

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



**PLANNING &
DEVELOPMENT
DEPARTMENT**

PROPERTY

Address 1115 Jerome St Houston, TX 77009
 Historic District / Landmark Norhill HCAD # 062-080-002-0013
 Subdivision North Norhill Lot 13 Block 102

DESIGNATION TYPE

- Landmark
- Protected Landmark
- Archaeological Site
- Contributing
- Noncontributing
- Vacant

PROPOSED ACTION

- Alteration or Addition
- Restoration
- New Construction
- Relocation
- Demolition
- Excavation

DOCUMENTS

Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name Victor Andrade
 Company Andrade Custom Builders
 Mailing Address 2710 Ladin Dr
Houston, TX 77039
 Phone 281-386-6572
 Email [REDACTED]
 Signature [Signature]
 Date 8-26-16

APPLICANT (if other than owner)

Name _____
 Company _____
 Mailing Address _____
 Phone _____
 Email _____
 Signature _____
 Date _____

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____ Application received: ___/___/___ Application complete: ___/___/___

Written Description of the Kinley House

The SQFT of the home is 3847

The Property is 2 levels

The foundation is a pier and beam

The home will have siding on the outside

The roof will be a composition roof.

The windows will be Tradition plus wood double hung Auralast Pine, Primed Exterior, White Jambliner, white hardware, attached info on them

The front door will be a mahogany door

1115 Jerome



1115 Jerome



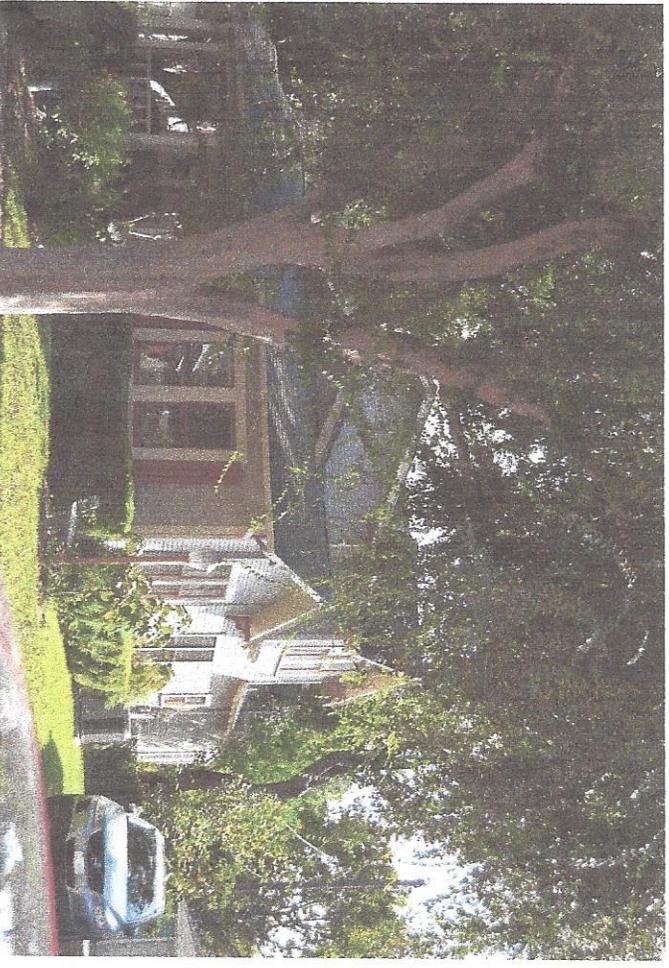
neighbors



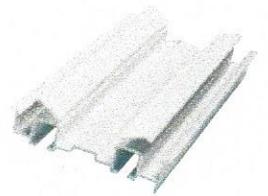
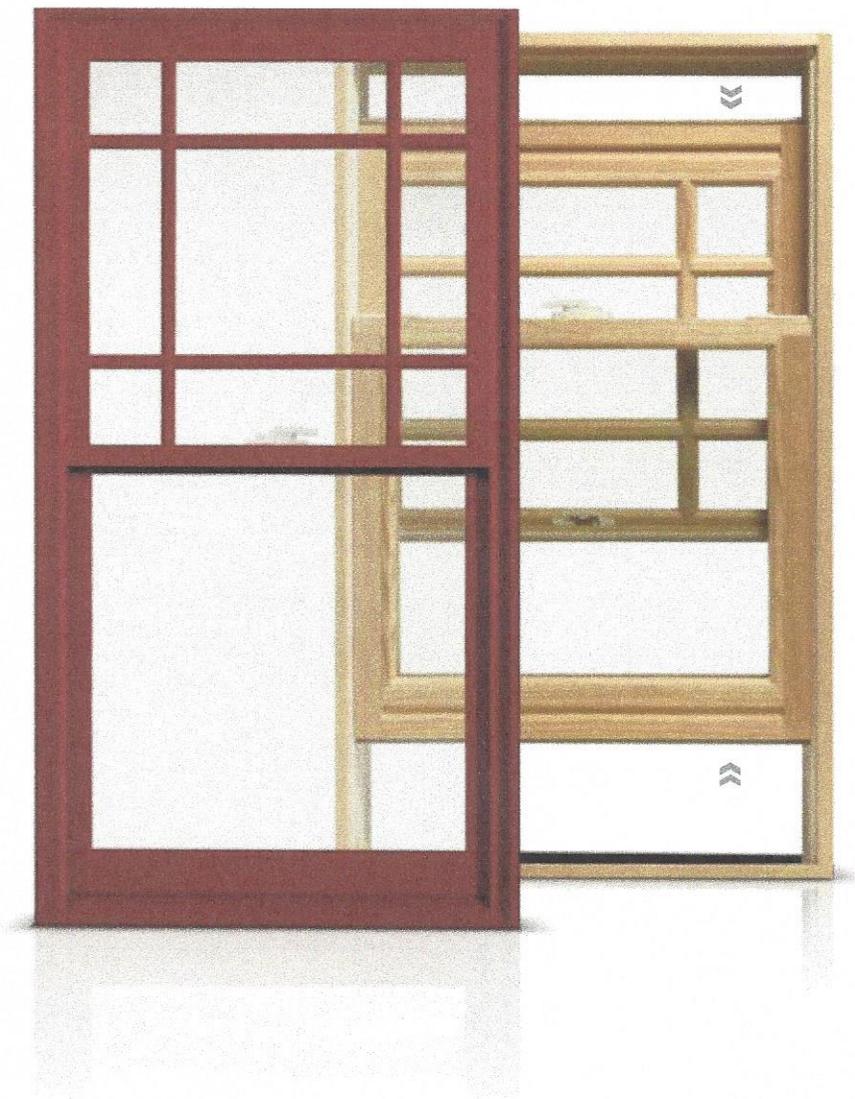
Next door
Neighbors



seen



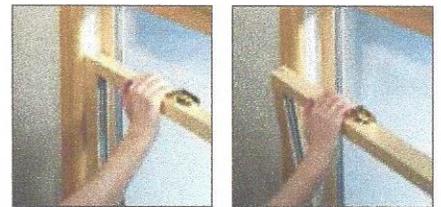
DOUBLE-HUNG WINDOWS



Primed wood double-hung windows are equipped with Flex-Hinge® jamb liners, which provide consistent ease of operation.



Sashlock in Antique Brass



Sashes tilt in for easy cleaning.

These windows are best suited to traditional architectural styles. Double-hung windows feature an upper and lower sash that slide vertically past each other in a single frame. Both sashes tilt in for convenient cleaning.

Standard Hardware Finishes*



White



Desert Sand



Chestnut Bronze

Optional Hardware Finishes*



Brushed Chrome



Polished Brass



Antique Brass



Oil-Rubbed Bronze

*Actual colors may vary from the samples displayed.

Norandex Distribution
 489 W. 38th Street
 Houston, TX 77018
 Phone: 7136914111



QUOTE BY: JBD

QUOTE #: JJBD00322

SOLD TO: Andrade Custom Homes

SHIP TO:

PROJECT NAME: 1115 Jerome St

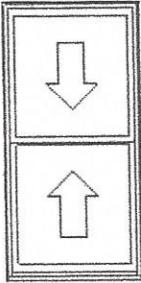
PO#:

REFERENCE: Jeldwen Wood

Ship Via: Ground/Next Truck

LINE NO.	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
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Line-1 study
 Rough Opening: 36 1/8 X 72

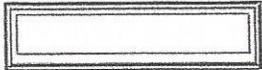


Viewed from Exterior. Scale: 1/4" = 1'

Frame Size : 35 3/8 X 71 1/4
 (Outside Casing Size: 38 X 73 1/16),
 Tradition Plus Wood Double Hung, Auralast Pine,
 Primed Exterior, Compression Jambliner & No Tilt Latches,
 Natural Interior,
 Brick Mould, Standard Sill Nosing,
 4 9/16 Jamb,
 White Jambliner,
 White Hardware,
 BetterVue Mesh Brilliant White Screen,
 US National-WDMA/ASTM, PG 25
 Insulated Low-E 366 Annealed Glass, Preserve Film, Argon Filled,
 Clear Opening:32w, 31.5h, 7 sf

U-Factor: 0.30, SHGC: 0.20, VLT: 0.48, CPD: JEL-N-578-00817-00001
 PEV 2014.4.1.1193/PDV 6.192 (12/10/14) CW

Line-2 foyer
 Rough Opening: 67 1/2 X 18 3/4

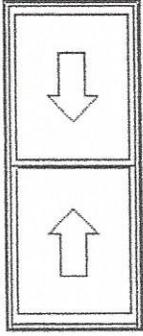


Viewed from Exterior. Scale: 1/4" = 1'

TWDT6618
 Frame Size : 66 3/4 X 18
 (Outside Casing Size: 69 3/8 X 19 13/16),
 Tradition Plus Wood Fixed Auralast Pine,
 Insash Double Hung Product,
 Primed Exterior,
 Natural Interior,
 Brick Mould, Standard Sill Nosing,
 4 9/16 Jamb,
 Insulated Low-E 366 Annealed Glass, Preserve Film, Argon Filled,
 U-Factor: 0.29, SHGC: 0.21, VLT: 0.51, CPD: JEL-N-737-00823-00001
 PEV 2014.4.1.1193/PDV 6.192 (12/10/14) CW

LINE NO.	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
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Line-3 dining
Rough Opening: 36 1/8 X 84

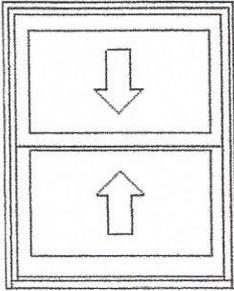


Viewed from Exterior. Scale: 1/4" = 1'

Frame Size : 35 3/8 X 83 1/4
(Outside Casing Size: 38 X 85 1/16),
Tradition Plus Wood Double Hung, Auralast Pine,
Primed Exterior, Compression Jambliner & No Tilt Latches,
Natural Interior,
Brick Mould, Standard Sill Nosing,
4 9/16 Jamb,
White Jambliner,
White Hardware,
BetterVue Mesh Brilliant White Screen,
US National-WDMA/ASTM, PG 15
Insulated Low-E 366 Annealed Glass, Preserve Film, Argon Filled,
Clear Opening:32w, 37.5h, 8.3 sf

U-Factor: 0.30, SHGC: 0.20, VLT: 0.48, CPD: JEL-N-578-00817-00001
PEV 2014.4.1.1193/PDV 6.192 (12/10/14) CW

Line-4 butlers pantry
Rough Opening: 30 1/8 X 37 1/4



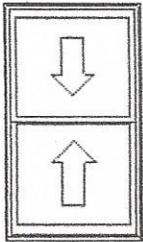
Viewed from Exterior. Scale: 1/2" = 1'

TWD2936
Frame Size : 29 3/8 X 36 1/2
(Outside Casing Size: 32 X 38 5/16),
Tradition Plus Wood Double Hung, Auralast Pine,
Primed Exterior, Compression Jambliner & No Tilt Latches,
Natural Interior,
Brick Mould, Standard Sill Nosing,
4 9/16 Jamb,
White Jambliner,
White Hardware,
BetterVue Mesh Brilliant White Screen,
US National-WDMA/ASTM, PG 25
Insulated Low-E 366 Annealed Glass, Preserve Film, Argon Filled,
Clear Opening:26w, 14.1h, 2.5 sf

U-Factor: 0.30, SHGC: 0.20, VLT: 0.48, CPD: JEL-N-578-00817-00001
PEV 2014.4.1.1193/PDV 6.192 (12/10/14) CW

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Line-5 breakfast, family, master
Rough Opening: 36 1/8 X 61 1/4

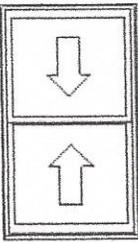


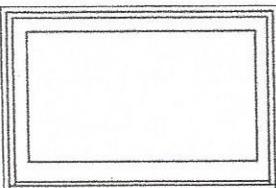
Viewed from Exterior. Scale: 1/4" = 1'

TWD3560
Frame Size : 35 3/8 X 60 1/2
(Outside Casing Size: 38 X 62 5/16),
Tradition Plus Wood Double Hung, Auralast Pine,
Primed Exterior, Compression Jambliner & No Tilt Latches,
Natural Interior,
Brick Mould, Standard Sill Nosing,
4 9/16 Jamb,
White Jambliner,
White Hardware,
BetterVue Mesh Brilliant White Screen,
US National-WDMA/ASTM, PG 25
Insulated Low-E 366 Annealed Glass, Preserve Film, Argon Filled,
Clear Opening:32w, 26.1h, 5.8 sf

U-Factor: 0.30, SHGC: 0.20, VLT: 0.48, CPD: JEL-N-578-00817-00001
PEV 2014.4.1.1193/PDV 6.192 (12/10/14) CW

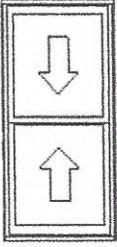
LINE NO.	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line-6	master bath Rough Opening: 46 1/8 X 61 1/4	TWDP4560 Frame Size : 45 3/8 X 60 1/2 (Outside Casing Size: 48 X 62 5/16), Tradition Plus Wood Fixed Auralast Pine, Insash Double Hung Product, Primed Exterior, Natural Interior, Brick Mould, Standard Sill Nosing, 4 9/16 Jamb, Insulated Low-E 366 Rain Tempered Glass, Argon Filled, U-Factor: 0.28, SHGC: 0.21, VLT: 0.50, CPD: JEL-N-737-00893-00001 PEV 2014.4.1.1193/PDV 6.192 (12/10/14) CW			
					
