

# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



PLANNING &  
DEVELOPMENT  
DEPARTMENT

## PROPERTY

Address 717 COLUMBIA STREET  
Historic District / Landmark HOUSTON HEIGHTS SOUTH HCAD # 020253000008  
Subdivision HOUSTON HEIGHTS Lot 8 Block 257

## DESIGNATION TYPE

- Landmark  
 Protected Landmark  
 Archaeological Site  
 Contributing  
 Noncontributing  
 Vacant

## PROPOSED ACTION

- Alteration or Addition  
 Restoration  
 New Construction  
 Relocation  
 Demolition  
 Excavation

## DOCUMENTS

- Application checklist for each proposed action and all applicable documentation listed within are attached

## OWNER

Name Christopher J. Frantz  
Company \_\_\_\_\_  
Mailing Address 717 Columbia Street  
Houston, Texas 77007  
Phone 713-725-1698  
Email [REDACTED]  
Signature [Signature]  
Date August 27, 2015

## APPLICANT (if other than owner)

Name TIMOTHY SCHORRE AIA  
Company MORNINGSIDE ARCHITECTS LLP  
Mailing Address 422A-A BEAURE BLVD  
HOUSTON TX 77025  
Phone 713 851 1147  
Email [REDACTED]  
Signature [Signature]  
Date AUGUST 29, 2015

## ACKNOWLEDGEMENT OF RESPONSIBILITY

**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Deed Restrictions:** You have verified that the work does not violate applicable deed restrictions.

**Public Records:** If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

**Compliance:** If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: \_\_\_\_\_ Application received: \_\_\_/\_\_\_/\_\_\_ Application complete: \_\_\_/\_\_\_/\_\_\_

# CERTIFICATE OF APPROPRIATENESS ALTERATION & ADDITON CHECKLIST



PLANNING &  
DEVELOPMENT  
DEPARTMENT

**Well in advance** of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable items and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-241 for approval criteria for alteration, rehabilitation, restoration and additions.

**PROPERTY ADDRESS:** 717 COLUMBIA STREET.

## BUILDING TYPE

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> single-family residence | <input type="checkbox"/> garage              |
| <input type="checkbox"/> multi-family residence             | <input type="checkbox"/> carport             |
| <input type="checkbox"/> commercial building                | <input type="checkbox"/> accessory structure |
| <input type="checkbox"/> mixed use building                 | <input type="checkbox"/> other               |
| <input type="checkbox"/> institutional building             |  |

## ALTERATION TYPE

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> addition     | <input type="checkbox"/> roof             |
| <input type="checkbox"/> foundation              | <input type="checkbox"/> awning or canopy |
| <input type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign  |
| <input type="checkbox"/> windows or doors        | <input type="checkbox"/> ramp or lift     |
| <input type="checkbox"/> porch or balcony        | <input type="checkbox"/> other            |

## WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work; plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new materials description; attach specification sheets if necessary

## PHOTOGRAPHS label photos with description and location

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

## DRAWINGS scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> current site plan                 | <input checked="" type="checkbox"/> demolition plan                  |
| <input checked="" type="checkbox"/> proposed site plan                | <input checked="" type="checkbox"/> current roof plan                |
| <input checked="" type="checkbox"/> current floor plans               | <input checked="" type="checkbox"/> proposed roof plan               |
| <input checked="" type="checkbox"/> proposed floor plans              | <input checked="" type="checkbox"/> current elevations (all sides)   |
| <input checked="" type="checkbox"/> current window and door schedule  | <input checked="" type="checkbox"/> proposed elevations (all sides)  |
| <input checked="" type="checkbox"/> proposed window and door schedule | <input checked="" type="checkbox"/> perspective and/or line of sight |

## **PROPOSED ADDITION TO 717 COLUMBIA STREET**

### **PROPERTY DESCRIPTION: CURRENT CONDITIONS AND PRIOR ADDITIONS**

The residence, a Contributing Structure within the Houston Heights Historic District South, is a one story building 1,170 square feet in enclosed floor area, of which 825.6 square feet is apparently original construction and 344.9 square feet is apparently a subsequent addition less well constructed than the original. The historic original construction is sound. In 2013 a new two story detached garage with alley access was constructed on the site.

### **PROPOSED WORK**

The current project calls for demolition of the old shed-roofed addition, returning the historic structure to its original footprint. A new two story addition beginning at the back of the original structure will contain 1,046.2 square feet of enclosed floor area on the ground floor and 1,066.9 square feet of enclosed floor area on the second floor.

Retain all original siding and existing Hardi siding at original building. New Hardi siding at new addition to match existing pattern and exposure.

Repair original widows in damaged condition: Replace rotted sash which is found to be irreparable; replace sills which are found to be irreparable; replace exterior trim which is found to be irreparable. New addition to receive new double-pane windows to match the original single-light over-and-under pattern.

The proposed project calls for opening a somewhat larger connection than currently exists, between the original structure and the new addition on the ground floor.

The proposed project calls for a new composition shingle roof at original and new construction.

### **CURRENT BUILDING MATERIAL CONDITIONS**

Foundation: Original

Exterior Walls: Predominantly non-original Hardi siding and Hardi trim. The only existing wall with all original siding is the front-facing wall of the front porch. Most of the exterior walls appear to have original flat clapboard siding with 4" exposure at the top 2-5 courses of the walls; siding below that has been replaced with Hardi siding of a similar exposure.

Windows: All windows on the original structure appear to be original single or double hung units. They have all apparently been repaired in the past, and are currently in varying degrees of disrepair as well. Please see Window Schedule for specific notes on each window.

Door: The original front door is no longer existing, and has been replaced by with a new door.

Porch Trim: Ornamental porch trim is not original.

Roof: Composition shingles

**PROPOSED NEW EXTERIOR MATERIALS**

Foundation: Concrete and reinforced concrete masonry unit foundation blocks (Pier and Beam)

Exterior Walls: Painted Hardi siding/ 4" exposure; Painted Hardi trim to match existing profile

Windows: Jeld Wen insulated glass wood frame double hung single-lite over/under windows to match pattern of existing original windows

Doors: Wood framed glazed door with transom at new back door; Wood framed screened door at new screened porch

Roof: New composition shingle roofing on original building and new addition.



