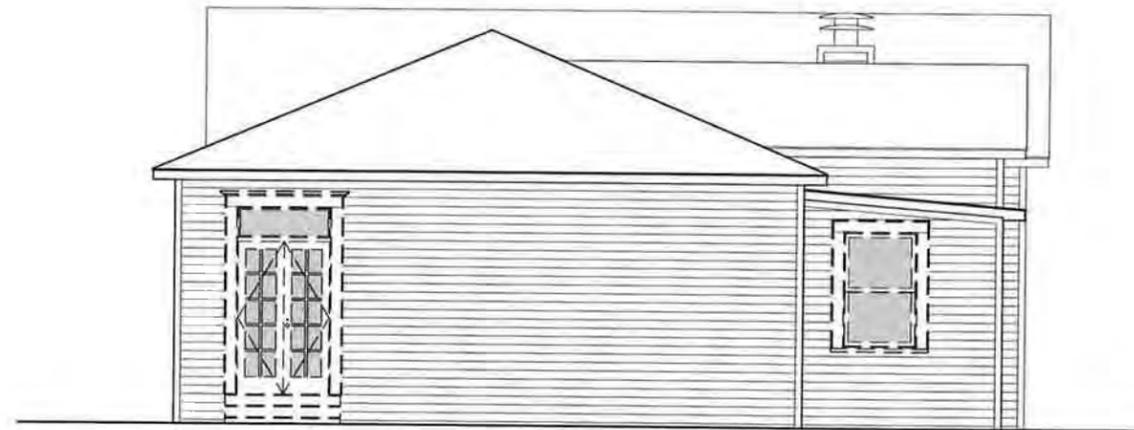
EUBANKS GROUP ARCHITECTS
A DIVISION OF ARCOLA, INCORPORATED

PROJECT: ROEMISCH RESIDENCE	SCALE: 1/8"=1'-0"
FILE NAME:	DATE: 8.31.15

DESIGN DEVELOPMENT:	
PRELIMINARY PRICING ISSUE:	14 AUGUST, 2015
DESIGN DEVELOPMENT:	
HAHC ISSUE:	31 AUGUST, 2015



04 EXISTING SOUTH EXTERIOR ELEVATION
1/8"=1'-0"



03 EXISTING EAST EXTERIOR ELEVATION
1/8"=1'-0"

SK-008

EXISTING EXTERIOR ELEVATIONS

EUBANKS GROUP ARCHITECTS
A DIVISION OF ARCOLA, INCORPORATED

PROJECT: ROEMISCH RESIDENCE	SCALE: 1/8"=1'-0"
FILE NAME:	DATE: 8.31.15

DESIGN DEVELOPMENT:	
PRELIMINARY PRICING ISSUE:	14 AUGUST, 2015
DESIGN DEVELOPMENT:	
HAHC ISSUE:	31 AUGUST, 2015



LEGEND:
 INDICATES NEW ADDITION

02 NEW NORTH EXTERIOR ELEVATION

1/8"=1'-0"



01 NEW WEST EXTERIOR ELEVATION

1/8"=1'-0"