	Viewed from Exterior. Scale: 1/4" = 1'				
1					

Line-7	bed 2, gameroom, bed 3 Rough Opening: 36 1/8 X 61 1/4	TWD3560 Frame Size : 35 3/8 X 60 1/2 (Outside Casing Size: 38 X 62 5/16), Tradition Plus Wood Double Hung, Auralast Pine, Primed Exterior, Compression Jambliner & No Tilt Latches, Natural Interior, Brick Mould, Standard Sill Nosing, 4 9/16 Jamb, White Jambliner, White Hardware, BetterVue Mesh Brilliant White Screen, US National-WDMA/ASTM, PG 25 Insulated Low-E 366 Annealed Glass, Preserve Film, Argon Filled, Clear Opening:32w, 26.1h, 5.8 sf U-Factor: 0.30, SHGC: 0.20, VLT: 0.48, CPD: JEL-N-578-00817-00001 PEV 2014.4.1.1193/PDV 6.192 (12/10/14) CW			
					
	Viewed from Exterior. Scale: 1/4" = 1'				
1					

Line-8	bed 2 closet Rough Opening: 36 1/8 X 24 3/4	Frame Size : 35 3/8 X 24 (Outside Casing Size: 38 X 25 13/16), Tradition Plus Wood Fixed Auralast Pine, Insash Double Hung Product, Primed Exterior, Natural Interior, Brick Mould, Standard Sill Nosing, 4 9/16 Jamb, US National-WDMA/ASTM, PG 30, Insulated Low-E 366 Annealed Glass, Preserve Film, Argon Filled, U-Factor: 0.29, SHGC: 0.21, VLT: 0.51, CPD: JEL-N-737-00823-00001 PEV 2014.4.1.1193/PDV 6.192 (12/10/14) CW			
					
	Viewed from Exterior. Scale: 1/2" = 1'				
1					

LINE NO.	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
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Line-9 bath 2
Rough Opening: 30 1/8 X 61 1/4



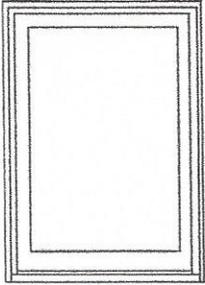
Viewed from Exterior. Scale: 1/4" = 1'

TWD2960
Frame Size : 29 3/8 X 60 1/2
(Outside Casing Size: 32 X 62 5/16),
Tradition Plus Wood Double Hung, Auralast Pine,
Primed Exterior, Compression Jambliner & No Tilt Latches,
Natural Interior,
Brick Mould, Standard Sill Nosing,
4 9/16 Jamb,
White Jambliner,
White Hardware,
BetterVue Mesh Brilliant White Screen,
US National-WDMA/ASTM, PG 25
Insulated Low-E 366 Annealed Glass, Preserve Film, Argon Filled,
Clear Opening:26w, 26.1h, 4.7 sf

U-Factor: 0.30, SHGC: 0.20, VLT: 0.48, CPD: JEL-N-578-00817-00001
PEV 2014.4.1.1193/PDV 6.192 (12/10/14) CW

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Line-10 bath 3
Rough Opening: 26 1/8 X 36 3/4

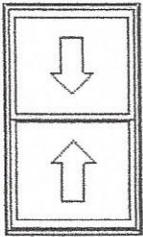


Viewed from Exterior. Scale: 1/2" = 1'

TWDT2536
Frame Size : 25 3/8 X 36
(Outside Casing Size: 28 X 37 13/16),
Tradition Plus Wood Fixed Auralast Pine,
Insash Double Hung Product,
Primed Exterior,
Natural Interior,
Brick Mould, Standard Sill Nosing,
4 9/16 Jamb,
US National-WDMA/ASTM, PG 30,
Insulated Low-E 366 Annealed Glass, Preserve Film, Argon Filled,
U-Factor: 0.29, SHGC: 0.21, VLT: 0.51, CPD: JEL-N-737-00823-00001
PEV 2014.4.1.1193/PDV 6.192 (12/10/14) CW

1

Line-11 guest suite / sitting room
Rough Opening: 36 1/8 X 61 1/4



Viewed from Exterior. Scale: 1/4" = 1'

TWD3560
Frame Size : 35 3/8 X 60 1/2
(Outside Casing Size: 38 X 62 5/16),
Tradition Plus Wood Double Hung, Auralast Pine,
Primed Exterior, Compression Jambliner & No Tilt Latches,
Natural Interior,
Brick Mould, Standard Sill Nosing,
4 9/16 Jamb,
White Jambliner,
White Hardware,
BetterVue Mesh Brilliant White Screen,
US National-WDMA/ASTM, PG 25
Insulated Low-E 366 Annealed Glass, Preserve Film, Argon Filled,
Clear Opening:32w, 26.1h, 5.8 sf

U-Factor: 0.30, SHGC: 0.20, VLT: 0.48, CPD: JEL-N-578-00817-00001
PEV 2014.4.1.1193/PDV 6.192 (12/10/14) CW

5

Total: 115,100.00
sales(8.25%) 9,458.75
NET TOTAL: 124,558.75
Total Units: 1

JELD-WEN® WINDOW & PATIO DOOR LIMITED WARRANTY

OUR WARRANTY TO YOU...

JELD-WEN® Products¹ are designed to create lasting value for your home. This warranty is effective for all JELD-WEN window and patio door Products (except United Collection products) manufactured on or after **February 1, 2014** for use in the United States and Canada. Any previous warranties will continue to apply to products manufactured by JELD-WEN prior to this date. For additional information, including care and maintenance instructions, installation instructions, and previous warranties, refer to www.jeld-wen.com or www.jeld-wen.ca.

What this warranty COVERS

Except as set forth in the Special Coverages section below, we warrant that if your JELD-WEN Product exhibits a defect in material or workmanship within the time periods from the date of manufacture as specified below, we will, at our option, repair, replace or refund the purchase price of the Product or component part. Skilled labor² (where deemed necessary by us) to repair or replace any component is provided as specified below.

	Wood & Clad Wood	Vinyl	Aluminum (except Summit)	Summit Aluminum
Basic Product Coverage Owner-Occupied Single-Family Residence	20 years	as long as you own and occupy your residence	10 years	1 year
Basic Product Coverage Commercial (Other than Owner-Occupied Single-Family Residence)	20 years	10 years	2 years	1 year
Skilled Labor² Coverage	2 years	2 years	1 year	No coverage
Transferability - this length of coverage applies if you sell your residence or it becomes occupied by other than the original owner	10 years	10 years	Non-transferable	Non-transferable

Special Coverages (Applies to both Owner-Occupied and Commercial)

The following Special Coverages apply to special product features and options; not all options are available on all products or in all regions.

Glass Options	Coverage	Notes
Triple-Glazed Glass Units	20 years	Includes the glass panes and the insulating seal.
ImpactGard® Glass Units	10 years	
Special Glazings	5 years	Includes laminated glass units other than ImpactGard, and glass options not listed in our product literature, e.g., leaded or decorative glass.
Blinds/Shades Between the Glass	10 years	Includes the seal, external control mechanism, and operation of the shade/blind.
Spontaneous Glass Breakage	1 year	Applies to sealed glass units installed in windows and patio doors. Laminated glass and special glazings are excluded. Coverage includes replacement glass and skilled labor ² necessary to replace the glass for one year. (Spontaneous breakage occurs when the glass develops a crack without sign of impact.)
Accidental Glass Breakage	Same as the Basic Product Coverage above (Owner-Occupied or Commercial)	Applies to vinyl Products ordered with the "RS" glass package. Not covered: damage attributable to acts of nature (e.g. fire, hurricane, etc.), civil disorder, building settling, structural failures of walls or foundations or improper installation, construction job-site mishaps, storage, or handling. Special glazings and ImpactGard glass are not covered by this glass breakage warranty.
Finish Options	Coverage	Notes
Clad Finish on Wood Products	Kynar®: 20 years Polyester: 10 years Anodized: 5 years	Coverage is for peeling, checking, cracking, or exhibiting excessive chalk, fade or color change ³ . Clad products and products finished with factory applied Select Finish™ installed within one mile of a salt-water source (for example, an ocean or salt lake) or other corrosive environment require additional and specific maintenance requirements. Refer to our full care and maintenance instructions.
Factory applied Select Finish™ exterior finish on Wood Products	10 years; 5 years at 100%, 50% thereafter	Coverage is for failure of adhesion, peeling, checking, flaking, cracking, or blistering.
	5 years	Coverage is for exhibiting excessive chalk, fade or color change ³ .
Factory Interior Finish on Wood Products	1 year	Coverage is for peeling, checking, or cracking. Should the factory interior finish be proven defective within this time period, we will at our option, replace or refinish the component or product, or offer a refinish credit up to \$50 per opening for windows or \$100 per opening for patio doors. This coverage applies to factory-applied finish coat options only; standard factory-applied primer is not a finish coat.
Colored Exterior and Laminated Interior on Vinyl Products	10 years	Coverage is for peeling, blistering, or flaking, and excessive color change ³ . This coverage does not extend to discoloration, polish, surface damage, or alteration caused by the use of natural or chemical solvents or an environmental factor causing such damage.

Continued on next page

Other Special Coverages	Coverage	Notes
AuraLast Protection for Wood Products	Owner-Occupied Single-Family Residence: as long as you own and occupy your residence	Coverage is for wood decay and/or termite damage in pine wood components. Warranty coverage outside Canada, the contiguous 48 states and Alaska is contingent upon approval from the JELD-WEN Customer Care Department. Please contact us.
	Commercial: 20 years	
Custom Fiberglass Door Slabs	As long as you own and occupy your residence	
Factory Prefinish on Custom Fiberglass Doors	5 years	Should the factory prefinish be proven defective, we will at our option refinish the door or pay up to \$350.00 per opening to the current owner.
Electric Operators	1 year	Coverage includes replacement parts and skilled labor necessary to replace the operator for one year.
Retractable Roll Screens	5 years	
Accidental Screen Damage	Same as the Basic Product Coverage above (Owner-Occupied or Commercial)	Applies to Bravo, Primo and Ipex Replacement window and patio door product lines. Not covered: damage attributable to acts of nature (e.g. fire, hurricane, etc.), civil disorder, building settling, structural failures of walls or foundations or improper installation, construction job-site mishaps, storage, or handling.

How To Get Assistance

If you have a problem with your JELD-WEN Product, contact the dealer/distributor or contractor from whom you purchased your product or contact us directly:

	In the United States:	In Eastern Canada:	In Western Canada:	In Ontario Canada
Mail:	JELD-WEN Customer Care Attn: Warranty Claims P.O. Box 1329 Klamath Falls, OR 97601	JELD-WEN Service Department 90, rue Industrielle Saint-Appollinaire, Quebec Canada G0S 2E0	JELD-WEN Service Department 550 Munroe Avenue Winnipeg, Manitoba Canada R2K 4H3	JELD-WEN Service Department 90 Stone Ridge Road Vaughan, Ontario Canada L4H 3G9
Phone:	888-JWHelpU 888-594-3578	800-463-1930	888-945-5627 204-668-8230	800-440-2714 905-265-5700
Fax:	800-436-5954	888-998-1599	204-663-1072	905-265-5704
E-mail:	jeldwenwarranty@jeld-wen.com		wpgservice@jeld-wen.com	
Web:	www.jeld-wen.com/contact-us			

We can respond quickly and efficiently if you provide the following: a) product identification (from the original order/invoice, spacer code, permanent label, or the window identification number found on corner of glass), b) how to contact you, c) the address where the product can be inspected, and d) a description of the apparent problem and the product (photographs are helpful).

What We Will Do

Upon receiving your notification, we will send out an acknowledgement within three business days to the contact, which you have provided. We will investigate your claim and will begin to take appropriate action within 30 days after receipt of notification. If your warranty claim is denied, we may charge an inspection fee for an onsite inspection that is required or requested by you.

If your claim is accepted, and we choose to repair or replace the product or a component of the product, the replacement product/component will be provided in the same specification as the original product. Replacement components/products are warranted for the balance of the original product warranty or 90 days, whichever is longer.

If the claimed nonconformity is warp of a door slab, we may defer repairing or replacing the door slab for a period up to twelve (12) months from the date of claim. It is not uncommon for a temporary warp condition to occur as the door slab adjusts to local humidity and temperature conditions. This deferral will not be counted against the warranty period.

What This Warranty Does NOT Cover

JELD-WEN is not liable for damage, product failure or poor product performance due to:

- Normal wear and tear, including normal wear and tear of weatherstrip; natural weathering of surfaces. Variance in color or texture of natural wood parts, and natural tarnishing of copper cladding are not considered defects.
- Normal wear and tear to hardware and naturally occurring changes to hardware finishes (e.g., corrosion or tarnishing).
- Exposure to chemicals (e.g. brick wash) or a harsh environment (e.g. salt spray or airborne pollutants) unless otherwise stated above.
- Misuse, abuse or failure to properly finish and provide maintenance.
- Alteration or modification to the Product (e.g. customer applied tints or films, paint finishes, security systems).

- Any cause beyond the reasonable control of JELD-WEN (e.g. fire, flood, earthquake, other acts of nature, and acts of third parties outside of our control).
- Failure to provide an adequate overhang for fiberglass doors; damage caused by extreme temperature buildup where storm doors are present. For general guidelines, see our "Appropriate Protection for Exterior Doors" in our product literature or at www.jeld-wen.com/resources; for specific information pertaining to your structure, consult your contractor or other building professional.
- Improper installation not in conformance with JELD-WEN installation instructions (note: see www.jeld-wen.com for current installation instructions); operational problems and problems related to water and/or air infiltration/leaking as a result of improper installation or flaws in building design or construction.
- Installation into a condition that exceeds product design standards and/or certified performance specifications and/or is not in compliance with building codes.
- Extreme artificial temperature buildup or exposure (e.g., where storm doors/windows are present).
- Hardware or inserts that are not provided by us, such as locksets, door handles, strikes, etc.
- Condensation or damage as a result of condensation (Note: unless due to insulating glass failure, most condensation problems are related to excessive humidity levels in a structure. Contact a heating/air conditioning specialist for help).
- Wood decay in wood components other than of pine species and any components (including pine) that come in direct contact with soil. Note: superficial mold/mildew does not indicate wood decay.

JELD-WEN is also not liable for:

- Glass breakage (except as covered above).
- Screen damage due to normal wear and tear, misuse, abuse, or insect or animal activity (except as specifically covered above).
- Slight expansion or contraction due to varying environmental conditions; slab movement (shrinkage or swelling) of 1/4" or less due to temperature and humidity, consult the Homeowner's Manual on how to work with this natural movement.
- Slight imperfections or wavy distortions in the glass that don't impair structural integrity. Note: wavy distortions in the glass (e.g. related to laminate interlayer or heat strengthening of glass) are not considered a defect. Slight color variations in glass are not considered a defect.
- Hairline cracks in factory-applied finishes; surface cracks that do not compromise the underlying material are not a defect.
- Damage or distortion to other property, including but not limited to, vinyl siding, building components or landscaping caused in whole or in part by reflection of light or heat from JELD-WEN windows or doors.
- Product or component performance decline due to aging, inert gas dissipation, natural processes or failure to provide proper maintenance. Note: Other than inert gas loss due to seal failure, the migration of an inert gas, such as argon, is a natural process that occurs over time and is not a defect.
- Labor and materials for repainting or refinishing activities or the removal or disposal of defective product(s); labor exceeding the time periods specified above.
- Incidental or consequential damage. Some states/provinces do not allow the exclusion or limitation of incidental or consequential damages, so this may not apply to you.