**717 Columbia Street  
Front (East Elevation)**



**717 Columbia Street  
Front / Side , View from Northeast**



**717 Columbia Street  
Side / Rear, View from Northwest**



**717 Columbia Street  
Rear / Side, View from Southwest**



**717 Columbia Street  
Window X1**



**717 Columbia Street  
Window X1 Sill Detail**



**717 Columbia Street  
Window X2a (Right)  
Window X2b (Left)**



**717 Columbia Street  
Window X3**



**717 Columbia Street  
Window X4**



**717 Columbia Street  
Window X6a (Right)  
Window X6b (Left)**



**717 Columbia Street  
Window 5  
Front Door**



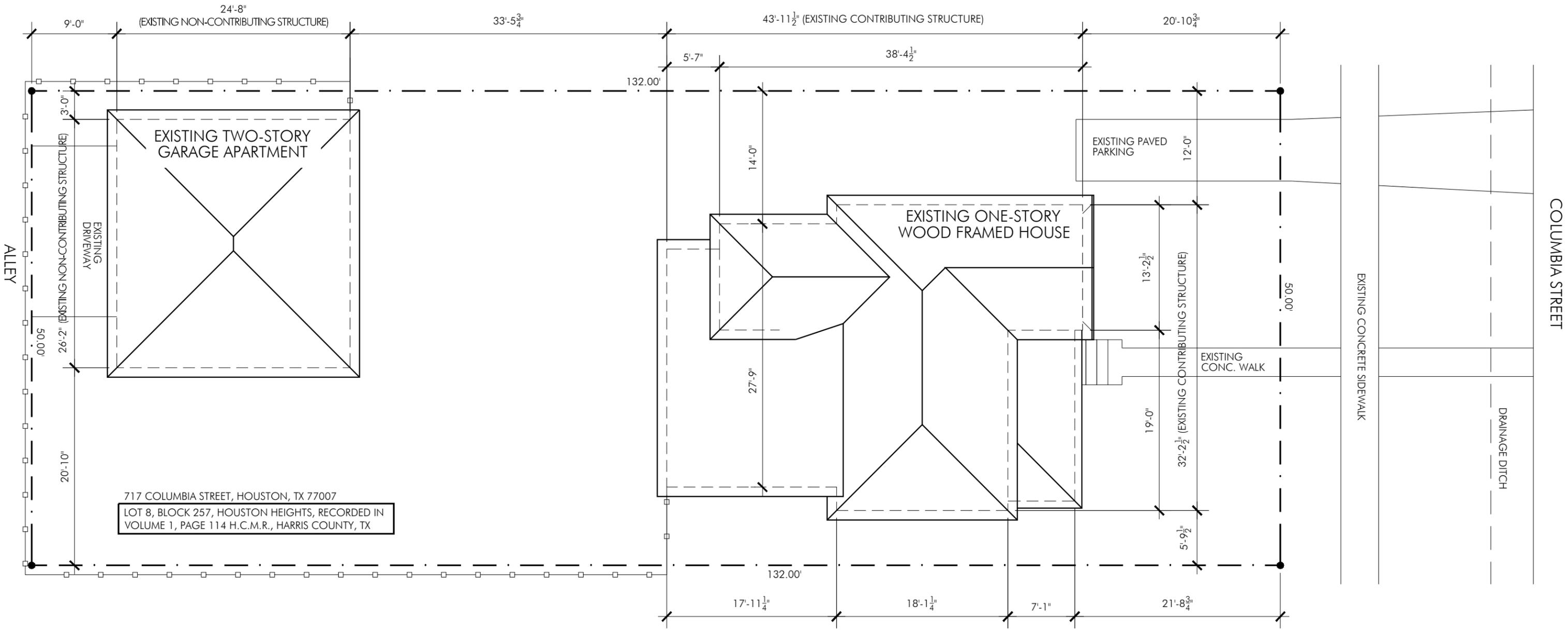
**717 Columbia Street  
Window X7**



**717 Columbia Street  
Window X8**



**717 Columbia Street  
View of New Garage (2013) from Southeast**



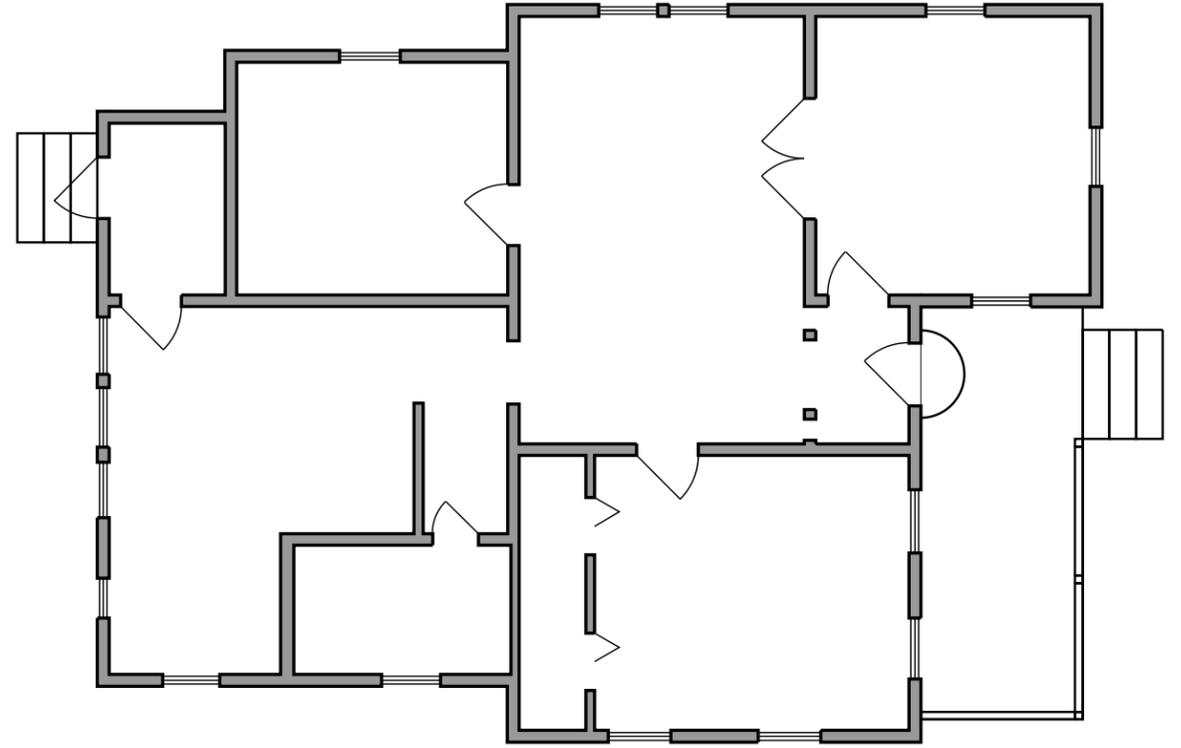
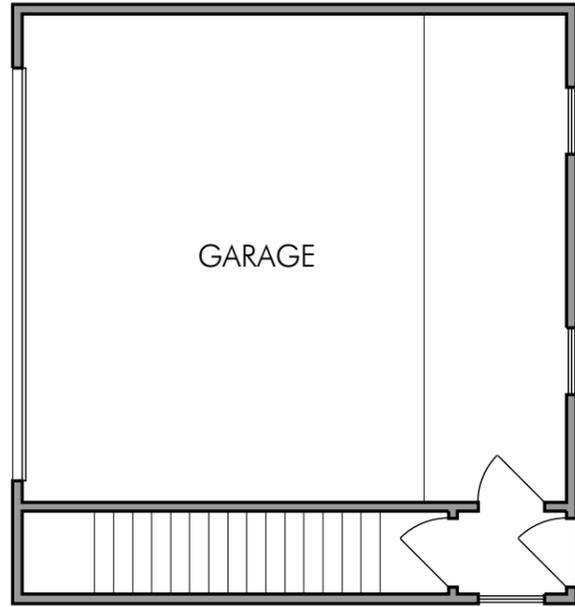
717 COLUMBIA STREET, HOUSTON, TX 77007  
 LOT 8, BLOCK 257, HOUSTON HEIGHTS, RECORDED IN  
 VOLUME 1, PAGE 114 H.C.M.R., HARRIS COUNTY, TX

717 COLUMBIA STREET 08.28.15

DOCUMENT INCOMPLETE: NOT INTENDED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION. TIMOTHY L. SCHORRE REGISTRATION NO. 11065

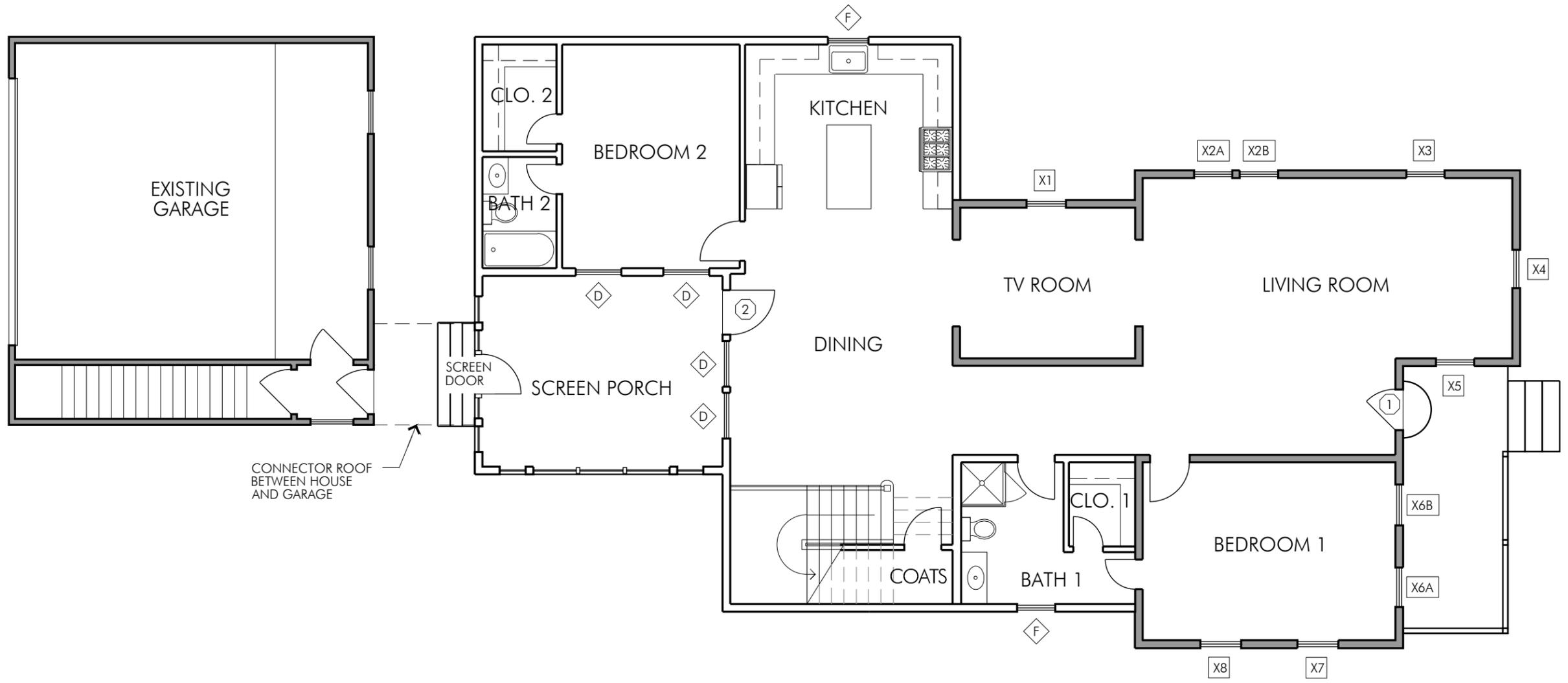
EXISTING SITE PLAN  
 SCALE: 1" = 10'-0" 





EXISTING 1ST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



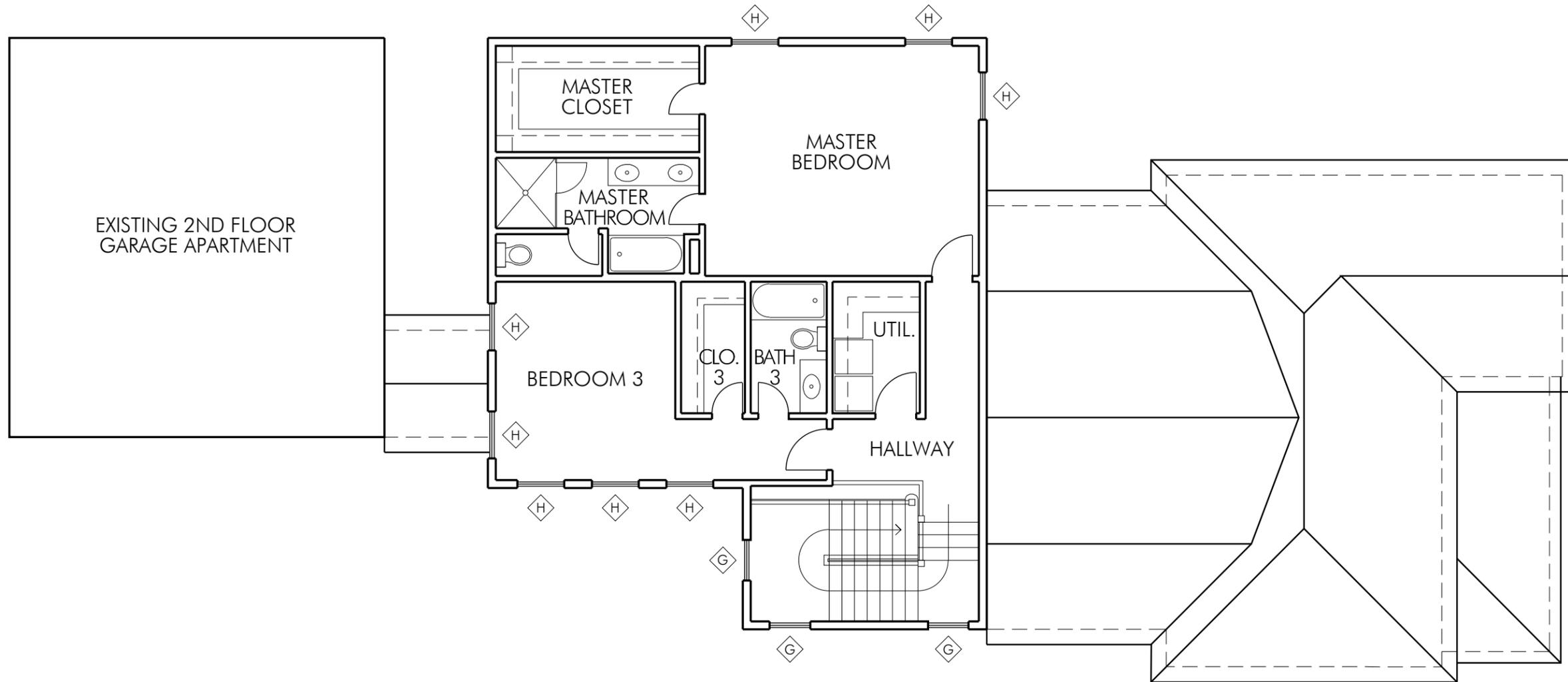


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PROPOSED 1ST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