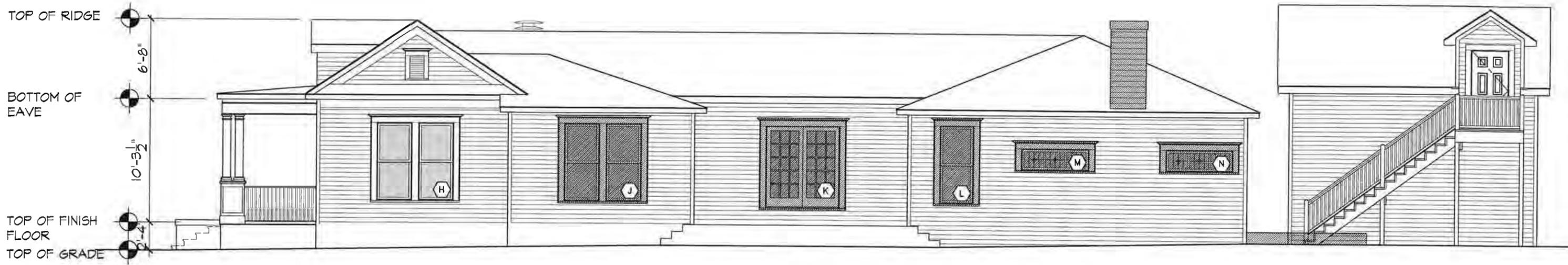
SK-009

NEW EXTERIOR ELEVATIONS

EUBANKS GROUP ARCHITECTS
 A DIVISION OF ARCOLA, INCORPORATED

PROJECT: ROEMISCH RESIDENCE	SCALE: 1/8"=1'-0"
FILE NAME:	DATE: 8.31.15

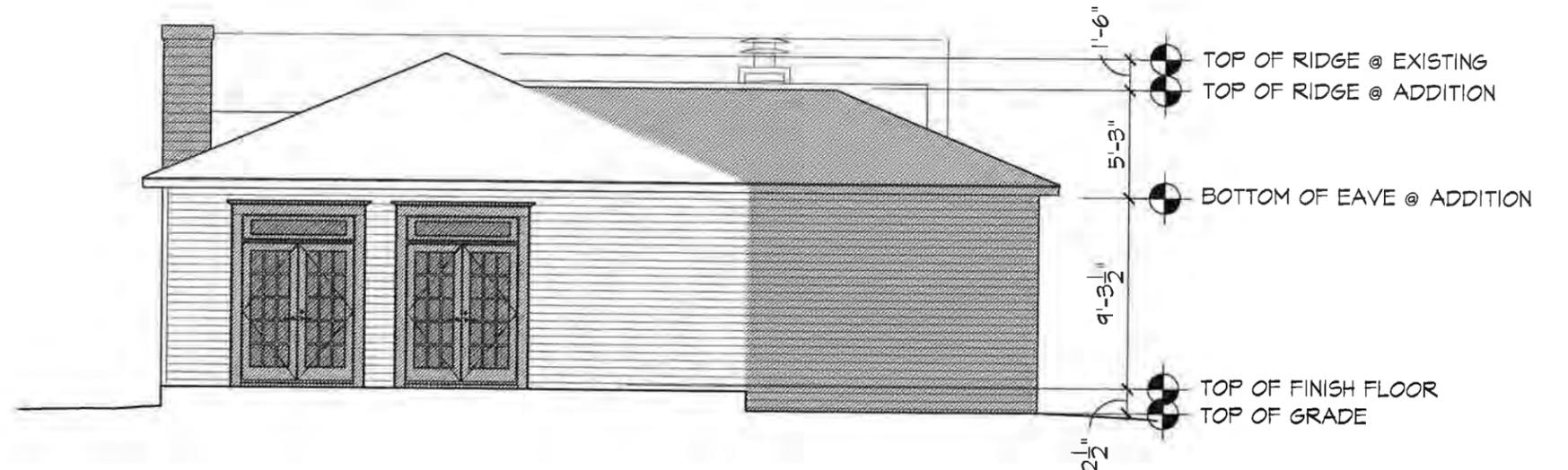
DESIGN DEVELOPMENT:	
PRELIMINARY PRICING ISSUE:	14 AUGUST, 2015
DESIGN DEVELOPMENT:	
HAHC ISSUE:	31 AUGUST, 2015



LEGEND:
 INDICATES NEW ADDITION

04 NEW SOUTH EXTERIOR ELEVATION

1/8"=1'-0"



LEGEND:
 INDICATES NEW ADDITION AND NEW WINDOWS/DOORS

03 NEW EAST EXTERIOR ELEVATION

1/8"=1'-0"

SK-010

NEW EXTERIOR ELEVATIONS

EUBANKS GROUP ARCHITECTS
 A DIVISION OF ARCOLA, INCORPORATED

PROJECT: ROEMISCH RESIDENCE	SCALE: 1/8"=1'-0"
FILE NAME:	DATE: 8.31.15

DESIGN DEVELOPMENT:	
PRELIMINARY PRICING ISSUE:	14 AUGUST, 2015
DESIGN DEVELOPMENT:	
HAHC ISSUE:	31 AUGUST, 2015

DOOR SCHEDULE (RE: FLOOR PLAN FOR KEYS)

MARK	TYPE	DOOR SIZE		REMARKS
		WIDTH	HEIGHT	
101		3'-0"	8'-1"	EXISTING DOOR TO REMAIN; W/ TRANSOM
102		2'-8"	6'-8"	NEW EXTERIOR DOOR
103		2'-8"	6'-8"	NEW EXTERIOR DOOR
104		PR 3'-0"	6'-8"	NEW EXTERIOR DOORS; W/ TRANSOM
105		PR 3'-0"	6'-8"	NEW EXTERIOR DOORS; W/ TRANSOM