Important Legal Information – Please read this carefully. It affects your rights.

This Limited Warranty document sets forth our maximum liability for our products. We shall not be liable for special, indirect, consequential, or incidental damages. Your sole and exclusive remedy with respect to any and all losses or damages resulting from any cause whatsoever shall be as specified above. We make no other warranty or guarantee, either express or implied, including implied warranties of merchantability and fitness for a particular purpose to the original purchaser or to any subsequent user of the Product, except as expressly contained herein. In the event state or provincial law precludes exclusion or limitation of implied warranties, the duration of any such warranties shall be no longer than, and the time and manner of presenting any claim thereon shall be the same as, that provided in the express warranty stated herein. This Limited Warranty document gives you specific legal rights, and you may have other rights that vary from state/province to state/province.

Any dispute, controversy or claim arising out of or relating to this warranty, any alleged breach thereof, or the use or sale of the products to which this warranty applies shall be resolved by mandatory and binding arbitration administered by the American Arbitration Association in accordance with its commercial arbitration rules. Original purchaser agrees that they may assert claims against JELD-WEN in their individual capacity only, and not as a plaintiff or class member in any purported class action proceeding. Rejection of these dispute resolution provisions must be sent to JELD-WEN at the address provided herein within thirty (30) days of original purchaser's receipt of the Products to which this warranty applies.

No distributor, dealer or representative of JELD-WEN has the authority to change, modify or expand this warranty. The original purchaser of this Product acknowledges that they have read this warranty, understand it and are bound by its terms and agrees to provide this warranty to the original owner of the structure into which the Product is installed.

¹ "JELD-WEN Products" shall refer to window and patio door products (except United Collection products) manufactured in the United States and/or Canada and marketed under the JELD-WEN brand name for use in the United States and/or Canada. See our separate United Collection warranty, or our Export Warranty for applicable coverage on products used outside the United States and Canada.

² "Skilled labor" refers to tasks where specialized technical knowledge, experience, methods or tools are required to properly identify, diagnose and/or correct product-related problems.

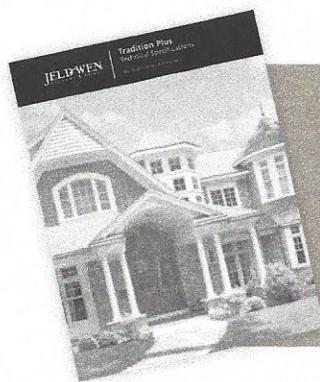
³ "Chalking" of the exterior finish is not a defect unless it exceeds a numerical rating of eight (8) when measured in accordance with the standard procedures specified in ASTM D4214. Fading or changing in color of the exterior finish is not a defect unless it exceeds five (5) E units, calculated in accordance with ASTM D2244, paragraph 6.2. Color change shall be measured on an exposed area of finish that has been cleaned of surface soils and chalk, and the corresponding values measured on the original or unexposed area of finish. Fading or color changes may not be uniform if the surfaces are not equally exposed to the sun and elements. If the above ASTM standards change, the standard in effect at the time of purchase applies. As an option to replacement, we may choose to refinish the product.

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The JELD-WEN® website is your ultimate resource for learning about our reliable windows and doors. It has all the product information and design advice you need. Visit us at jeld-wen.com today.

JELD-WEN
WINDOWS & DOORS



To see the complete Tradition Plus Wood Window & Patio Door Technical Specifications please request brochure #11-566B at your local dealer.



Official window and door provider of Major League Soccer



JELD-WEN is proud to support a better way to build



Made in the USA

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JELD-WEN reserves the right to change product specifications without notice. Please check our website, jeld-wen.com, for current information.

11-566A 10/13 (PDF)

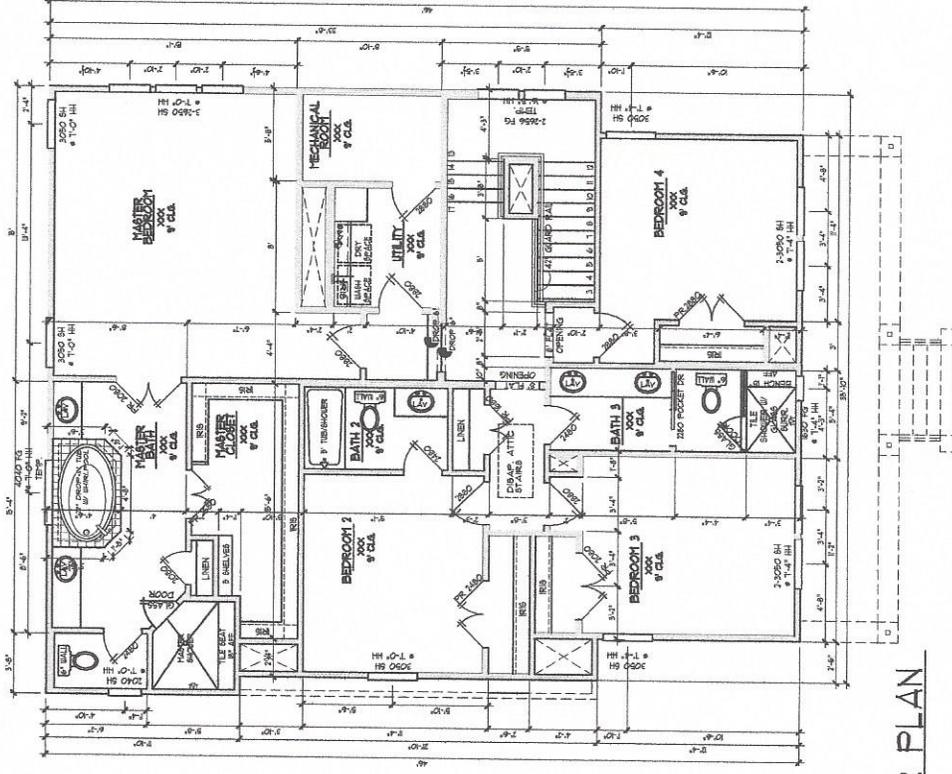
RESIDENCE
1115 JEROME ST
NORHILL



AIIS Designs CO
DESIGNED BY JOHN LUDWIG

No.	DATE	DESCRIPTION
1	7.6.15	PLAN MEETING 1
2	7.13.15	REVISED PLAN
3	8.2.16	PRE CONSTRUCTION
4	8.23.16	PRE CONSTRUCTION 2
5	11.17.15	REVISION 1
6	8.25.16	REVISION 2

SCALE:	1/4" = 1'-0"
DRAWN BY:	DESIGNER
CHECKED BY:	BAIS
DATE:	7.6.15
PLAN NO.	1000
SHEET NO.	FLOOR 2

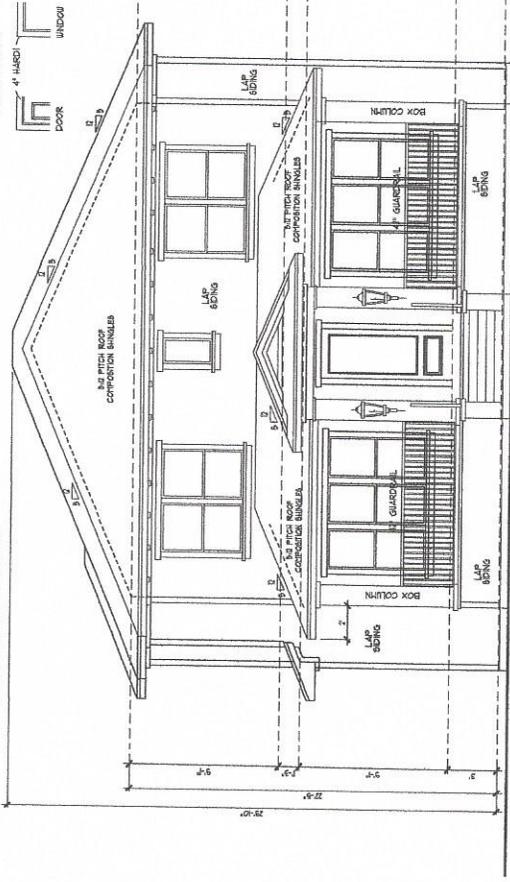


2ND FLOOR PLAN
SCALE: 1/4"=1'-0"

NOT TO SCALE. THIS PLAN AND SPECIFICATIONS ARE THE PROPERTY OF AIIS DESIGNS CO. ANY REPRODUCTION OR USE OF THIS PLAN OR SPECIFICATIONS WITHOUT THE WRITTEN PERMISSION OF AIIS DESIGNS CO. IS STRICTLY PROHIBITED. THE USER ASSUMES ALL LIABILITY FOR ANY DAMAGE OR INJURY RESULTING FROM THE USE OF THIS PLAN OR SPECIFICATIONS. THE USER AGREES TO HOLD AIIS DESIGNS CO. HARMLESS FROM AND AGAINST ALL SUCH LIABILITY.

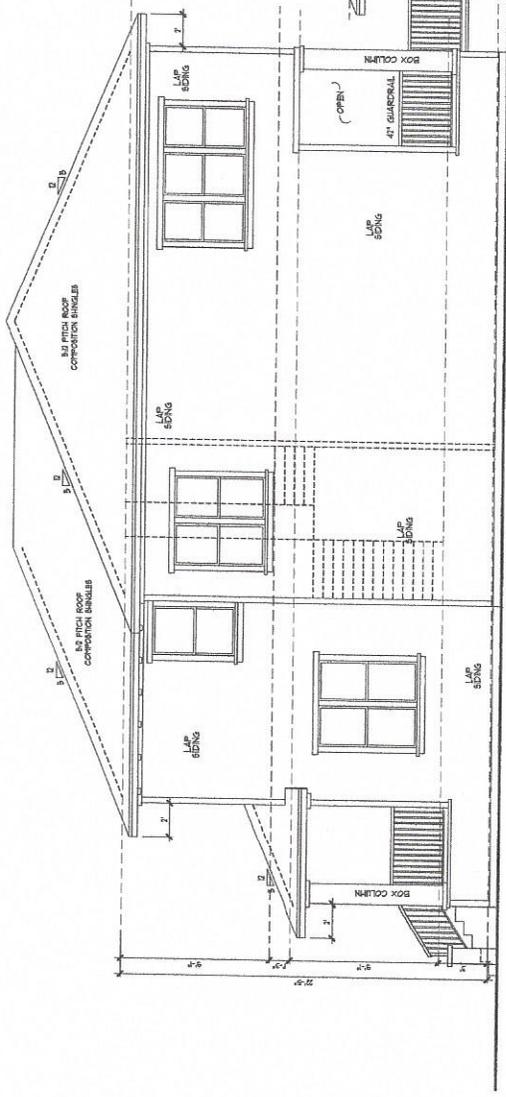
ELEVATION GENERAL NOTES

1. FOR ALL WORK ON LUMBER, PROTECTIVE FINISHES SHALL BE APPLIED TO ALL EXPOSED SURFACES.
2. ALL CORNERS ARE TO BE BEVELLED IN FINAL UNLESS NOTED OTHERWISE.
3. FINISHES AND MATERIALS SHALL BE AS SHOWN IN THE FINISH SCHEDULE.
4. REVISIONS BY ARCHITECT SHALL BE INDICATED BY CIRCLED NUMBERS IN BRACKETS.
5. LOCATION TO RECEIVE STANDARD BRICK TOLDO TEST.



FRONT ELEVATION

SCALE: 1/4"=1'-0"



RIGHT ELEVATION

SCALE: 1/4"=1'-0"



NO.	DATE	DESCRIPTION
1	7.6.15	PLAN MEETING 1
2	7.13.15	REVISED PLAN
3	8.2.16	PRE CONSTRUCTION
4	8.23.16	PRE CONSTRUCTION 2
5	11.17.15	REVISION 1
6	8.25.16	REVISION 2

SCALE:	1/4" = 1'-0"
DRAWN BY:	DESIGNER
CHECKED BY:	AIS
DATE:	7.6.15
FILE NUMBER:	
SHEET NO.:	ELEV. 1

RESIDENCE
1115 JEROME ST
NORHILL



WINDOW PLACEMENT, ROOF LINE AND PORCHES MAY VARY BY ELEVATION. THIS DRAWING IS A REPRESENTATION OF THE PROPOSED DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE ARCHITECT'S AND ENGINEER'S APPROVAL. THE ARCHITECT AND ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED AND THE RESULTS OF ANY TESTS CONDUCTED.