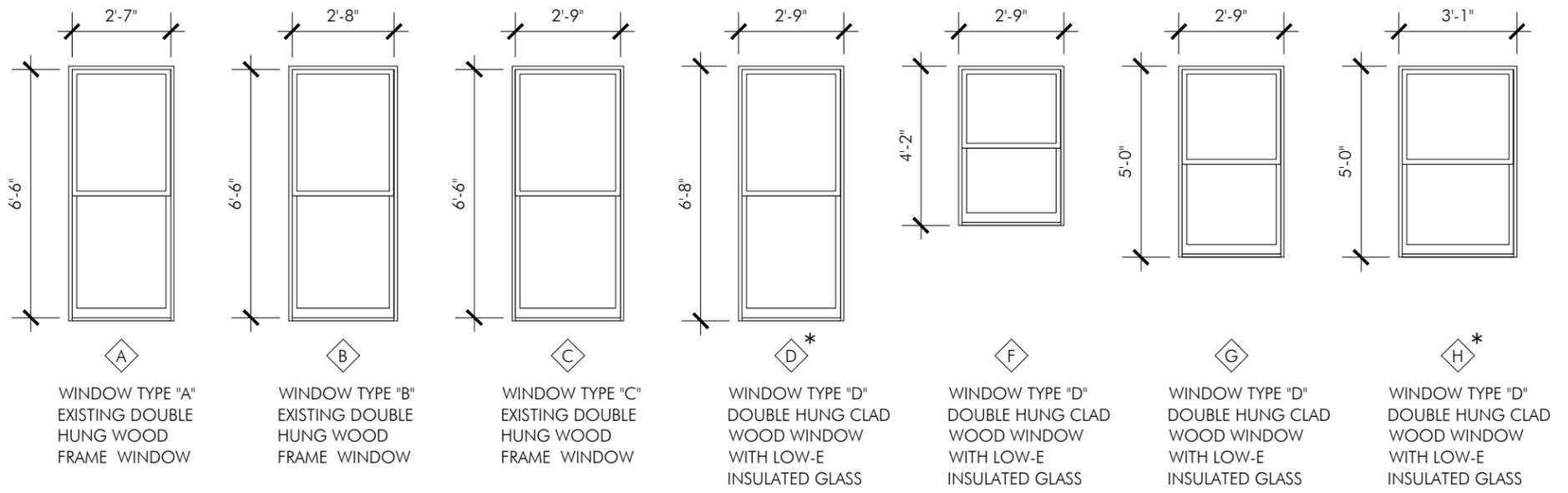


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PROPOSED 2ND FLOOR PLAN  
SCALE: 1/8" = 1'-0"





UNLESS NOTED OTHERWISE ALL WINDOWS "JELD WEN", TRADITION PLUS CLAD-WOOD PRODUCT LINE OR BETTER OR OTHER MANUFACTURER PRODUCT LINE OF EQUAL OR BETTER QUALITY

NEW 1ST FLOOR WINDOWS HEAD HEIGHT TO MATCH EXISTING WINDOW HEAD HEIGHT. 2ND FLOOR WINDOWS HEAD HEIGHT TO MATCH 2ND FLOOR DOOR HEAD HEIGHT (7'-0").

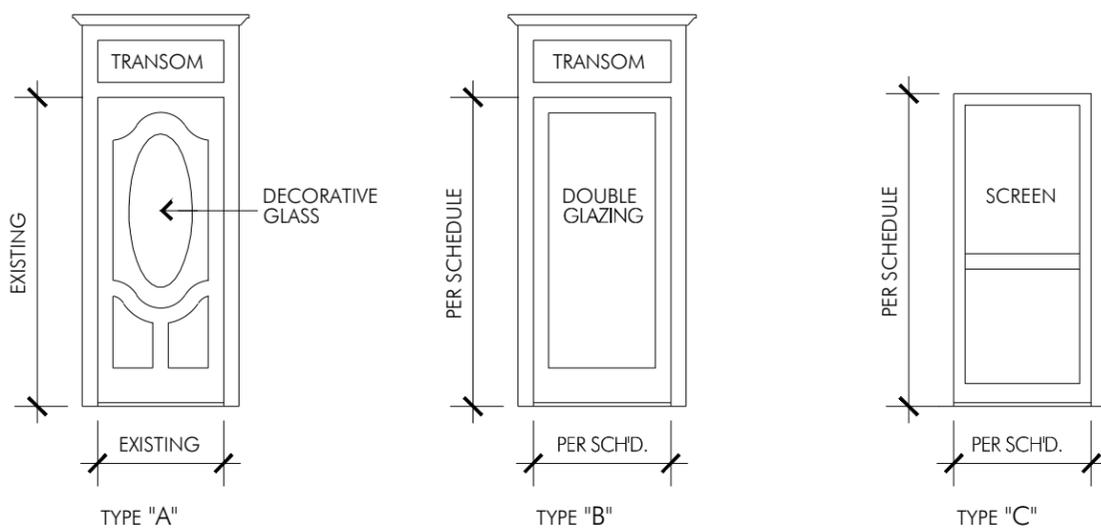
EGRESS WINDOW TO MEET THE FOLLOWING OPENING REQUIREMENTS:

\* MINIMUM CLEAR AREA OF OPENING: 5.7 SF., MINIMUM CLEAR OPENING HEIGHT: 24", MINIMUM CLEAR OPENING WIDTH : 20", PER 2006 IRC R613.2. IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 24 INCHES SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4-INCH-DIAMETER SPHERE CANNOT PASS. CONTRACTOR TO VERIFY WINDOW TYPE "F" WILL COMPLY WITH NOTE ABOVE ON MOUNTING HTS. NOTIFY ARCHITECT IF CONFLICT EXISTS.

## WINDOW TYPES

SCALE: 1/4" = 1'-0"

EXISTING WINDOW SCHEDULE			
NO.	MTR	FINISH	CONDITION
X1	WOOD	PAINTED	VERY POOR, REPLACE WOOD SILL AND LOWER SASH, REPAIR JAMB TRIM, GENERAL REPAIR AND RECONDITION
X2A	WOOD	PAINTED	VERY POOR, REPLACE WOOD SILL AND LOWER SASH, REPAIR JAMB TRIM, GENERAL REPAIR AND RECONDITION
X2B	WOOD	PAINTED	VERY POOR, REPLACE WOOD SILL AND LOWER SASH, REPAIR JAMB TRIM, GENERAL REPAIR AND RECONDITION
X3	WOOD	PAINTED	VERY POOR, REPLACE WOOD SILL AND LOWER SASH, REPAIR JAMB TRIM, GENERAL REPAIR AND RECONDITION
X4	WOOD	PAINTED	VERY POOR, REPLACE WOOD SILL AND LOWER SASH, REPAIR JAMB TRIM, GENERAL REPAIR AND RECONDITION
X5	WOOD	PAINTED	POOR, GENERAL REPAIR AND RECONDITION
X6A	WOOD	PAINTED	POOR, GENERAL REPAIR AND RECONDITION
X6B	WOOD	PAINTED	POOR, GENERAL REPAIR AND RECONDITION
X7	WOOD	PAINTED	POOR, GENERAL REPAIR AND RECONDITION
X8	WOOD	PAINTED	POOR, GENERAL REPAIR AND RECONDITION



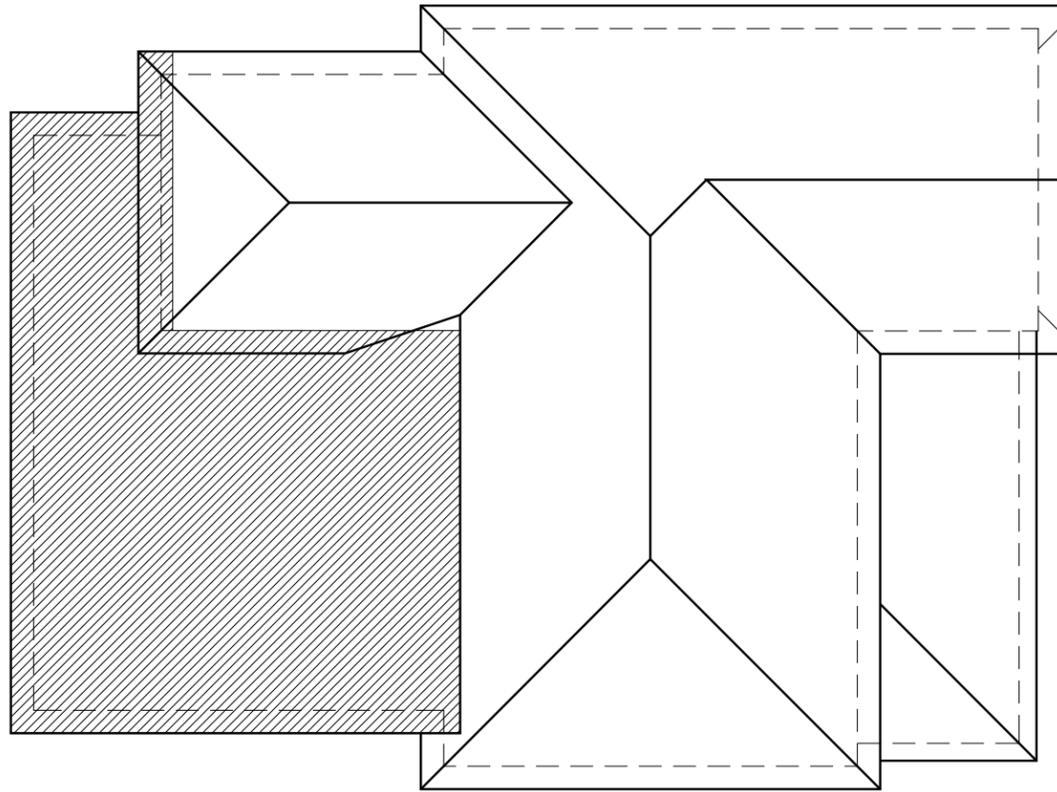
## DOOR TYPES

SCALE: 1/4" = 1'-0"