02 DOOR SCHEDULE NO SCALE

WINDOW SCHEDULE

MARK	FRAME SIZE		(RE: FLOOR PLAN & ELEVATION FOR KEYS)	
	WIDTH	HEIGHT	MANUFACTURER	REMARKS
A	4'-2"	5'-1"	TBD	NEW WINDOW
B	5'-11"	5'-1"	TBD	NEW WINDOW
C	1'-11"	2'-10"	TBD	EXISTING TO REMAIN
D	5'-11"	5'-1"	TBD	EXISTING TO REMAIN
E	6'-3"	6'-4"	TBD	EXISTING TO REMAIN
F	3'-7"	6'-4"	TBD	EXISTING TO REMAIN
G	3'-7"	6'-4"	TBD	EXISTING TO REMAIN
H	6'-3"	6'-4"	TBD	EXISTING TO REMAIN
J	6'-3"	6'-4"	TBD	NEW WINDOW
K	6'-0"	6'-8"	TBD	NEW WINDOW
L	2'-8"	6'-4"	TBD	NEW WINDOW
M	5'-6"	1'-8"	TBD	NEW WINDOW
N	5'-6"	1'-8"	TBD	NEW WINDOW
P	2'-4"	4'-2"	TBD	EXISTING TO REMAIN

01 WINDOW SCHEDULE NO SCALE

DESIGN DEVELOPMENT:
HAHC ISSUE:

31 AUGUST, 2015

SK-011

WINDOW & DOOR SCHEDULES

EUBANKS GROUP ARCHITECTS
A DIVISION OF ARCOLA, INCORPORATED

PROJECT: ROEMISCH RESIDENCE SCALE: 1/8"=1'-0"
FILE NAME: DATE: 8.31.15

1426 Harvard Street

Existing photos and project
description at areas subject to
proposed work

1426 Harvard – West (front) elevation

(no work proposed for this elevation)



1426 Harvard – East (rear) elevation

Existing pair of French doors to be removed. There will be two new pairs of French doors along this elevation
A new raised deck to align with the finish floor of the house to be added to this elevation



1426 Harvard – North (side) elevation

No changes to original front portion of structure. Small addition toward rear yard – see plans.



1426 Harvard – North (side) elevation (photo taken from rear yard looking toward street)

The double hung window will be removed. Small addition to house in this corner, see plans.



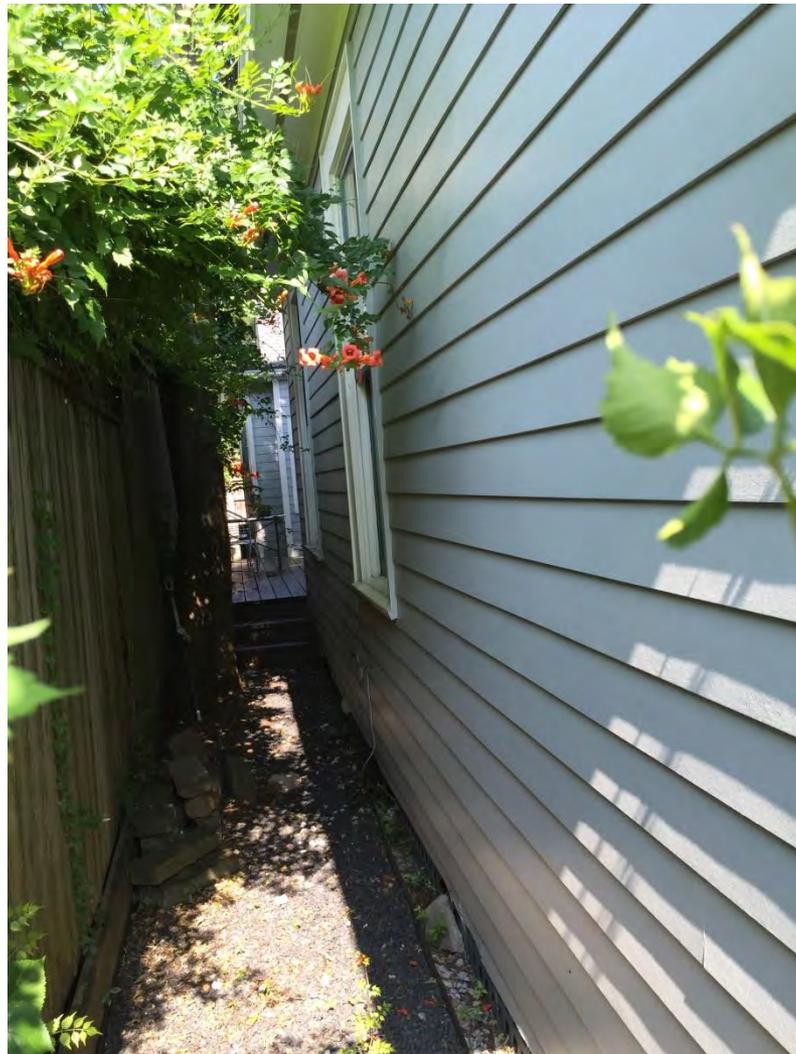
1426 Harvard – North (side) partial elevation

There will be a small addition to the home at the rear of the house along this elevation. See plans.



1426 Harvard – South (side) elevation (photo taken from rear yard looking toward street)

See plans for minor changes to this elevation.



1426 Harvard – South/West elevation