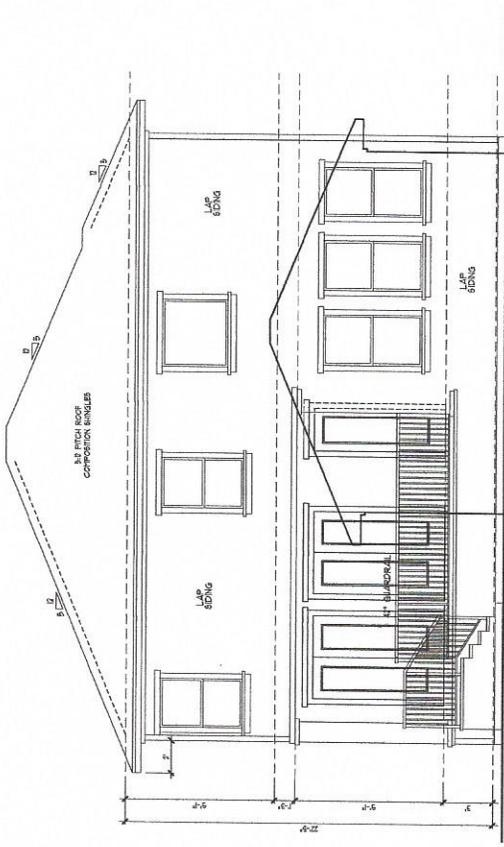
RESIDENCE
1115 JEROME ST
NORHILL



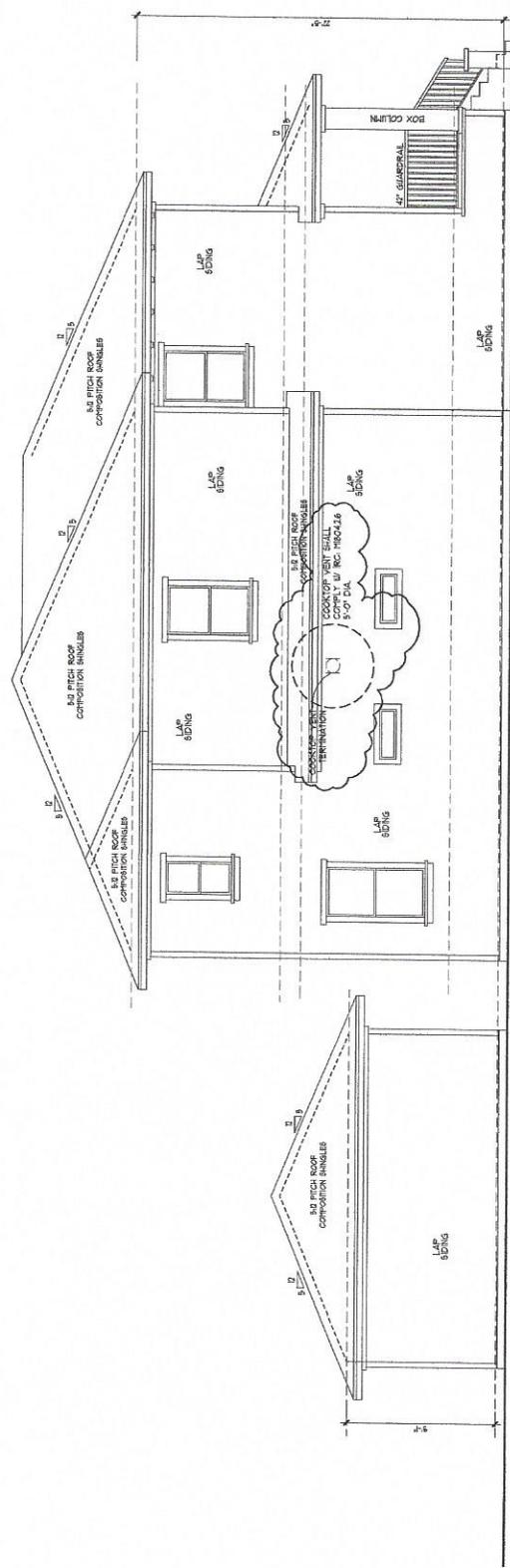
TAS Designs CO
DESIGNER OF INTERIORS

No.	DATE	DESCRIPTION
1	7.8.15	PLAN MEETING 1
2	11.3.15	REVISED PLAN
3	9.2.16	PRE CONSTRUCTION
4	8.22.18	PRE CONSTRUCTION 2
5	11.17.19	REVISION 1
6	8.25.18	REVISION 2

SCALE:	1/4" = 1'-0"
DRAWN BY:	DESIGNER
CHECKED BY:	AS
DATE:	7.8.15
PT/B. PLAN NO.:	
NUMBER:	
SHEET NO.:	ELEV. 2



REAR ELEVATION
SCALE: 1/4"=1'-0"



LEFT ELEVATION
SCALE: 1/4"=1'-0"

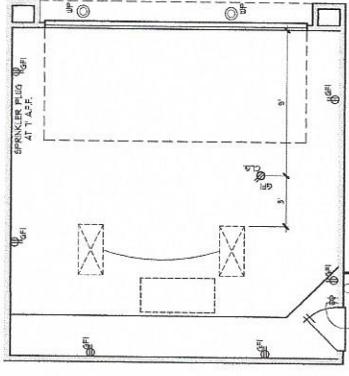
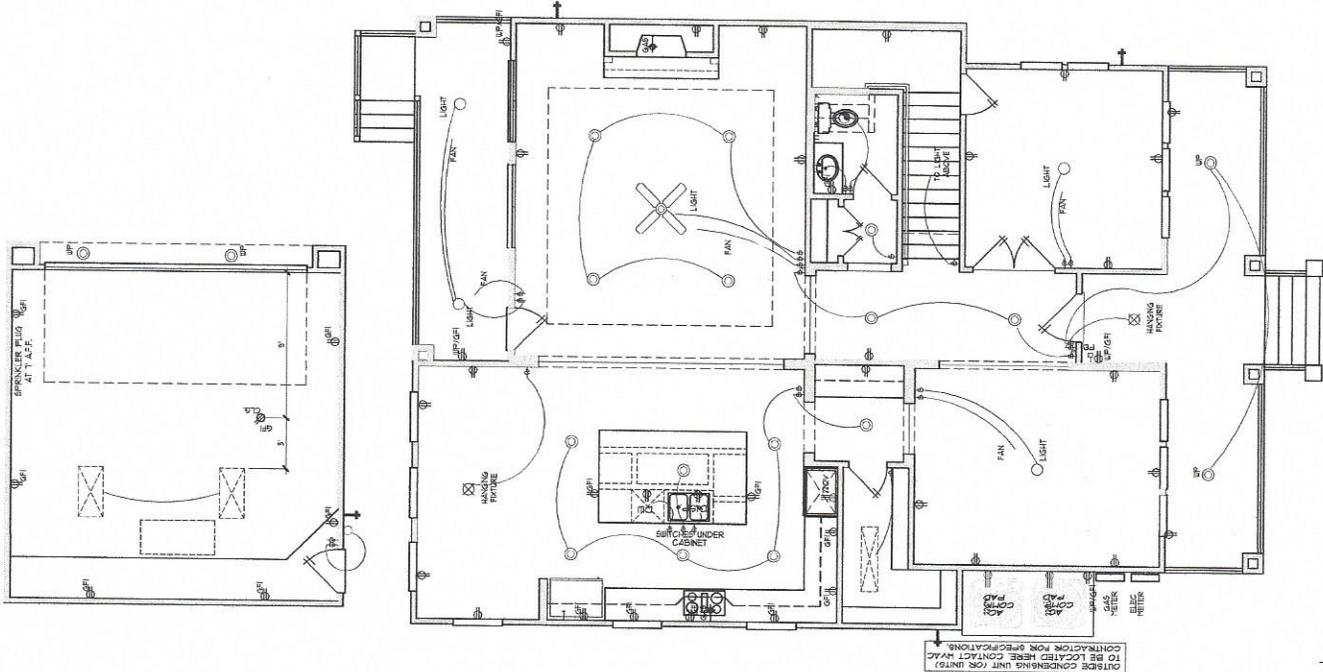
OWNER: PROVIDED. NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. THIS DRAWING IS THE PROPERTY OF AND MAY BE USED ONLY FOR THE PROJECT AND SPECIFICATIONS ARE THE PROPERTY OF AND SHALL BE KEPT IN CONFIDENCE.

ELECTRICAL LEGEND	
	10 VOLT RECEPTACLE
	WATERPROOF RECEPTACLE
	10 VOLT N. G.S.
	10 VOLT W/ GROUND FAULT INTERRUPTER
	10 VOLT N FLOOR
	220 VOLT RECEPTACLE
	TELEVISION ANTENNA
	GAS OUTLET
	1-066 B/B
	TELEPHONE OUTLET
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DIMMER SWITCH
	PUSH BUTTON
	SMOKE DETECTOR
	THERMOSTAT
	DOORBELL CHIMES
	CEILING MOUNTED LIGHT FIXTURE
	HANGING LIGHT
	RECESSED CAN LIGHT
	WATERPROOF RECESSED CAN LIGHT
	RECESSED EYEBALL SPOT LIGHT
	WALL MOUNTED LIGHT FIXTURE
	PORCELAIN FIXTURE W/ PULL CORD
	FLOOD LIGHTS
	EXHAUST FAN
	EXHAUST FAN W/ LIGHT
	EXHAUST FAN W/ HEAT LAMP
	EXHAUST FAN W/ HEAT LAMP 4 LT.
	KEYLESS CEILING MOUNTED LIGHT FIXTURE
	UNDER COUNTER LIGHT
	ZONE SENSOR
	CEILING FAN
	CEILING FAN W/ LIGHT
	CEILING LIGHT W/ FUTURE FAN
	FLUORESCENT LIGHT

ELECTRICAL GENERAL NOTES:

1. SMOKE DETECTORS MUST BE AND ELECTRICAL SYSTEM HAVE BATTERY BACK UP, AND BE INTERCONNECTED PER 2003 IBC 907.3.1.
2. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2003 IBC AND ALL APPLICABLE CODES.
3. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2003 IBC AND ALL APPLICABLE CODES.
4. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2003 IBC AND ALL APPLICABLE CODES.
5. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2003 IBC AND ALL APPLICABLE CODES.
6. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2003 IBC AND ALL APPLICABLE CODES.
7. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2003 IBC AND ALL APPLICABLE CODES.
8. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2003 IBC AND ALL APPLICABLE CODES.
9. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2003 IBC AND ALL APPLICABLE CODES.
10. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2003 IBC AND ALL APPLICABLE CODES.
11. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2003 IBC AND ALL APPLICABLE CODES.

FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4"=1'-0"



RESIDENCE
1115 JEROME ST
NORHILL



AIS Designs CO
Member of the AIS Group

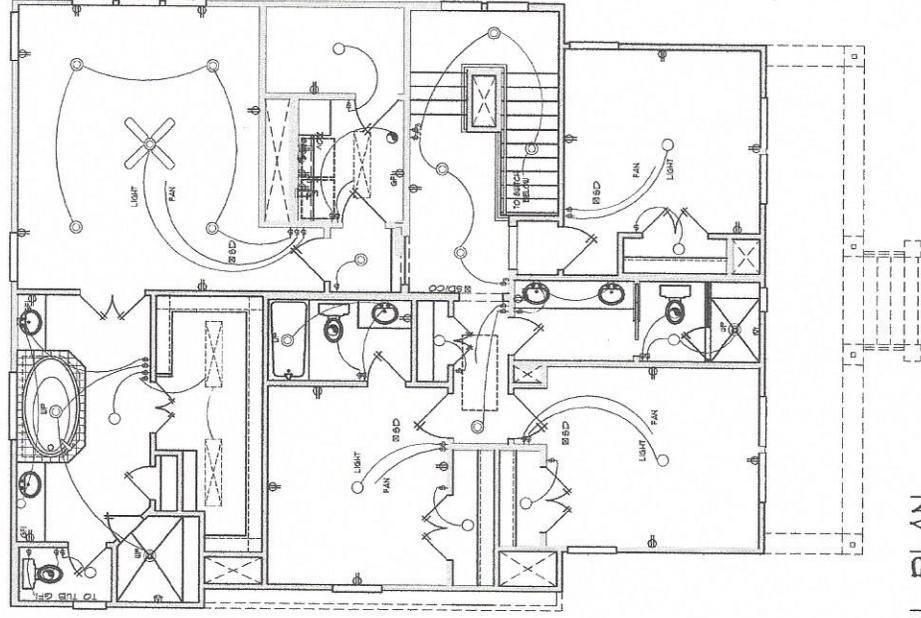
NO.	DATE	DESCRIPTION
1	7.6.15	PLAN MEETING 1
2	7.13.15	REVISED PLAN
3	8.2.15	PRE CONSTRUCTION
4	8.23.15	PRE CONSTRUCTION 2
5	11.17.15	REVISION 1
6	8.23.16	REVISION 2

SCALE:	1/4" = 1'-0"
DRAWN BY:	SF
CHECKED BY:	AS
DATE:	7.6.15
FILE PLAN NUMBER:	
SHEET NO.:	ELEC. 1

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ELECTRICAL LEGEND

	110 VOLT RECEPTACLE
	WATERPROOF RECEPTACLE
	15 VOLT N. CLG.
	20 VOLT W/ GROUND FAULT INTERRUPTER
	10 VOLT N. FLOOR
	220 VOLT RECEPTACLE
	GAS OUTLET
	HOSE BIB
	TELEPHONE OUTLET
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DIMMER SWITCH
	PUSH BUTTON
	SMOKE DETECTOR
	THERMOSTAT
	DOORBELL CHIMES
	CEILING MOUNTED LIGHT FIXTURE
	HANGING LIGHT
	RECESSED CAN LIGHT
	WATERPROOF RECESSED CAN LIGHT
	RECESSED EYE-BALL SPOT LIGHT
	WALL MOUNTED LIGHT FIXTURE
	PORCELAIN FIXTURE W/ PULL CORD
	FLOOD LIGHTS
	EXHAUST FAN
	EXHAUST FAN W/ LIGHT
	EXHAUST FAN W/ HEAT LAMP
	EXHAUST FAN W/ HEAT LAMP & LT.
	KEYLESS CEILING MOUNTED LIGHT FIXTURE
	UNDER COUNTER LIGHT
	ZONE SENSOR
	CEILING FAN
	CEILING FAN W/ LIGHT
	CEILING LIGHT W/ FUTURE FAN
	FLUORESCENT LIGHT



SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/4"=1'-0"

RESIDENCE
1115 JEROME ST
NORHILL



AIS Designs CO
Pragmatic. Professional. Affordable.

No.	DATE	DESCRIPTION
1	7.5.15	PLAN MEETING 1
2	7.13.15	REVISED PLAN
3	8.2.16	PRE CONSTRUCTION
4	8.23.16	PRE CONSTRUCTION 2
5	11.17.16	REVISION 1
6	8.22.16	REVISION 2

SCALE:	1/4" = 1'-0"
DRAWN BY:	SP
CHECKED BY:	AS
DATE:	7.6.15
TITLE:	PLAN NO.
	NUMBER
SHEET NO.	ELEC. 2

WORK PROVIDED BY THIS FIRM AND SPECIFIED AND SHOWN BY EXISTING CONDITIONS. THIS PLAN IS A PROFESSIONAL ENGINEERING DESIGN AND SHALL BE SUBJECT TO LOCAL AND STATE REGULATIONS AND ALL APPLICABLE CODES. THIS PLAN IS THE PROPERTY OF AIS DESIGNS CO. AND SHALL BE KEPT IN CONFIDENCE. ANY REUSE OR REPRODUCTION OF THIS PLAN WITHOUT THE EXPRESS WRITTEN CONSENT OF AIS DESIGNS CO. IS PROHIBITED.