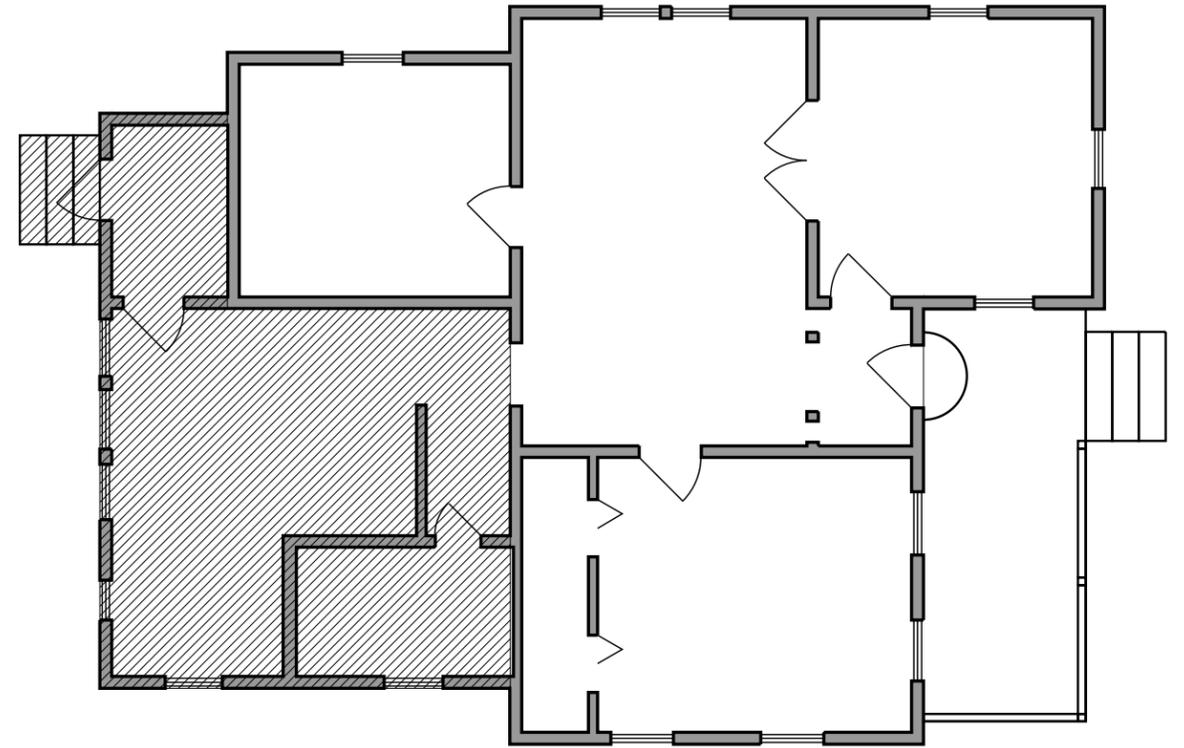
EXTERIOR DOOR SCHEDULE						
NO.	TYPE	WIDTH	HEIGHT	MTR	FINISH	HARDWARE / REMARKS
1	A	2'-8"	6'-8"	WOOD	MFR. CLEAR FINISH	EXISTING WITH TRANSOM ABOVE
2	B	3'-0"	6'-8"	WOOD	PAINTED	FULL LIGHT DOOR WITH TRANSOM ABOVE
3	C	3'-0"	6'-10"	WOOD	PAINTED	WOOD SCREEN DOOR

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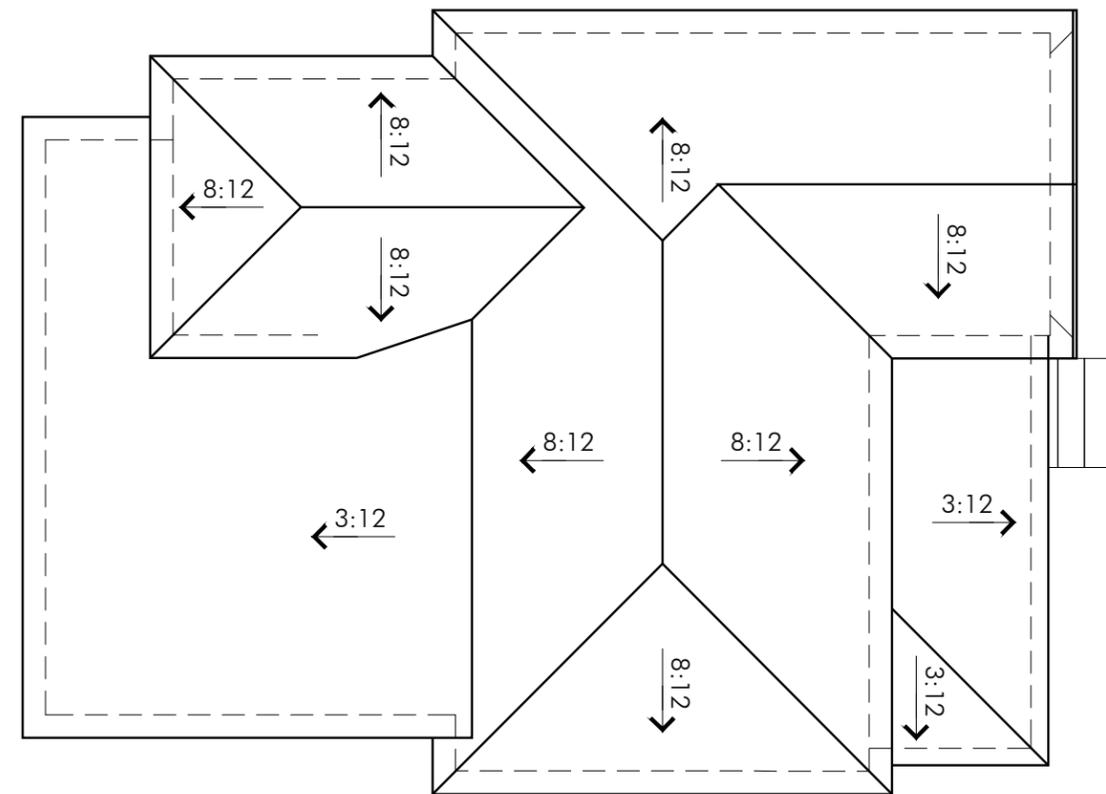
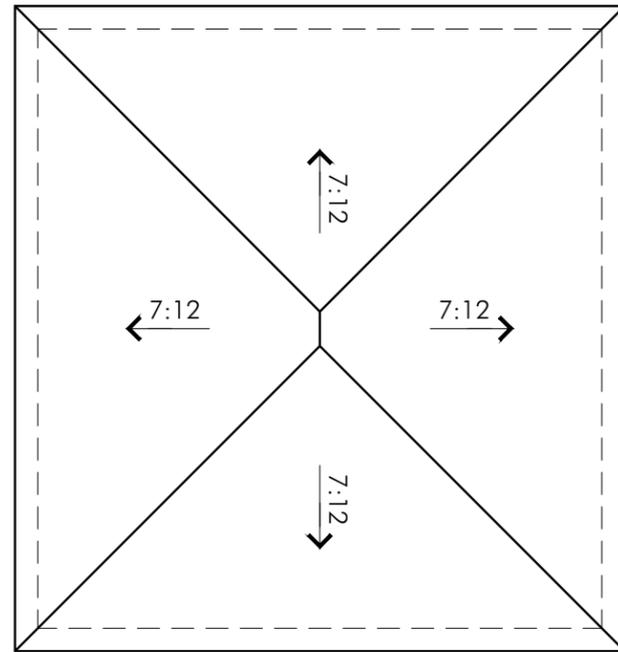


DEMOLITION ROOF PLAN  
(DEMOLITION - HATCHED AREA)  
SCALE: 1/8" = 1'-0"



DEMOLITION FLOOR PLAN  
(DEMOLITION - HATCHED AREA)  
SCALE: 1/8" = 1'-0"



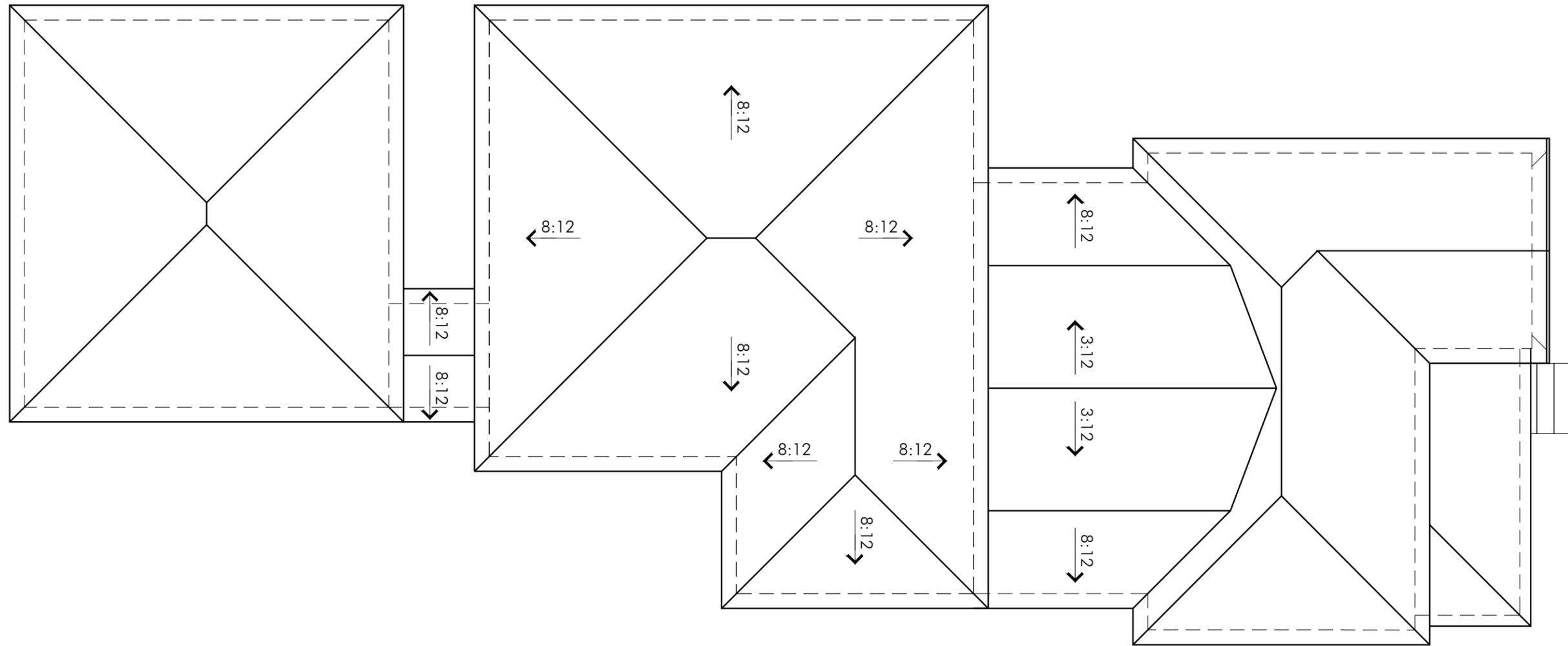


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EXISTING ROOF PLAN  
SCALE: 1" = 10'-0"



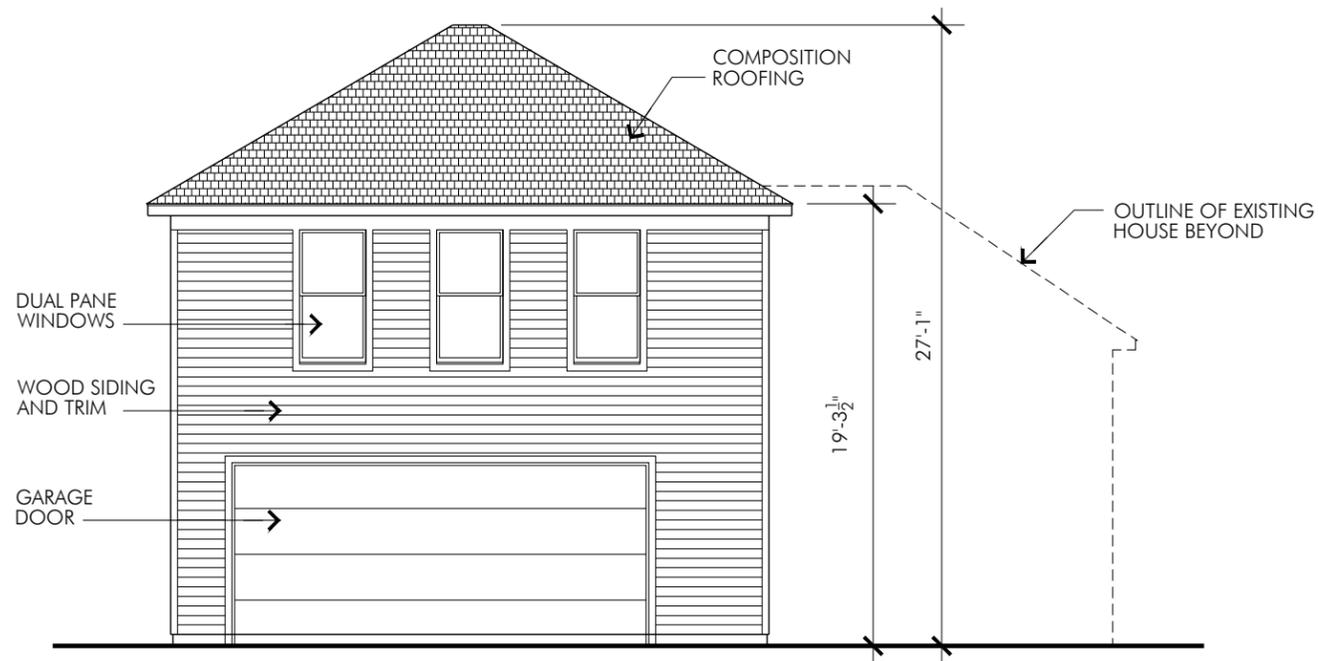


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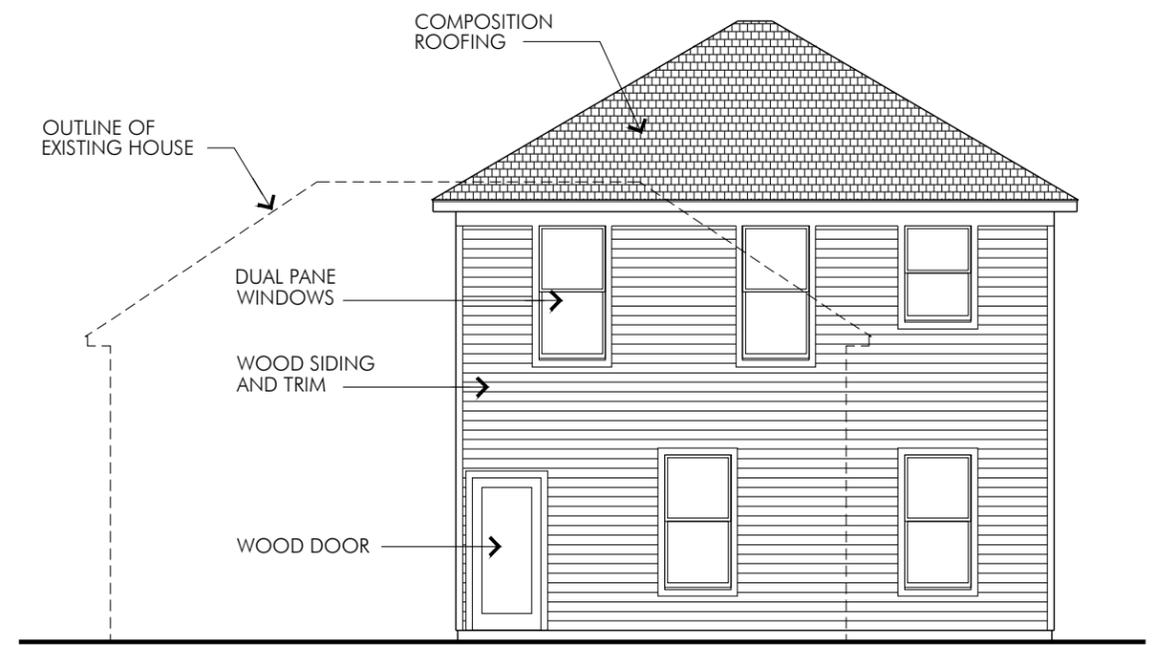
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PROPOSED ROOF PLAN  
SCALE: 1/8" = 1'-0"