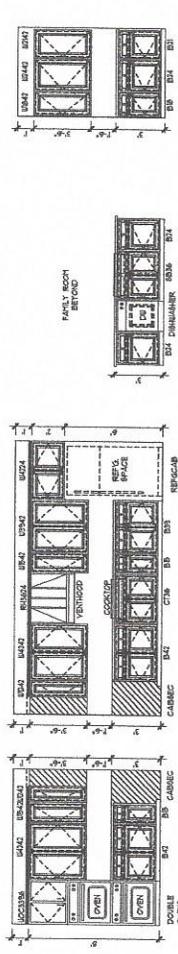
RESIDENCE
1115 JEROME ST
NORHILL



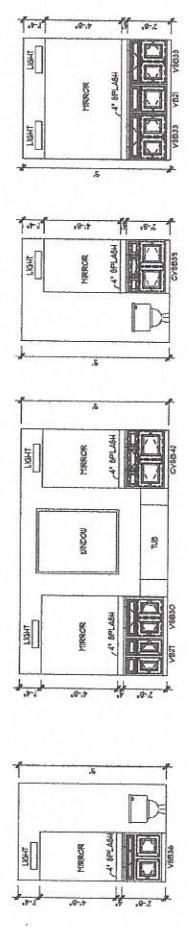
AIS Designs CO
residential design & construction

No.	DATE	DESCRIPTION
1	7.8.15	PLAN MEETING 1
2	7.13.15	REVISED PLAN
3	8.2.16	PRE CONSTRUCTION
4	8.23.16	PRE CONSTRUCTION 2
5	11.17.19	REVISION 1
6	9.25.18	REVISION 2

SCALE:	1/4" = 1'-0"
DRAWN BY:	DESIGNER
CHECKED BY:	AS
DATE:	7.8.15
FILE PLAN NUMBER	
SHEET NO.	INT.



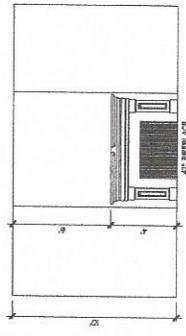
KITCHEN KITCHEN ISLAND BUTLER'S PANTRY



POWDER MASTER BATH BATH 1 BATH 2

LEGEND:
 B BASE CAB.
 CB CROWN MOULDING
 CS CROWN MOULDING CASING
 F FILLER
 L LAMINATE
 V VANTY DRAWER BASE
 W WALL CABINET

NOTES:
 ALL CABINET DOOR STYLES, DRAWER STYLES, HARDWARE AND FINISHES ARE TO BE DETERMINED WITH HOME OWNER, TYPICAL FOR ALL.
 PROVIDE FALSE DRAWER FRONTS WHERE APPLICABLE.
 PROVIDE WOOD SKINS ON ALL CABINETS WITH EXPOSED END PANELS BASE CABINETS AT THE ISLAND.
 SUPER TO CHECK VANTY CAB. DEPTH W/ GRANITE AND CASING PLACEMENT



FAMILY ROOM

CABINET ELEVATIONS
SCALE: 1/4" = 1'-0"

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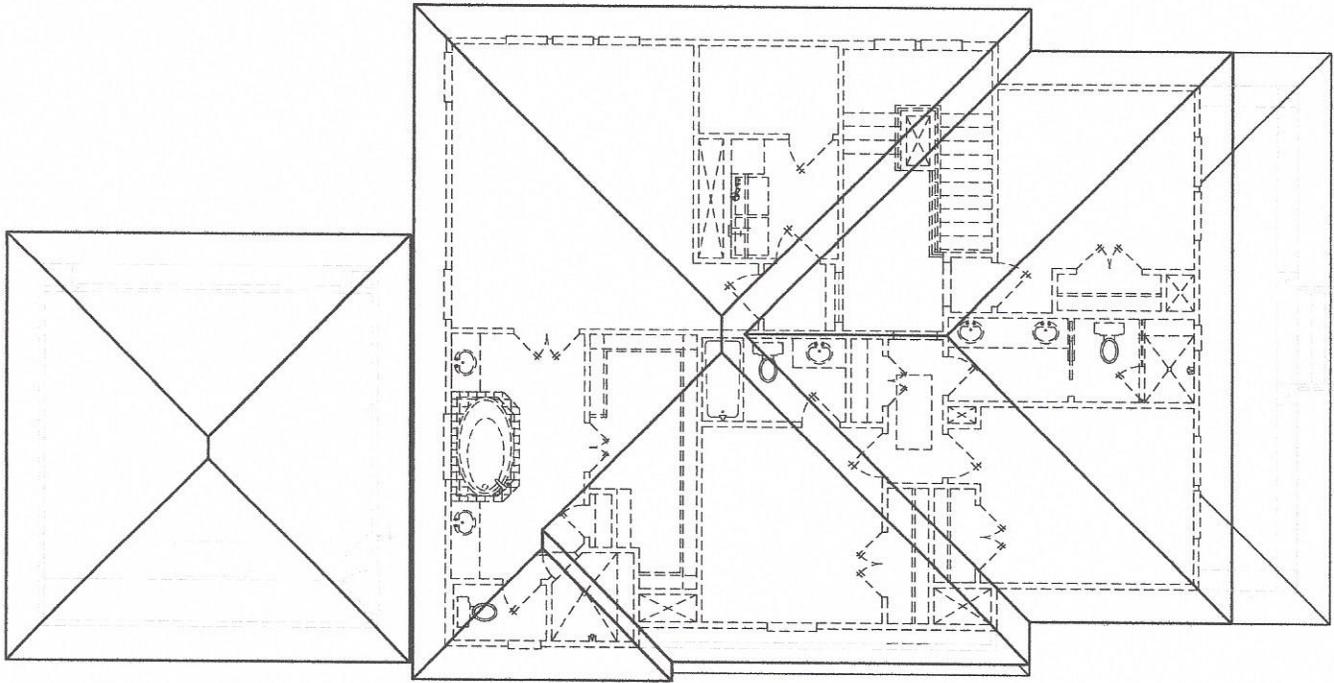
RESIDENCE
1115 JEROME ST
NORHILL



AIS Designs CO
residential design

No.	DATE	DESCRIPTION
1	7.6.15	PLAN MEETING 1
2	7.13.15	REVISED PLAN
3	8.2.16	PRE CONSTRUCTION
4	8.23.16	PRE CONSTRUCTION 2
5	11.17.15	REVISION 1
6	8.23.16	REVISION 2

SCALE:	1/4" = 1'-0"
DRAWN BY:	DESIGNER
CHECKED BY:	AS
DATE:	7.6.15
TITLE:	PLAN NUMBER
SHEET NO.	ROOF



WHEN NOT SHOWN, ROOF LINE AND PITCHES MAY VARY BY CLIMATE. THIS DRAWING IS FOR INFORMATION ONLY AND IS NOT TO BE USED FOR CONSTRUCTION. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE PLANS.

GENERAL NOTES

- 1) PROVIDE 6" I.C. PROTECTION AS REQUIRED BY ELECTRICAL CODES
- 2) ALL EXHAUSTS SHALL BE VENTED TO EXTERIOR
- 3) ALL EXHAUSTS SHALL BE NO. 3 S.P.P. K.D. OR BETTER
- 4) ALL EXHAUSTS SHALL BE INSTALLED PER IRC 702, AND MANUFACTURER'S SPECIFICATIONS
- 5) BARELY GLASS SHALL BE PROVIDED IN ALL FRENCH DOORS, WINDOWS, ADJACENT TUBS AND SHOWER ENCLOSURES, AND WIN 3/4" OF EXTERIOR
- 6) PROVIDE ACCESS PANELS PER PLUMBING CODE
- 7) HVAC UNITS 7' GAS UNITS IN ATTIC, PROVIDE LIGHT FIXTURE NEAR UNITS TO ILLUMINATE THE UNITS
- 8) PROVIDE ACCESS PANELS TO EACH UNIT CONFORMING TO APPLICABLE CODE
- 9) ALL VENTS, FLUES, I. ROOF JACKS SHALL NOT BE VISIBLE FROM FRONT PORCHES
- 10) HVAC CONTRACTOR TO CONFIRM TONNAGE 1 LOCATION OF RETURN AIR'S AND MECHANICAL AREAS IN ATTIC, PROVIDE 3/4" F.I. WOOD ENGINEERING AND 20 LBS. 1" IN. JOIST UNDER REFER TO PLANS FOR PRELIMINARY
- 11) ENLL DOWN STAIR SECCS: 30" X 54" ATTIC ACCESS 390 LB. MAX.

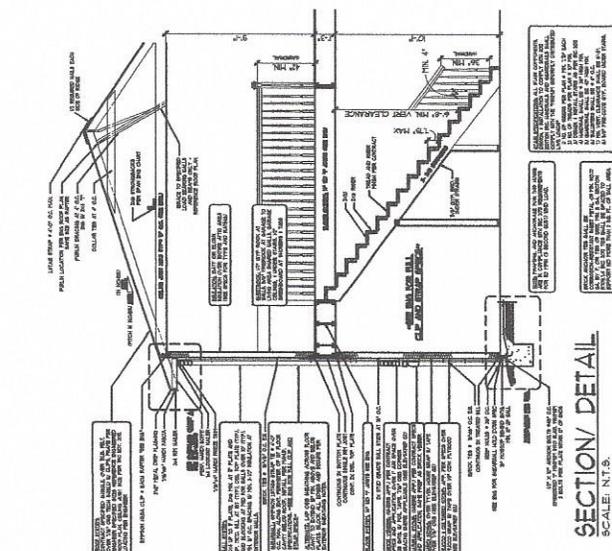
ATTIC ACCESS

- IRC 703
- ATTIC CONTAINS APPLIANCES REQUIRING ACCESS SHALL BE PROVIDED WITH A BULLDOCK STAIRWAY WITH A CLEAR OPENING BETWEEN THE HANDRAIL AND THE STAIRS NOT LESS THAN 30" CLEARANCE. THE CLEARANCE SHALL BE MEASURED AT THE WIDEST POINT OF THE LARGEST APPLIANCE BUT NOT LESS THAN 30" HIGH AND 24" WIDE AND NOT MORE THAN 48" HIGH IN LENGTH WHEN MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE. THE CLEARANCE SHALL BE MEASURED TO THE HIGHEST POINT OF THE APPLIANCE. CHAPTERS OF THE IRC AND NOT LESS THAN 30" WIDE A LEVEL SERVICE SPACE AT LEAST 30" DEEP AND 30" WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE PASSAGEWAY. THE CLEARANCE SHALL BE MEASURED TO THE HIGHEST POINT OF THE APPLIANCE. THE CLEARANCE SHALL BE A MINIMUM OF 24" HIGH. WHERE SUCH DIMENSIONS ARE LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE.

GARAGE ATTIC ACCESS

- IRC 702
- FOR ATTIC DISAPPEARING STAIRS IN THE GARAGE CEILING THE EXPOSED PANEL SHALL BE AT LEAST 3/8" THICK FREE WITH A MINIMUM 1/4" GAUGE SHEET METAL IN ADDITION TO THESE TWO METHODS, THE FOLLOWING METHODS ARE ALSO ACCEPTABLE FOR PROTECTING THE ATTIC DISAPPEARING STAIRS AND OTHER ACCESS OPENINGS: 1) UNPAINTED PLYWOOD PROTECTED WITH AN INDEPENDENT PAINT. IN ALL CASES THE OPENING PROTECTION MATERIAL IS APPLIED TO THE GARAGE SIDE OF THE PLYWOOD.

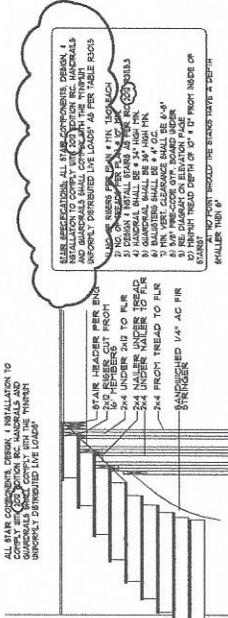
- PROVIDE 7/8" I.C. INSULATED SERVICE WALL TO 5/8" FROM ATTIC SPIN.
- PROVIDE BRACKETS BEHIND THE PAN TO SUPPORT THE SERVICE WALL.
- FOR GAS UNITS, ASSURE ATTIC VENTILATION THROUGH THE UNITS. PROVIDE ALL ATTIC ACCESS OPENINGS WITH 1/2" BATTERY PROTECTIVE COVER.
- PROVIDE THE LINE TO EXTERIOR NOT TO 6 1/2" PAN 1 1/2" UNITS LOCATE OVER PARTITION.
- 4" F.I. PAN, 3/8" GAS FLETTER TO BEHIND 1" COA, WITH 1/2" BATTERY PROTECTIVE COVER. CEILING JOIST AS PER PLAN. 2X6'S @ 16" O.C. MAX. FROM 6" O.C. TO 16" O.C. MAX. FROM 6" O.C.



SECTION DETAIL
SCALE: N.T.S.

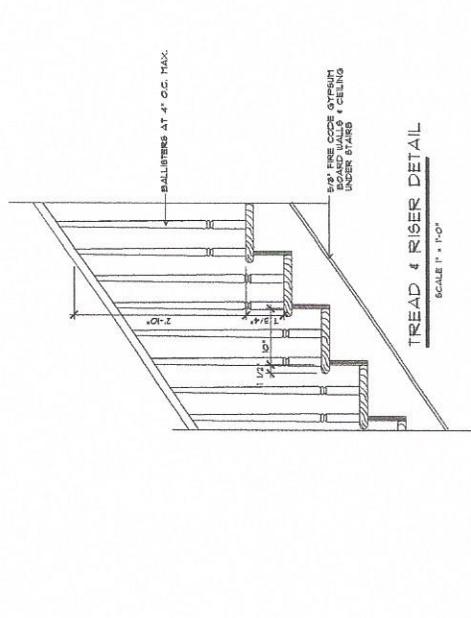
ALL STAIR COMPONENTS DESIGN, FABRICATION AND INSTALLATION TO COMPLY WITH SECTION BC, HANDRAILS AND GUARDRAILS SHALL CONFORM WITH THE MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS.

NOTE:
HANDRAILS AND GUARDRAILS SHALL COMPLY WITH THE MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS¹ 200 LBS. PER SQ. FT. LIVE LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF HANDRAIL



WINDER STAIR DETAIL
SCALE: N.T.S.

ALL STAIR COMPONENTS DESIGN, FABRICATION AND INSTALLATION TO COMPLY WITH SECTION BC, HANDRAILS AND GUARDRAILS SHALL CONFORM WITH THE MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS.



TREAD & RISER DETAIL
SCALE: 1" = 1'-0"

ELECTRICAL NOTES

- 1) SMOKE DETECTORS MUST BE INTO ELECTRICAL SYSTEM, HAVE BATTERY BACKUP AND BE INTERCONNECTED.
- 2) ALL WIRING MUST BE COVERED.
- 3) 3/8" GENERAL OUTLETS PER CIRCUIT
- 4) 1/2" I/O ON ALL GENERAL CIRCUITS
- 5) SMOKE DETECTOR W/ BATTERY BACKUP PER 207 ED, RC
- 6) SMOKE DETECTOR W/ BATTERY BACKUP PER 207 ED, RC
- 7) FANS SHALL BE WIRED WITH NO. 12 WIRE.
- 8) ALL ELECTRICAL WORK SHALL BE PERMITTED OVER THE 1" CHANGES FROM THIS OR SHOWER
- 9) CANNOT BE ABLE TO REACH 3" MIN. ELECTRICAL SWITCH OR OUTLET
- 10) ALL BEDROOM OUTLETS TO BE ARC FAULT PROTECTED
- 11) PROVIDE ELECTRICAL ELEVATION PAGES FOR LOCATIONS OF POWER ATTIC VENT FRIE-WIRES.