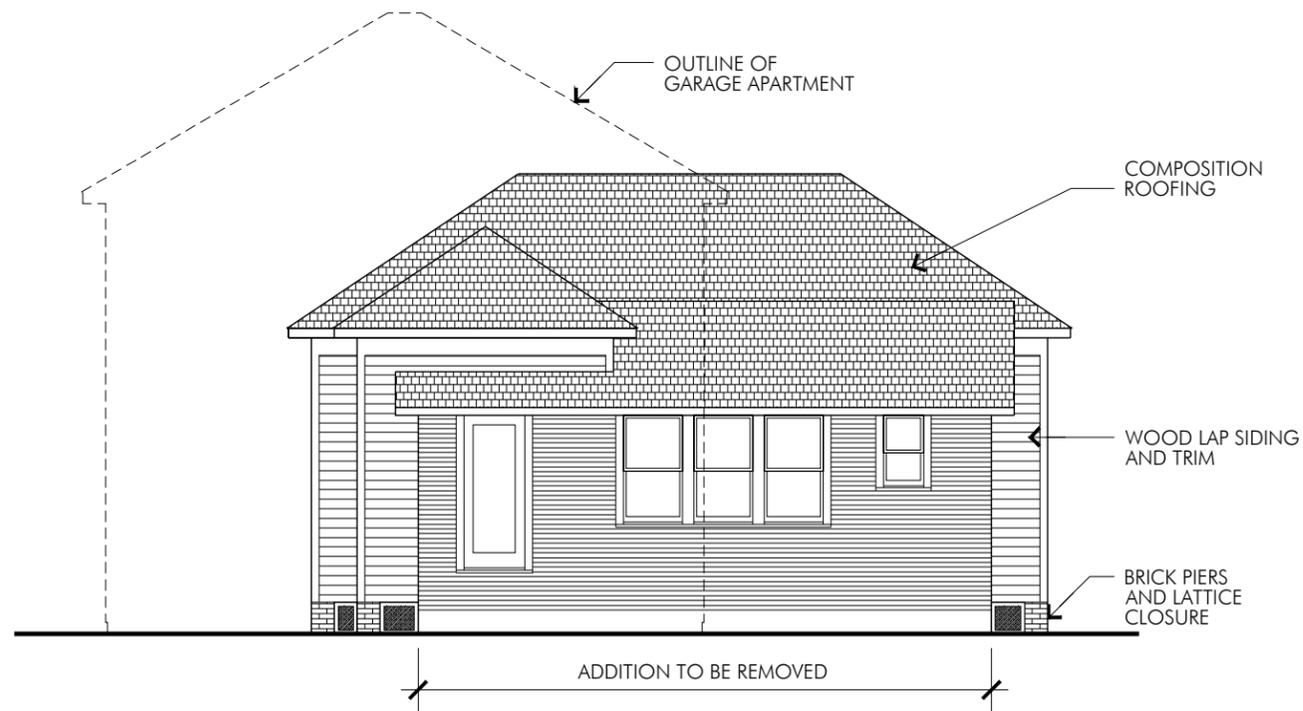




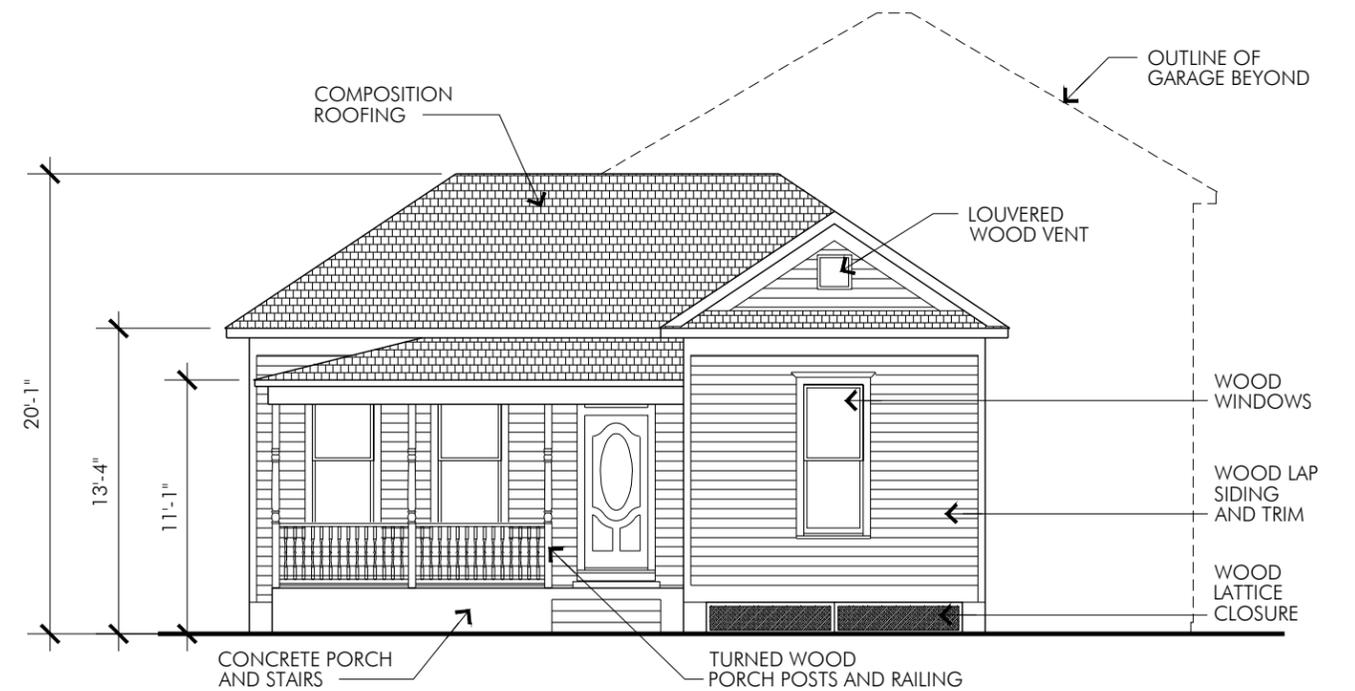
WEST ELEVATION EXISTING GARAGE



EAST ELEVATION EXISTING GARAGE



WEST ELEVATION EXISTING HOUSE



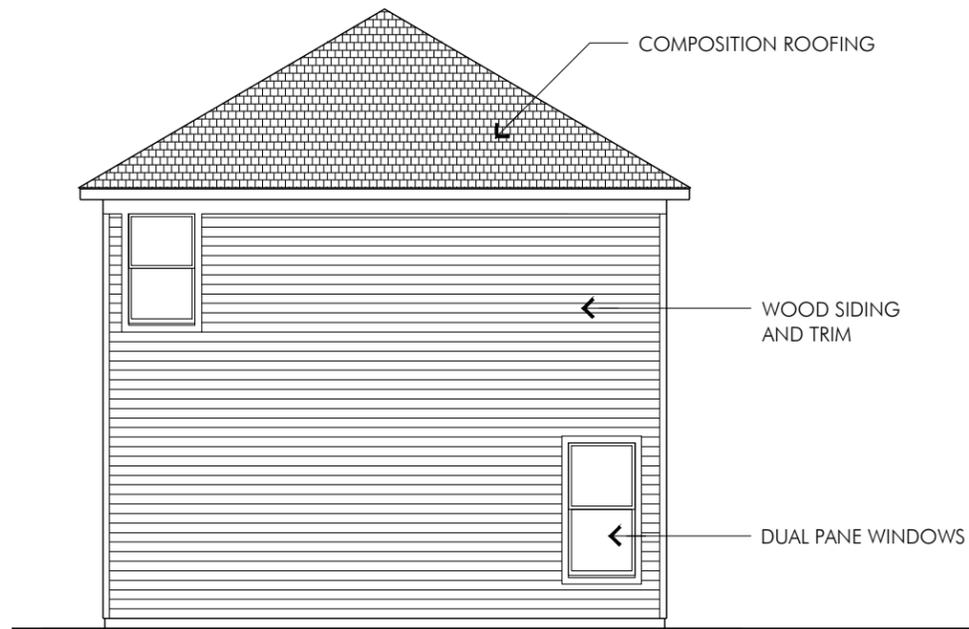
EAST ELEVATION EXISTING HOUSE

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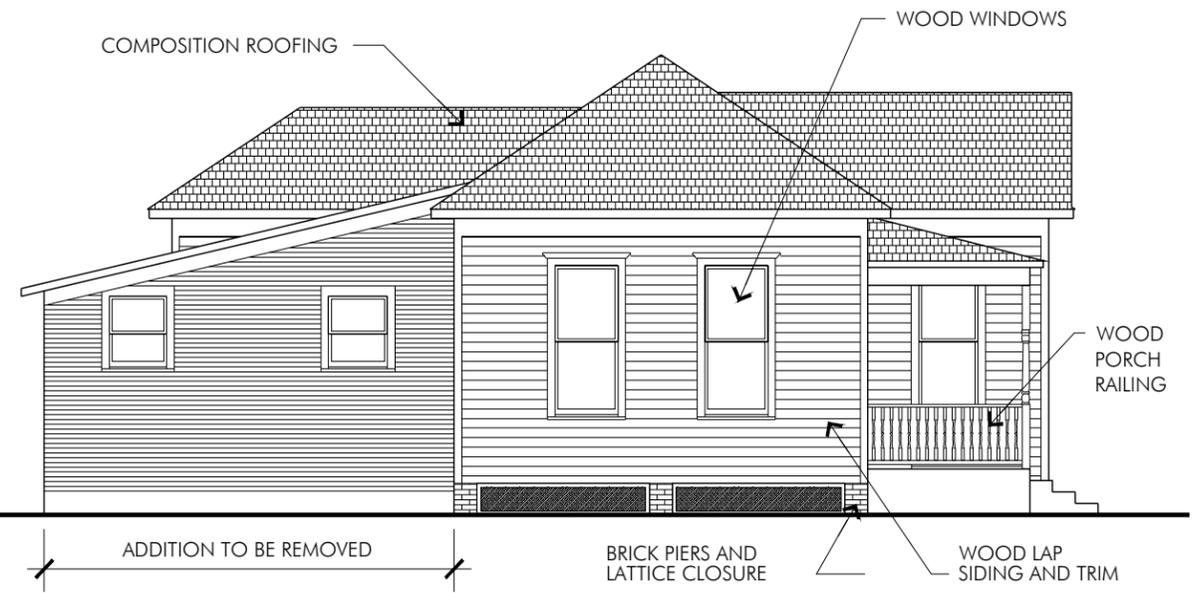
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EXISTING ELEVATIONS

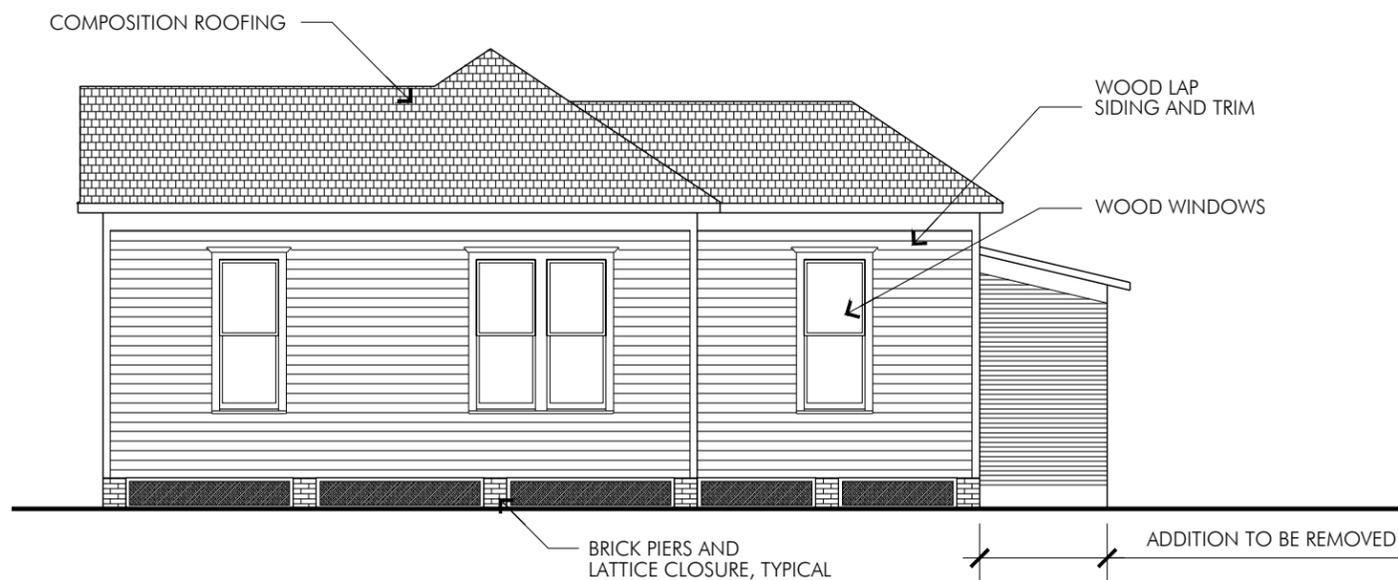
SCALE: 1/8" = 1'-0"