RESIDENCE
1115 JEROME ST
NORHILL



AIS Designs CO
Designed by Blair Wright

NO.	DATE	DESCRIPTION
1	7/15	REVISED PLAN
2	8/21	PRELIMINARY CONSTRUCTION
3	11/17/15	REVISION 1
4	2/21/16	REVISION 2

SCALE:	1/4" = 1'-0"
DRAWN BY:	STP
CHECKED BY:	AS
DATE:	7.6.15
FILE PLAN NUMBER	
SHEET NO.	STUBB

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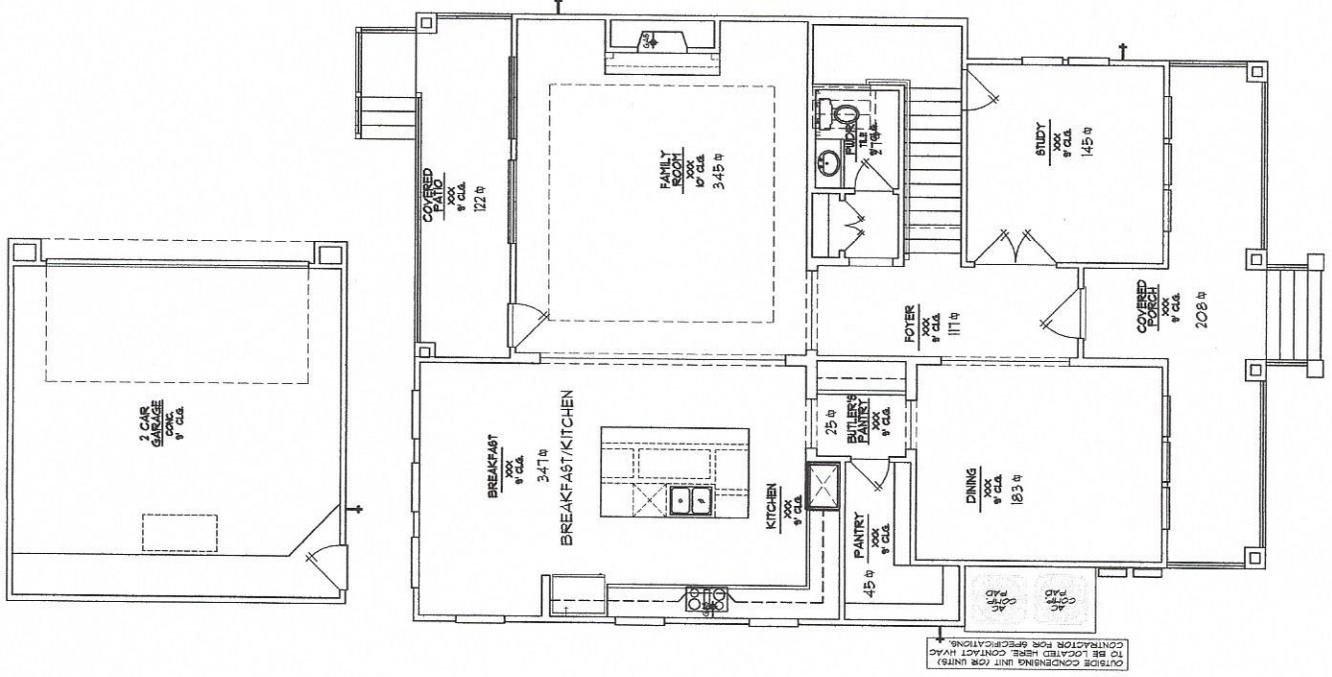


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Member of the AIS Group

NO.	DATE	DESCRIPTION
1	7.6.15	PLAN MEETING 1
2	7.13.15	REVISED PLAN
3	8.2.16	PRC CONSTRUCTION
4	8.23.16	PRC CONSTRUCTION 2
5	11.17.15	REVISION 1
6	8.25.15	REVISION 2

SCALE:	1/4" = 1'-0"
DRAWN BY:	STP
CHECKED BY:	AS
DATE:	7.8.15
P.L.S. PLAN NUMBER	
SHEET NO.	

FOOTAGE1



FIRST FLOOR FOOTAGE PLAN
SCALE: 1/4"=1'-0"

WINDOW PLACEMENT, ROOF LINE AND ELEVATIONS MUST VERIFY BY ELEVATION SURVEY. CONTRACTOR AND ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

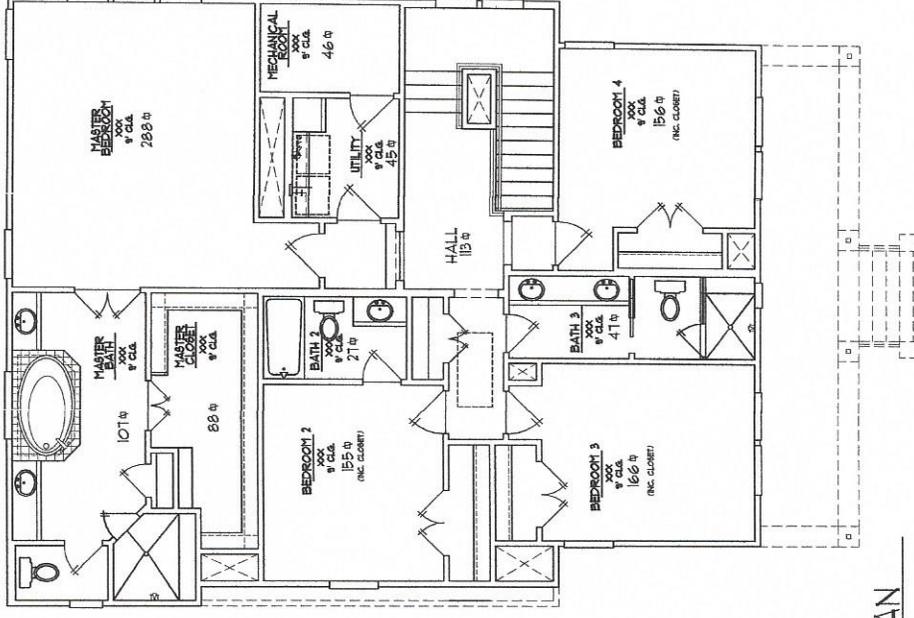
RESIDENCE
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NORHILL



TAS Designs CO
Designed by you. Built by us.

No.	DATE	DESCRIPTION
1	7.6.15	PLAN MEETING 1
2	7.13.15	REVISED PLAN
3	8.2.16	PRE CONSTRUCTION 2
4	8.23.16	PRE CONSTRUCTION 1
5	11.17.15	REVISION 1
6	8.23.16	REVISION 2

SCALE:	1/4" = 1'-0"
DRAWN BY:	STP
CHECKED BY:	AS
DATE:	7.6.15
PLAN NO.:	7.6.15
NUMBER:	
SHEET NO.:	FOOTAGE2



2ND FLOOR FOOTAGE PLAN

SCALE: 1/4"=1'-0"

WINDOW PLACEMENT, ROOM LAYOUT AND FINISHED MAXIMUM FINISH ELEVATION:
THIS PLAN IS FOR INFORMATION ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION AND
IS NOT TO BE USED TO OBTAIN PERMITS. ANY CHANGES TO THIS PLAN MUST BE
APPROVED BY THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING
ALL NECESSARY PERMITS AND FOR THE ACCURACY OF THE INFORMATION PROVIDED.
THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS.
THIS PLAN IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR
COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

GENERAL NOTES:

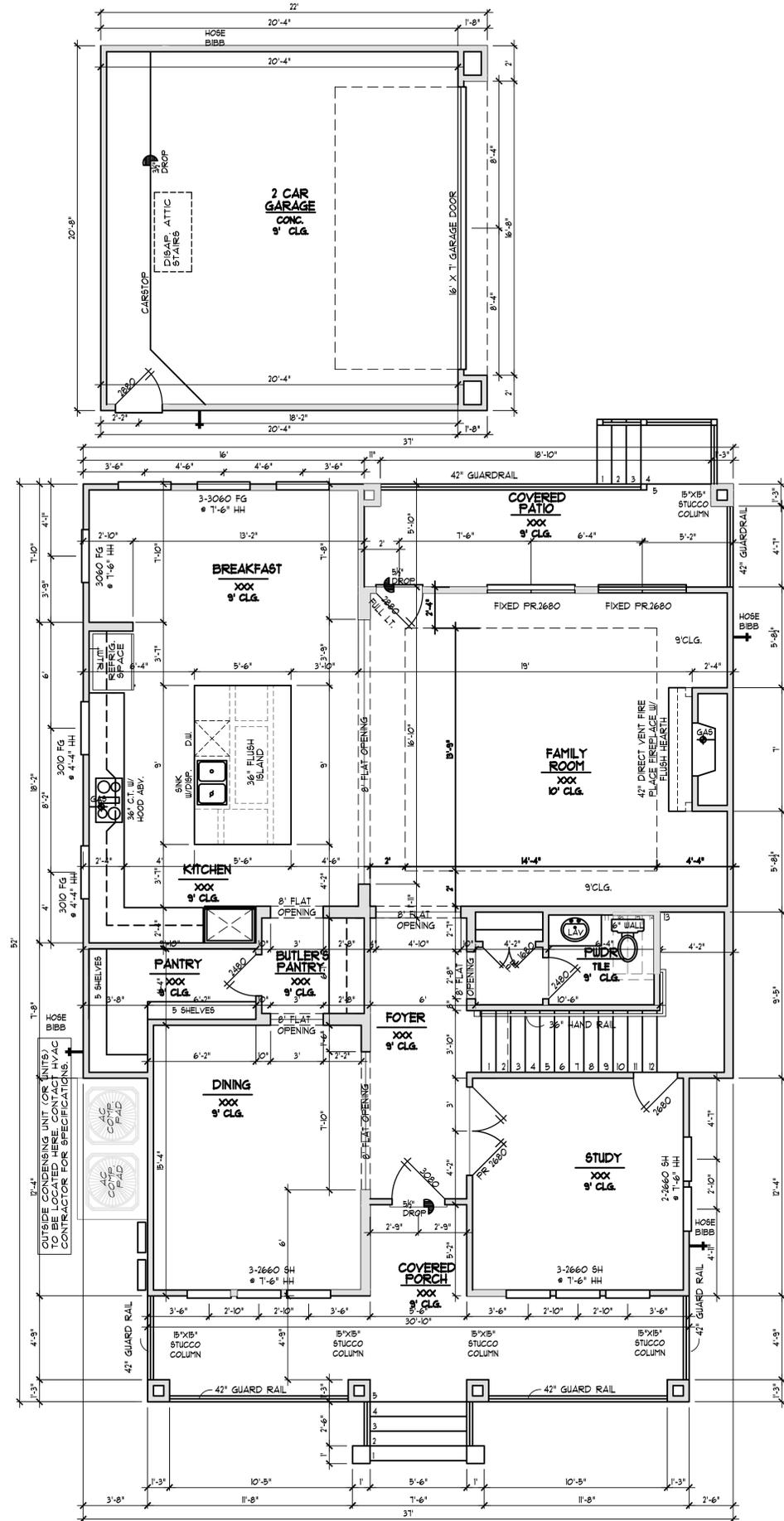
IN COMPLIANCE WITH 2006 IRC

1. HVAC UNITS & GAS W/H/S IN ATTIC. PROVIDE LIGHT FIXTURE NEAR EACH UNIT SWITCHED AT ATTIC ENTRANCE. PROVIDE METAL DRIP PANS WITH OUTSIDE DRAIN LINES. PROVIDE SUB-FLOOR WALKWAY TO & AROUND EACH UNIT CONFORMING TO APPLICABLE CODE.
2. ALL VENTS, FLUES & ROOF JACKS SHALL NOT BE VISIBLE FROM FRONT OF HOUSE.
3. HVAC CONTRACTOR TO DETERMINE TONNAGE & LOCATION'S OF RETURN AIR/S.
4. HVAC CHASE LOCATIONS ARE APPROXIMATE AND MAY VARY.
5. PLACEMENT OF HVAC CONDENSING UNITS DETERMINED AT ROUGH-IN BY HVAC CONTRACTOR.
6. WINDOW PLACEMENT, ROOF LINE AND PORCHES MAY VARY BY ELEVATION.
7. SQUARE FOOTAGE AND ROOM DIMENSIONS ARE APPROXIMATE. VARIANCES IN SQUARE FOOTAGE MAY OCCUR IN DIFFERENT ELEVATIONS OR WHEN DIFFERENT EXTERIOR MATERIALS ARE USED. PLANS, SPECIFICATIONS AND SPECIAL FEATURES ARE SUBJECT TO CHANGE WITHOUT NOTICE.
8. ALL DOORS ARE TO BE 8'-0" TALL WHERE CEILING IS 10' (AND HIGHER) TALL. UNLESS NOTED OTHERWISE EXCLUDING FRONT ENTRY DOORS.
9. ALL DOORS ARE TO BE 6'-8" TALL WHERE CEILING IS 9' (AND LOWER) TALL. UNLESS NOTED OTHERWISE.
10. GUARDRAILS AND HANDRAILS TO COMPLY WITH 2006 IRC 36" HIGH RAILS W/ BALUSTERS @ 4" O.C. MAX. MUST WITHSTAND MIN. UNIFORMLY DIST. 200 LBS. PER SQ.FT. LIVE LOADS APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE GUARDRAIL OR HANDRAIL.
11. BALUSTERS SHALL NOT BE SPACED WHERE A SPHERE OF 4" CANNOT PASS THROUGH. REQUIRED GUARDRAILS SHALL NOT BE CONSTRUCTED WITH HORIZONTAL RAILS THAT RESULT IN A LADDER EFFECT PER (R310.2).
12. ALL SECOND FLOOR ESCAPE OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE A MIN. NET CLEAR OPENING OF 5.7 SQ.FT. THE MIN. NET CLEAR WIDTH OPENING SHALL BE NOT LESS THAN 20" AND THE MIN. NET CLEAR HEIGHT OPENING SHALL NOT BE LESS THAN 24". GRADE FLOOR OPENINGS SHALL HAVE A MIN. NET CLEAR OPENING OF 5.7 SQ.FT. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS OR TOOLS.
13. ALL INTERIOR "FLAT OPENINGS" ARE ASSUMED DRYWALL FINISH UNLESS NOTED OTHERWISE. ARCH HEIGHTS ON FIRST FLOOR APPLICATIONS ARE ASSUMED 8'-0" (1" SPRINGLINE/12" RISE) AFF. SECOND FLOOR ARCH HEIGHTS ARE ASSUMED 7'-6" (6"-8" SPRINGLINE/10" RISE) AFF. UNLESS NOTED OTHERWISE.
14. 1ST FLOOR TOTAL RISE 1/2" OR LESS. NO INTERMEDIATE LANDING REQUIRED / 2006 IRC R311.4. 10' 1ST FLOOR PLATE AND 14" W/LUMBER FLOOR SYSTEM & 3/4" SUBFLOOR (see detail).
15. ALL EXHAUSTS SHALL BE VENTED TO EXTERIOR.
16. ALL FRAMING LUMBER SHALL BE NO. 2 S.P.F., K.D. OR BETTER.
17. FIREPLACES SHALL BE INSTALLED PER IRC 2006 AND MANUFACTURER'S SPECIFICATIONS.
18. SAFETY GLASS SHALL BE PROVIDED IN ALL FRENCH DOORS, WINDOWS ADJACENT TUBS AND SHOWER ENCLOSURES, AND W/IN 24" OF EXTERIOR DOOR PER IRC 2006.
19. PROVIDE ACCESS PANELS PER PLUMBING CODE.
20. FULL DOWN STAIR SPEC'S: 30" X 54" ATTIC ACCESS 350 LB. MAX.