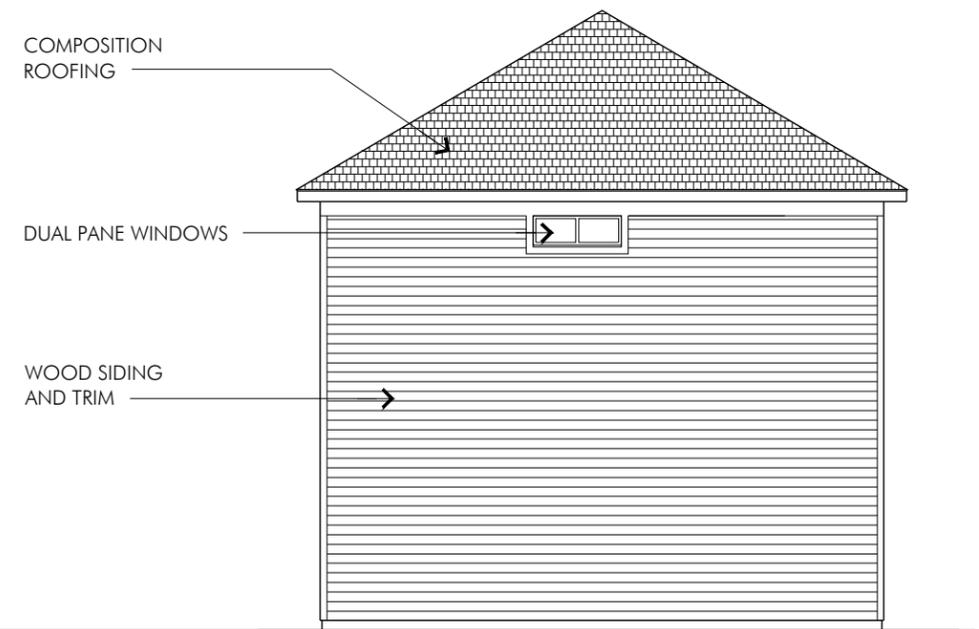
SOUTH ELEVATION EXISTING GARAGE



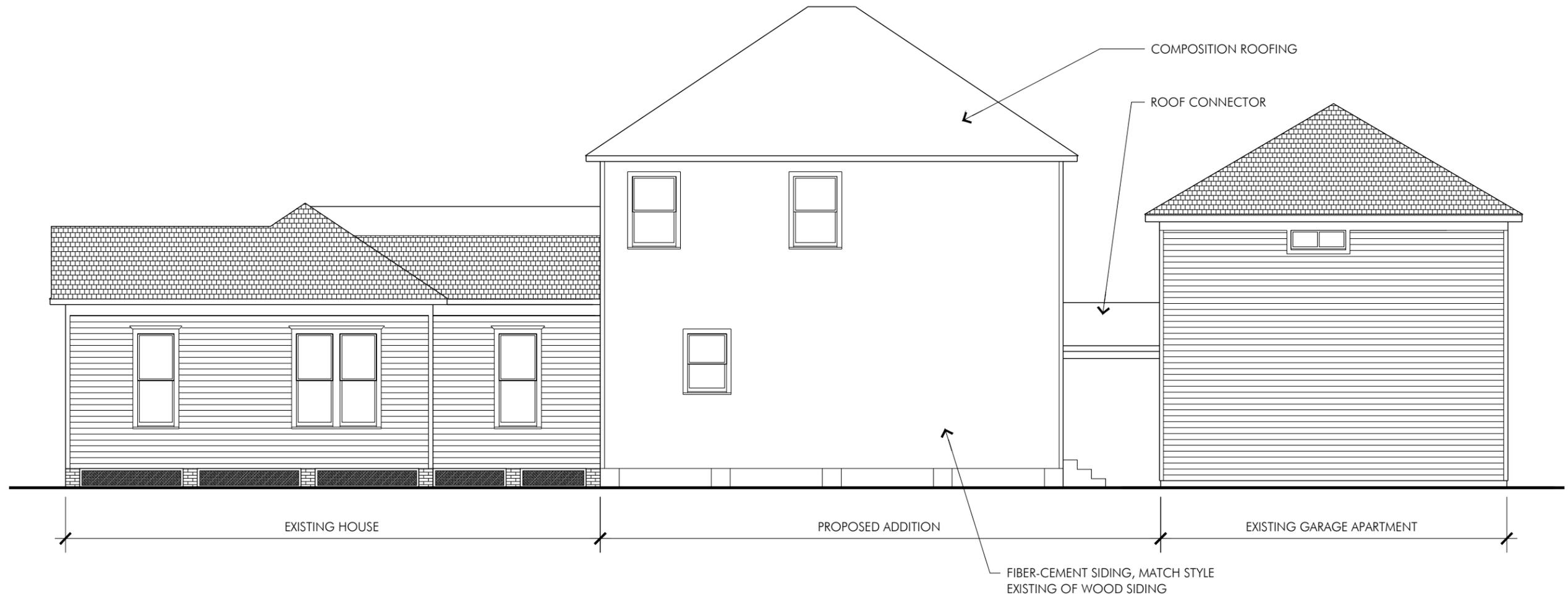
SOUTH ELEVATION EXISTING HOUSE



NORTH ELEVATION EXISTING HOUSE



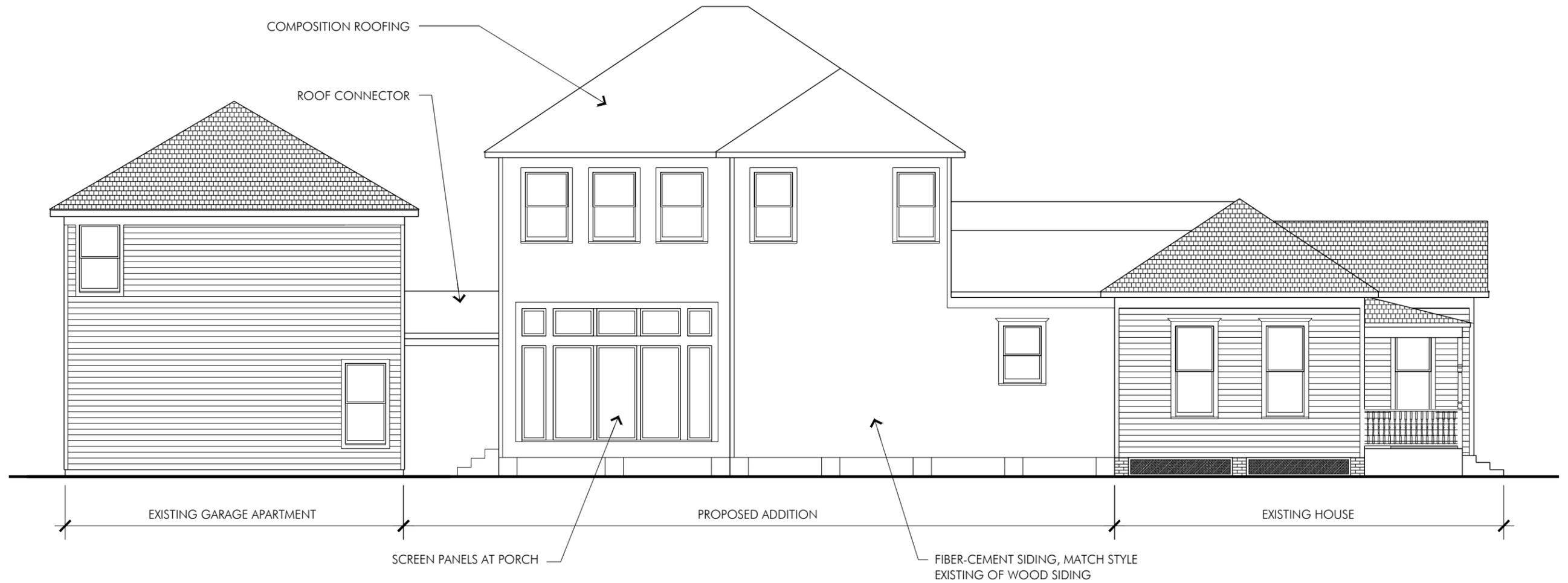
NORTH ELEVATION EXISTING GARAGE



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PROPOSED NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