PLAN AREAS (SQ FT)	
FIRST FLOOR (LIVING AREA)	1474
SECOND FLOOR (LIVING AREA)	1566
TOTAL LIVING	3040
COVERED PORCH/ ENTRY	213
COVERED PATIO	123
TOTAL SLAB	1810
TOTAL COVERED AREA	3376

FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"



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No.	DATE	DESCRIPTION
1	7.8.15	PLAN MEETING 1
2	7.13.15	REVISED PLAN
3	8.2.16	PRE CONSTRUCTION
4	8.25.16	PRE CONSTRUCTION 2
5	11.17.15	REVISION 1
6	8.25.16	REVISION 2

SCALE:	1/4" = 1'-0"
DRAWN BY:	DESIGNER
CHECKED BY:	AISS
DATE:	7.6.15
P.I.B. PLAN NO.	NUMBER

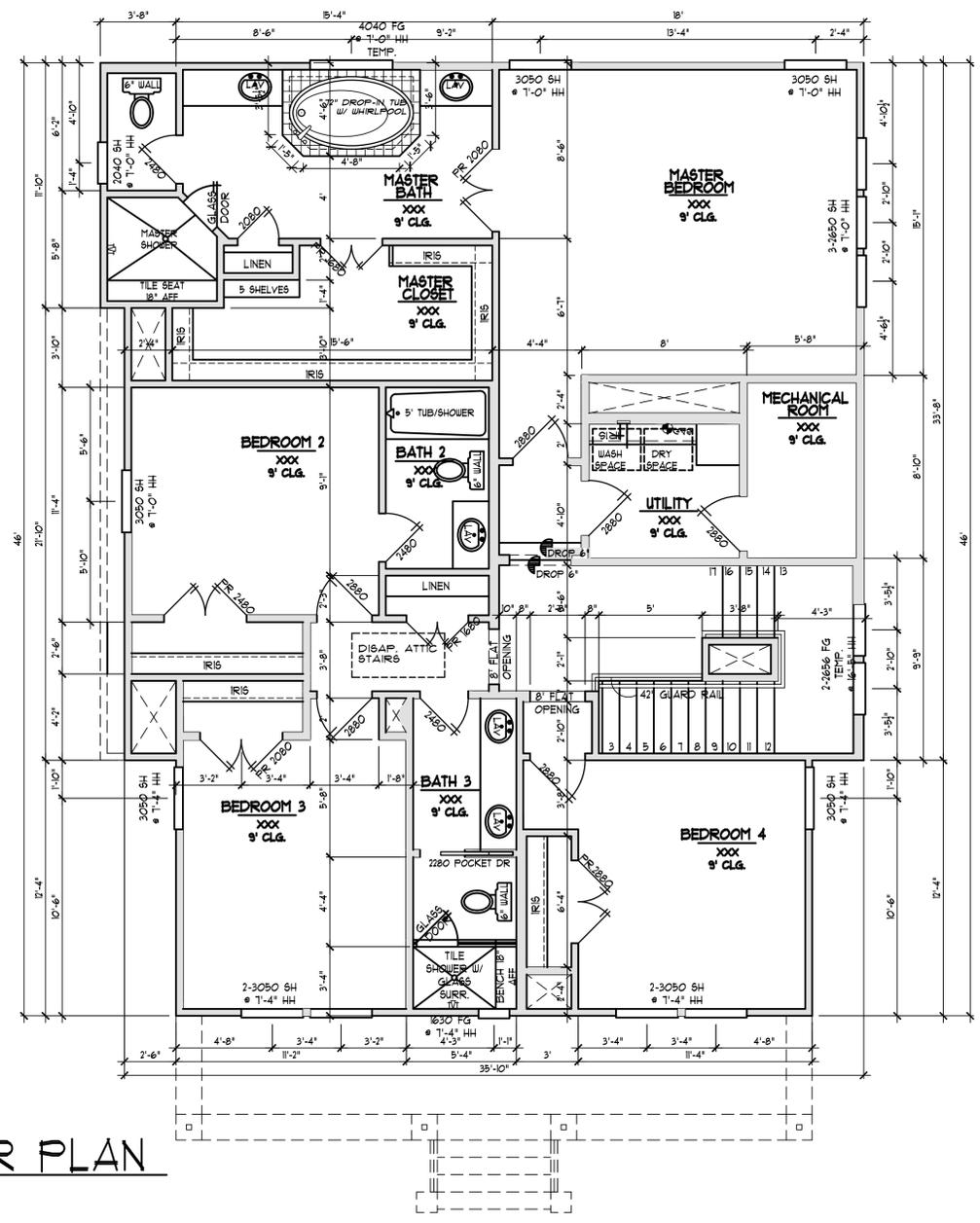
SHEET NO.
FLOOR 1

WINDOW PLACEMENT, ROOF LINE AND PORCHES MAY VARY BY ELEVATION. SQUARE FOOTAGE AND ROOM DIMENSIONS ARE APPROXIMATE. VARIANCES IN SQUARE FOOTAGE MAY OCCUR IN DIFFERENT ELEVATIONS OR WHEN DIFFERENT EXTERIOR MATERIALS ARE USED. PLANS, SPECIFICATIONS AND SPECIAL FEATURES ARE SUBJECT TO CHANGE WITHOUT NOTICE. AISSIGNS CO. THESE PLANS AND SPECIFICATIONS ARE COPYRIGHTED AND MAY NOT BE USED WITHOUT THE EXPRESSED WRITTEN CONSENT OF AISSIGNS CO.

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2ND FLOOR PLAN
SCALE: 1/4"=1'-0"

No.	DATE	DESCRIPTION
1	7.6.15	PLAN MEETING 1
2	7.13.15	REVISED PLAN
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4	8.25.16	PRE CONSTRUCTION 2
5	11.17.15	REVISION 1
6	8.25.16	REVISION 2

SCALE:	1/4" = 1'-0"
DRAWN BY:	DESIGNER
CHECKED BY:	AI
DATE:	7.6.15
P.I.B. PLAN NO.	NUMBER
SHEET NO.	

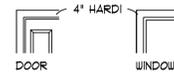
FLOOR 2

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ELEVATION GENERAL NOTES

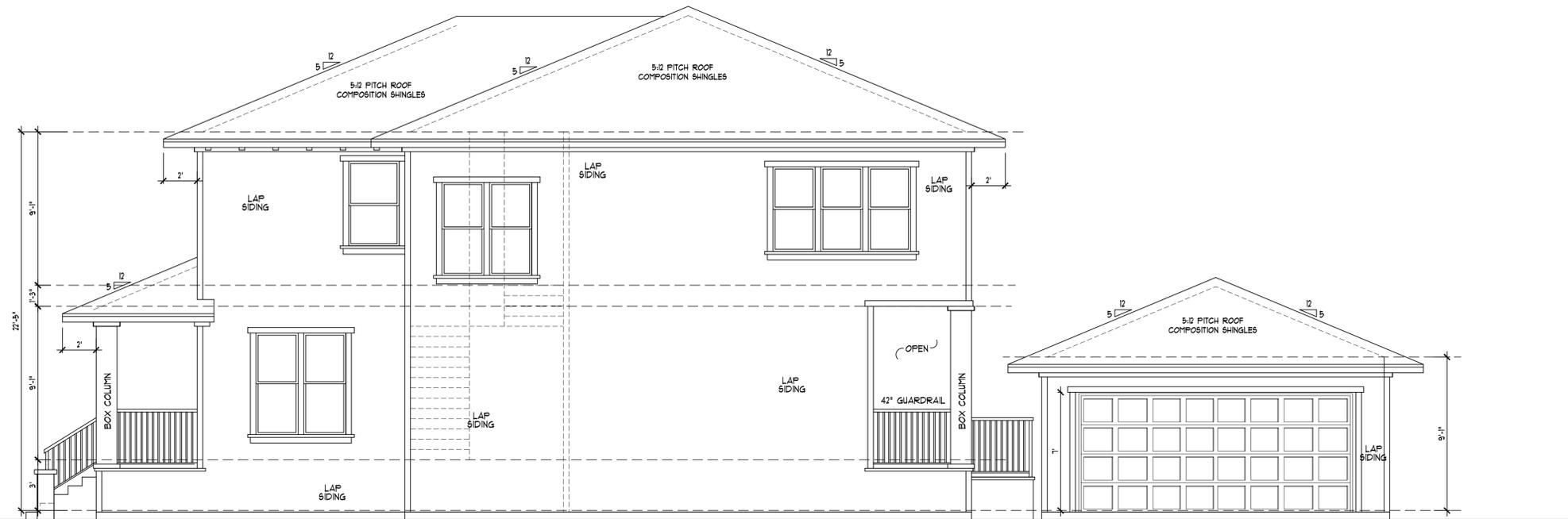
1. FOR ALL 4:12 PITCH, OR LESS, PROVIDE ICE AND WATER SHIELD TYP.
2. ALL CORBELS ARE TO BE STUCCO IN FINISH UNLESS NOTED OTHERWISE.
3. ALL WINDOWS AND DOORS, WHERE STUCCO FINISHES ARE APPLIED, ARE TO RECEIVE 3" STUCCO TRIM (BAND) UNLESS NOTED OTHERWISE. DOORS & BRICK LOCATIONS TO RECEIVE STANDARD BRICK MOULD TRIM.

TYP. HARDI TRIM
WINDOWS AND DOORS



FRONT ELEVATION

SCALE: 1/4"=1'-0"



RIGHT ELEVATION

SCALE: 1/4"=1'-0"

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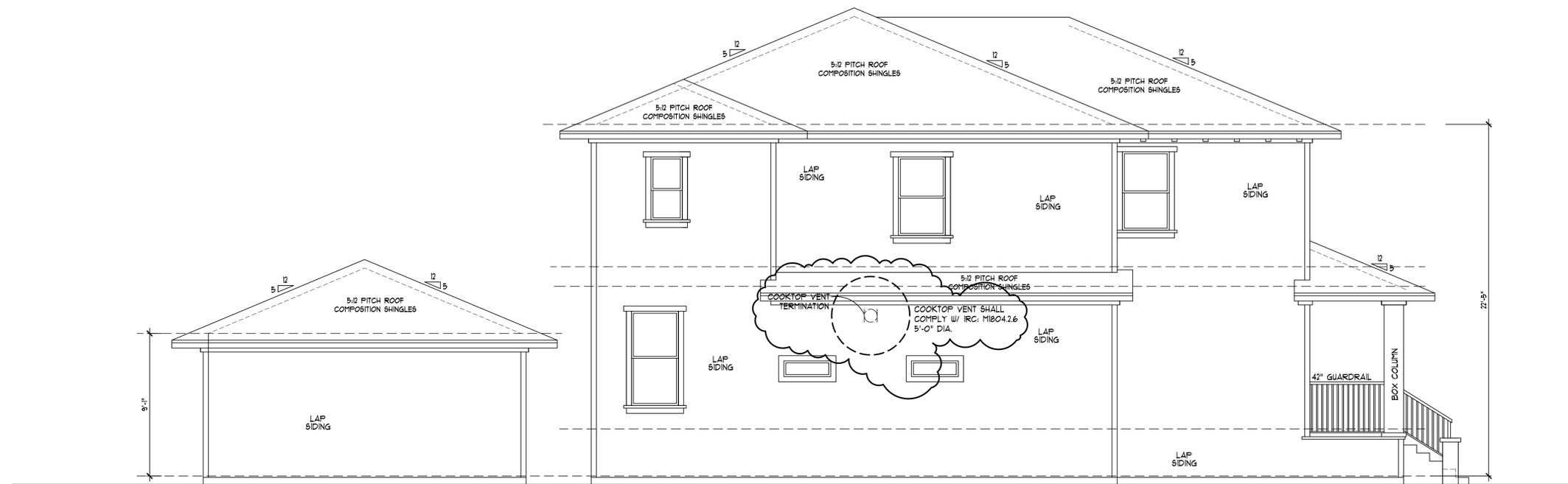
SCALE: 1/4" = 1'-0"
DRAWN BY: DESIGNER
CHECKED BY: AIS
DATE: 7.6.15
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SHEET NO.
ELEV. 1

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REAR ELEVATION
SCALE: 1/4"=1'-0"



LEFT ELEVATION
SCALE: 1/4"=1'-0"

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SCALE: 1/4" = 1'-0"
DRAWN BY: DESIGNER
CHECKED BY: AIS
DATE: 7.6.15
P.I.B. PLAN NO. NUMBER
SHEET NO.