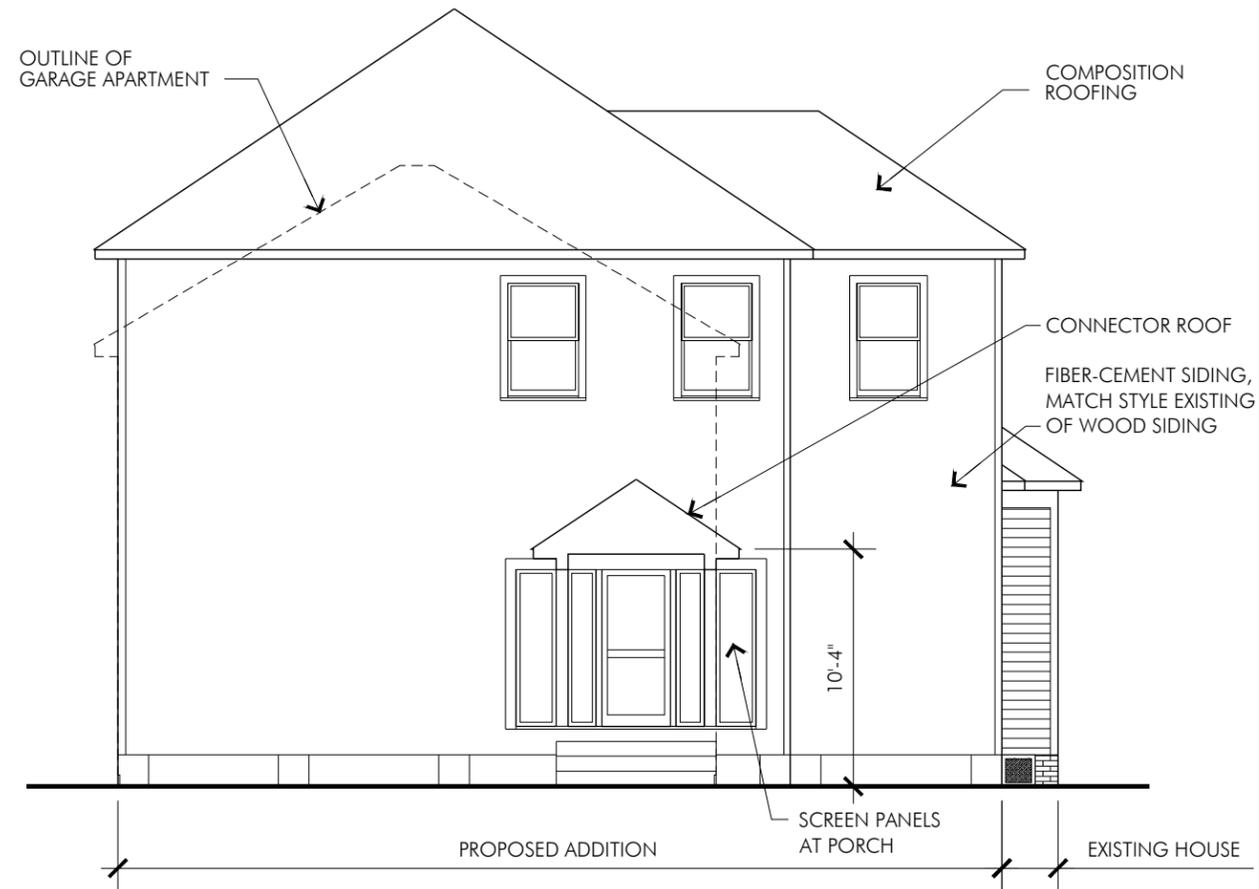


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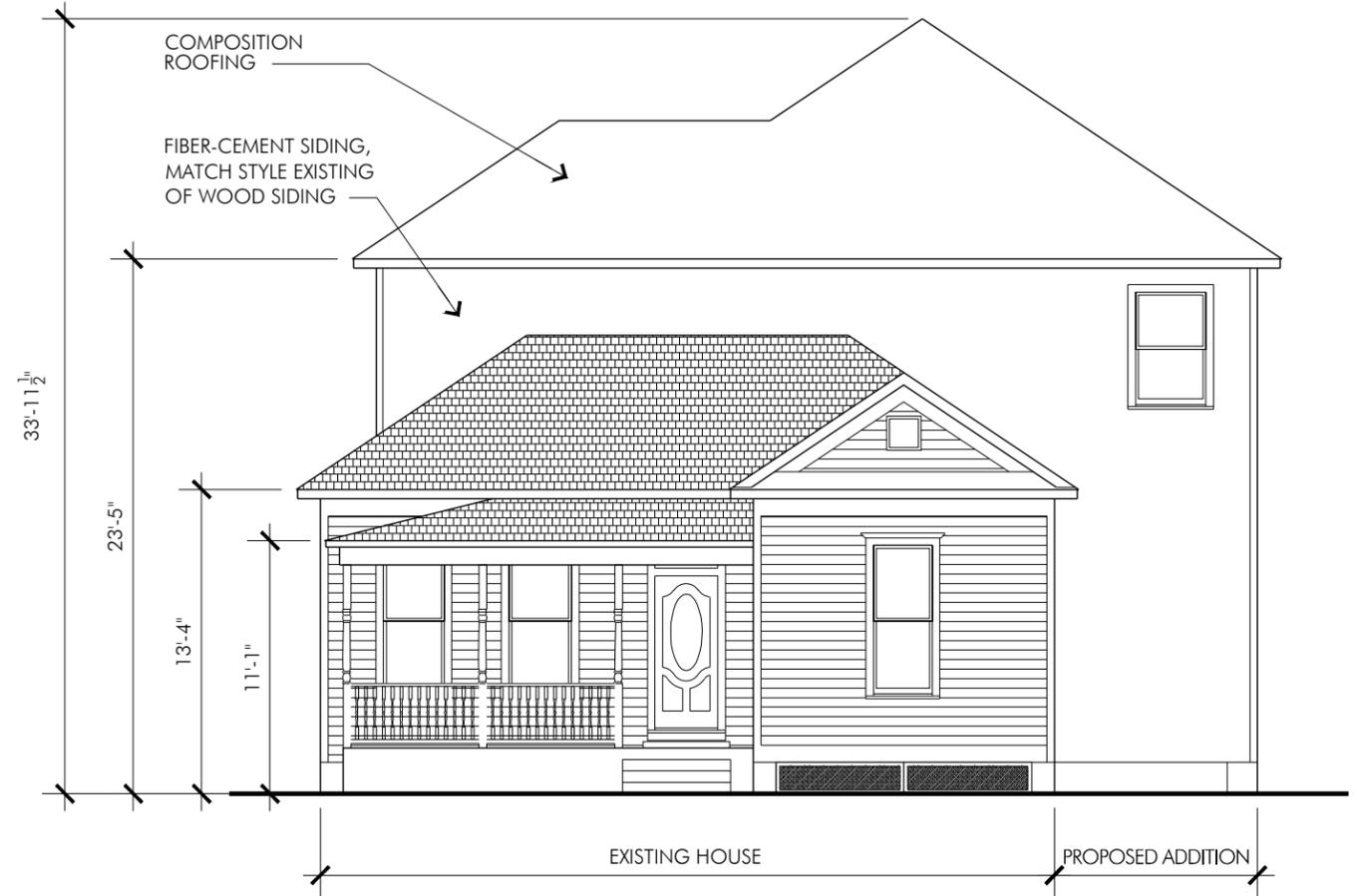
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PROPOSED SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



PROPOSED WEST ELEVATION  
(CUT AT CONNECTOR ROOF)



PROPOSED EAST ELEVATION

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PROPOSED ELEVATIONS  
SCALE: 1/8" = 1'-0"



SOUTHEAST CORNER FROM SIDEWALK



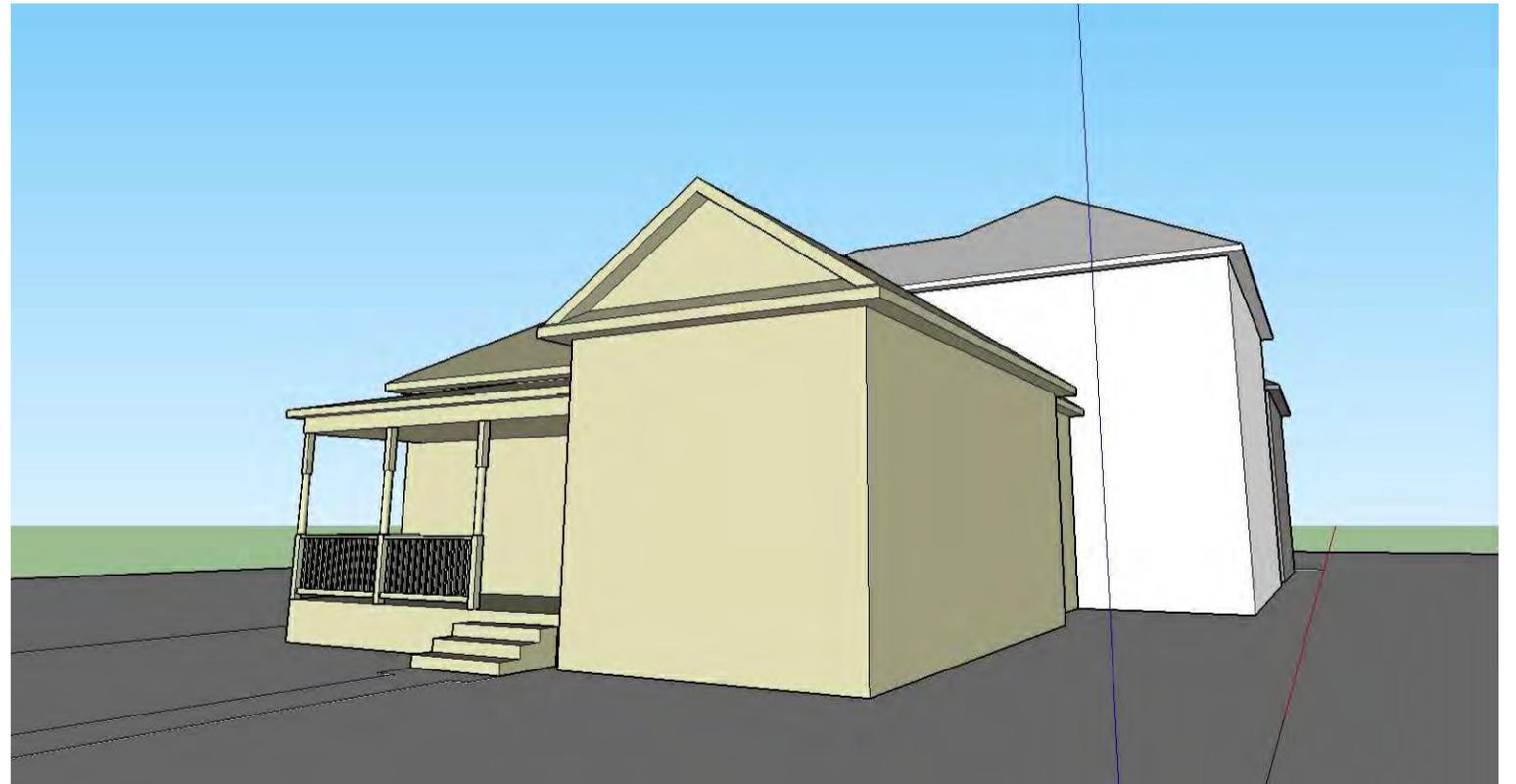
EAST ELEVATION FROM SIDEWALK

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PERSPECTIVE / LINE OF SIGHT DRAWINGS

SCALE: NTS



NORTHEAST CORNER FROM SIDEWALK

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PERSPECTIVE / LINE OF SIGHT DRAWING  
SCALE: NTS

# IMPERVIOUS COVER CALCULATIONS



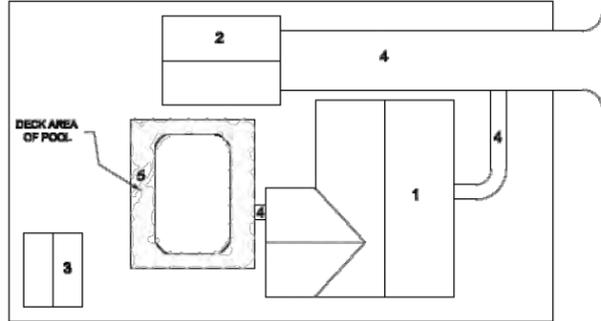
Department of Public Works & Engineering  
Planning & Development Services Division



## CALCULATION OF IMPERVIOUS PERCENTAGE

### FOR USE ON SINGLE FAMILY RESIDENTIAL LOTS OF 15,000 SQUARE FEET IN AREA OR LESS

Single Family Residential lots of 15,000 square feet in area or less with Percent Impervious less than or equal to 75% do not need to provide stormwater detention. This form is a tool to assist customers in determining the amount of impervious area as a percentage on lots 15,000 square feet or less.



This diagram is to identify various items considered impervious.

Surfaces with materials such as pea gravel, permeable pavers or permeable concrete are not considered as impervious.

Project Number: \_\_\_\_\_ Address: 717 Columbia Street, Houston, TX 77007

CALCULATIONS OF IMPERVIOUS AREA PERCENTAGE		
ENTER THE VALUE OF EACH IMPERVIOUS AREA:	SQUARE FEET	ACRES
1. Existing house (including home an block and base/pier and beam)	1,082	0.025
2. Detached garage/carport	751	0.017
3. Accessory structures (connector roof)	43	0.001
4. Driveway/sidewalk	355	0.008
5. Swimming Pool and deck		
6. New addition/structure	1,405	0.032
7. Others		
<b>A. Total area of impervious cover</b>	<b>3,636</b>	<b>0.083</b>
<b>ENTER THE LOT AREA:</b>		
<b>B. Area of lot</b>	<b>6,600</b>	<b>0.152</b>
<b>C. Percentage of ibpervious area: (A ÷ B) X 100 =</b>	<b>55%</b>	<b>55%</b>
If > 65% , detention volume rate of 0.20 cubic feet per square foot of impervious cover is required.		

# CONDITIONED AND COVERED AREA CALCULATIONS

### AIR CONDITIONED AREA:

EXISTING TO REMAIN	826 SQ. FT.
NEW ADDITION 1ST FLOOR	1,081 SQ. FT.
NEW ADDITION 2ND FLOOR	1,116 SQ. FT.
<b>TOTAL</b>	<b>3,023 SQ. FT.</b>

### TOTAL COVERED SPACE (INCLUDING GARAGES AND PORCHES)

The numbers below reflect the total covered floor area, including porches. They do not include the driveway and sidewalks. Therefore, the numbers below do not represent the same footprint areas used for the impervious area calculations.

A. EXISTING Including porches	2,589 SQ. FT.	equals minus
B. DEMOLITION OF EXISTING COVERED SPACE Demolition of portion of covered space	345 SQ. FT.	
C. EXISTING COVERED SPACE TO REMAIN Includes area of existing covered space to remain after demolition and prior to new construction	2,244 SQ. FT.	equals plus
D. NEW CONSTRUCTION Includes new conditioned space	2,468 SQ. FT.	
E. TOTAL COVERED SPACE Includes all covered space after completion of addition and renovation (C + D)	4,712 SQ. FT.	equals