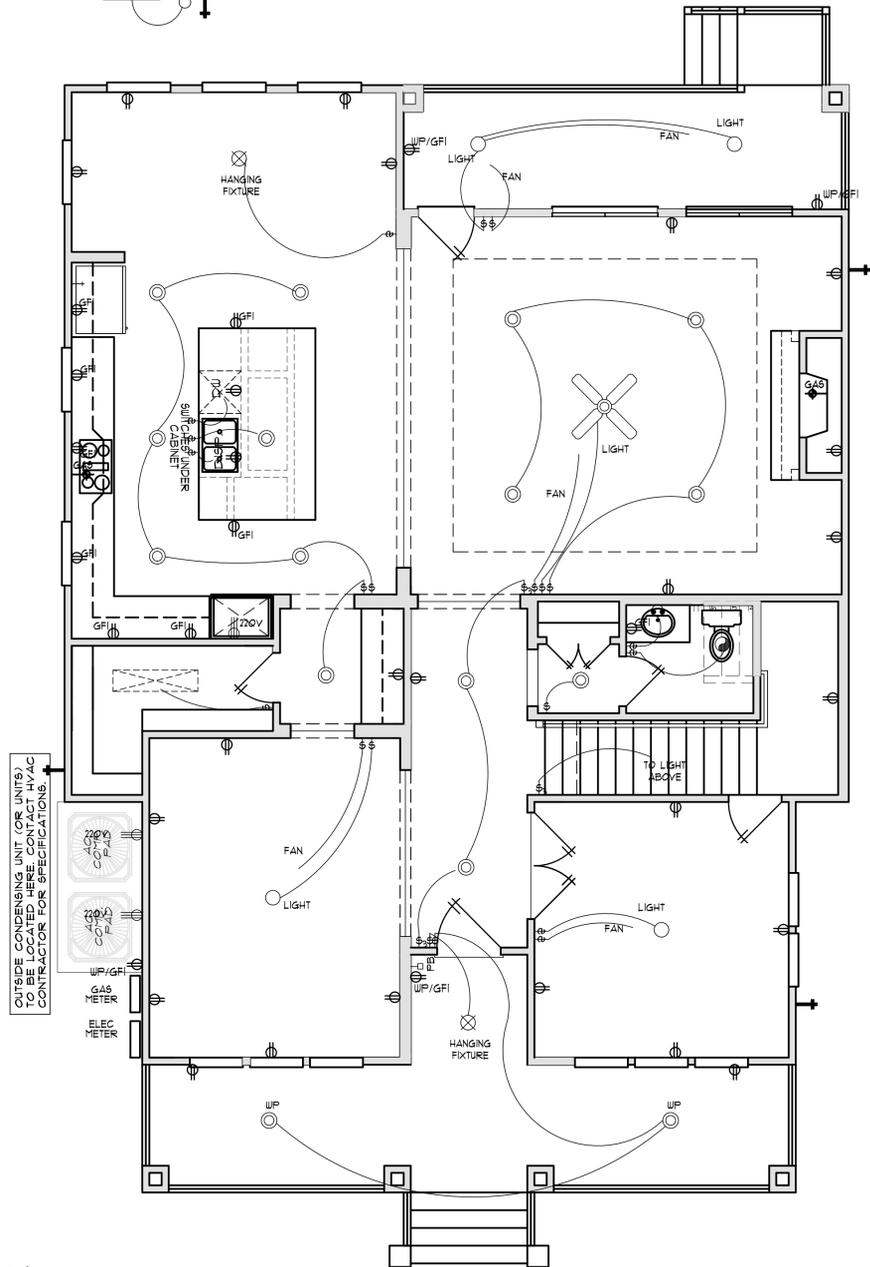
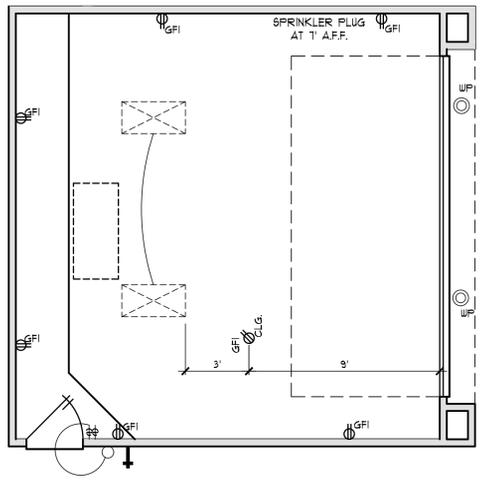
ELEV. 2

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ELECTRICAL LEGEND	
	110 VOLT RECEPTACLE
	WATERPROOF RECEPTACLE
	110 VOLT IN CLG.
	110 VOLT W/ GROUND FAULT INTERRUPTER
	110 VOLT IN FLOOR
	220 VOLT RECEPTACLE
	TELEVISION ANTENNA
	GAS OUTLET
	HOSE BIB
	TELEPHONE OUTLET
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DIMMER SWITCH
	PUSH BUTTON
	SMOKE DETECTOR
	THERMOSTAT
	DOORBELL CHIMES
	CEILING MOUNTED LIGHT FIXTURE
	HANGING LIGHT
	RECESSED CAN LIGHT
	WATERPROOF RECESSED CAN LIGHT
	RECESSED EYEBALL SPOT LIGHT
	WALL MOUNTED LIGHT FIXTURE
	PORCELAIN FIXTURE W/ FULL CORD
	FLOOD LIGHTS
	EXHAUST FAN
	EXHAUST FAN W/ LIGHT
	EXHAUST FAN W/ HEAT LAMP
	EXHAUST FAN W/ HEAT LAMP & LT.
	KEYLESS CEILING MOUNTED LIGHT FIXTURE
	UNDER COUNTER LIGHT
	ZONE SENSOR
	CEILING FAN
	CEILING FAN W/ LIGHT
	CEILING LIGHT W/ FUTURE FAN
	FLUORESCENT LIGHT

ELECTRICAL GENERAL NOTES:
IN COMPLIANCE WITH 2009 IRC/2008NEC

- SMOKE DETECTORS MUST TIE INTO ELECTRICAL SYSTEM, HAVE BATTERY BACK UP, AND BE INTERCONNECTED PER 2009 ED. IRC SECT. 311.
- ALL WIRING MUST BE COPPER.
- 8 GENERAL OUTLETS PER CIRCUIT.
- 14/2 U.G. ON ALL GENERAL CIRCUITS.
- 14/2 U.G. MAY BE USED FOR SWITCH LEGS ONLY.
- FANS SHALL BE WIRED WITH NO. 12 WIRE.
- LIGHTS SHALL BE 8'-0" MIN. & PROTECTED OVER TUB & SHOWER.
- NO SWITCH SHALL BE WITH 5' MIN. REACH OF ANY TUB OR SHOWER.
- ALL OUTLETS TO BE ARC FAULT PROTECTED.
- PROVIDE G.F.I.C.I. PROTECTION AS REQUIRED BY ELECTRICAL CODES.
- REFERENCE ELEVATION PAGES FOR LOCATIONS OF POWER ATTIC VENT PRE-WIRES.



FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

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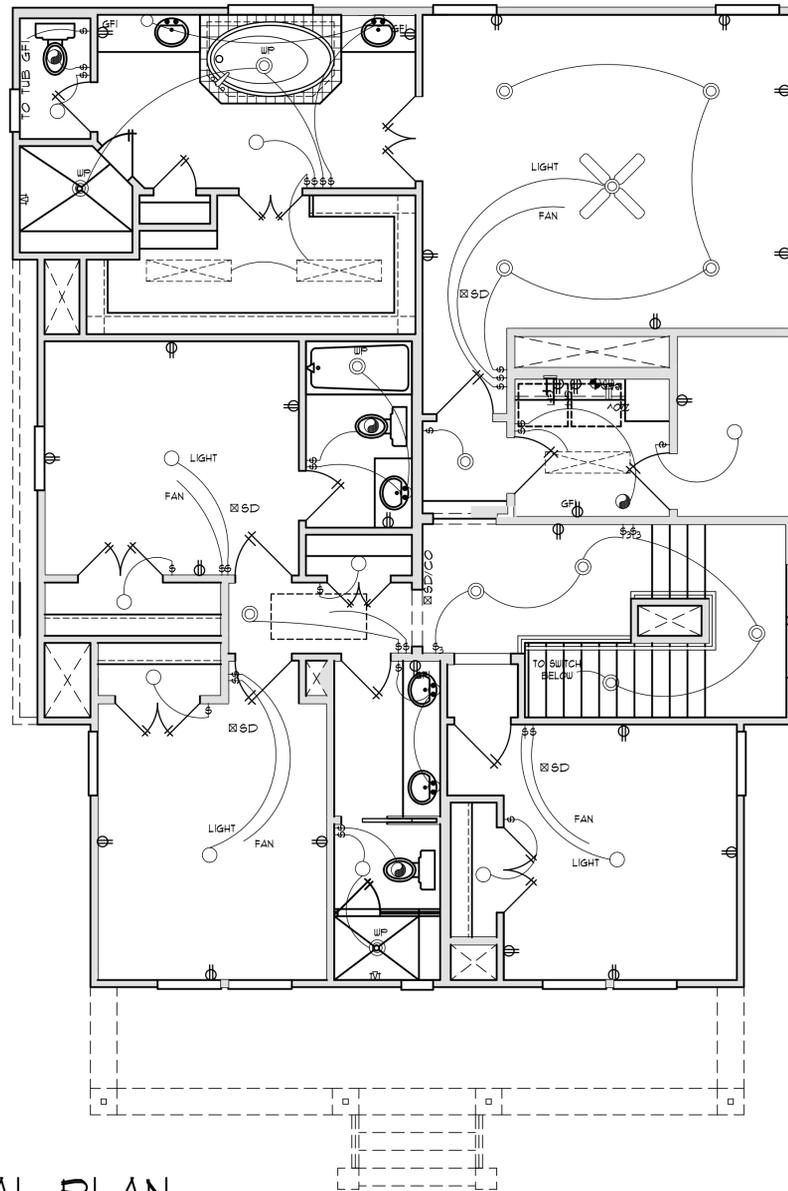
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No.	DESCRIPTION	DATE
1	PLAN MEETING 1	7.8.15
2	REVISED PLAN	7.13.15
3	PRE CONSTRUCTION	8.2.16
4	PRE CONSTRUCTION 2	8.25.16
5	REVISION 1	11.17.15
6	REVISION 2	8.25.16

SCALE:	1/4" = 1'-0"
DRAWN BY:	STP
CHECKED BY:	AI5
DATE:	7.6.15
P.I.B. PLAN NO.	NUMBER
SHEET NO.	ELEC. 1

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ELECTRICAL LEGEND	
	110 VOLT RECEPTACLE
	WATERPROOF RECEPTACLE
	110 VOLT IN CLG.
	110 VOLT W/ GROUND FAULT INTERRUPTER
	110 VOLT IN FLOOR
	220 VOLT RECEPTACLE
	TELEVISION ANTENNA
	GAS OUTLET
	HOSE BIB
	TELEPHONE OUTLET
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DIMMER SWITCH
	PUSH BUTTON
	SMOKE DETECTOR
	THERMOSTAT
	DOORBELL CHIMES
	CEILING MOUNTED LIGHT FIXTURE
	HANGING LIGHT
	RECESSED CAN LIGHT
	WATERPROOF RECESSED CAN LIGHT
	RECESSED EYEBALL SPOT LIGHT
	WALL MOUNTED LIGHT FIXTURE
	PORCELAIN FIXTURE W/ PULL CORD
	FLOOD LIGHTS
	EXHAUST FAN
	EXHAUST FAN W/ LIGHT
	EXHAUST FAN W/ HEAT LAMP
	EXHAUST FAN W/ HEAT LAMP & LT.
	KEYLESS CEILING MOUNTED LIGHT FIXTURE
	UNDER COUNTER LIGHT
	ZONE SENSOR
	CEILING FAN
	CEILING FAN W/ LIGHT
	CEILING LIGHT W/ FUTURE FAN
	FLUORESCENT LIGHT



SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/4"=1'-0"

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No.	DESCRIPTION	DATE
1	PLAN MEETING 1	7.6.15
2	REVISED PLAN	7.13.15
3	PRE CONSTRUCTION 1	8.2.16
4	PRE CONSTRUCTION 2	8.25.16
5	REVISION 1	11.17.15
6	REVISION 2	8.25.16

SCALE: 1/4" = 1'-0"

DRAWN BY: STP

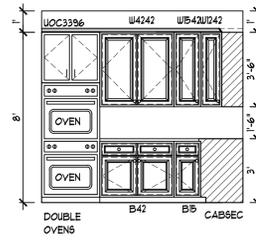
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DATE: 7.6.15

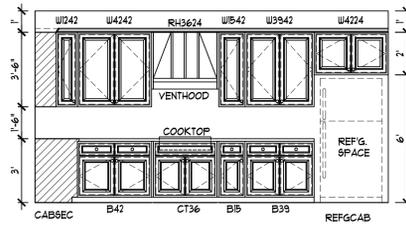
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SHEET NO.

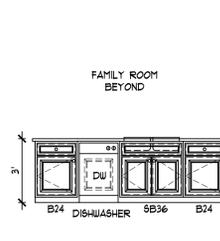
ELEC. 2



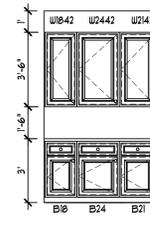
KITCHEN



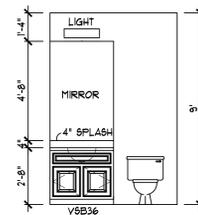
KITCHEN



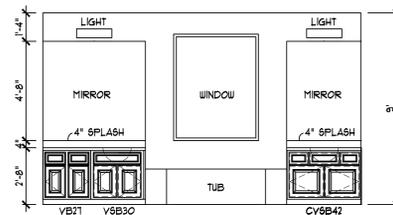
KITCHEN ISLAND



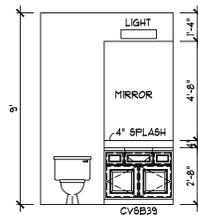
BUTLER'S PANTRY



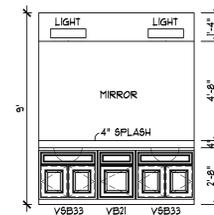
POWDER



MASTER BATH



BATH 2



BATH 3

LEGEND:

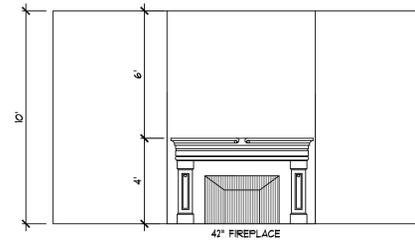
- B BASE CAB.
- CT COOK TOP
- DB DRAWER BASE CAB
- F FILLER
- VB VANITY BASE
- VDB VANITY DRAWER BASE
- W WALL CABINET

NOTES:

ALL CABINET DOOR STYLES, DRAWER STYLES, HARDWARE AND FINISHES ARE TO BE DETERMINED WITH HOME OWNER. TYPICAL FOR ALL.

PROVIDE FALSE DRAWER FRONTS WHERE APPLICABLE. PROVIDE WOOD SKINS ON ALL CABINETS WITH EXPOSED END PANELS & BASE CABINETS AT THE ISLAND

SUPER TO CHECK VANITY CAB. DEPTH W/ GRANITE AND CASING PLACEMENT



FAMILY ROOM

CABINET ELEVATIONS

SCALE: 1/4"=1'-0"

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No.	DATE	DESCRIPTION
1	7.6.15	PLAN MEETING 1
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3	8.2.16	PRE CONSTRUCTION
4	8.25.16	PRE CONSTRUCTION 2
5	11.17.15	REVISION 1
6	8.25.16	REVISION 2

SCALE: 1/4" = 1'-0"

DRAWN BY: DESIGNER

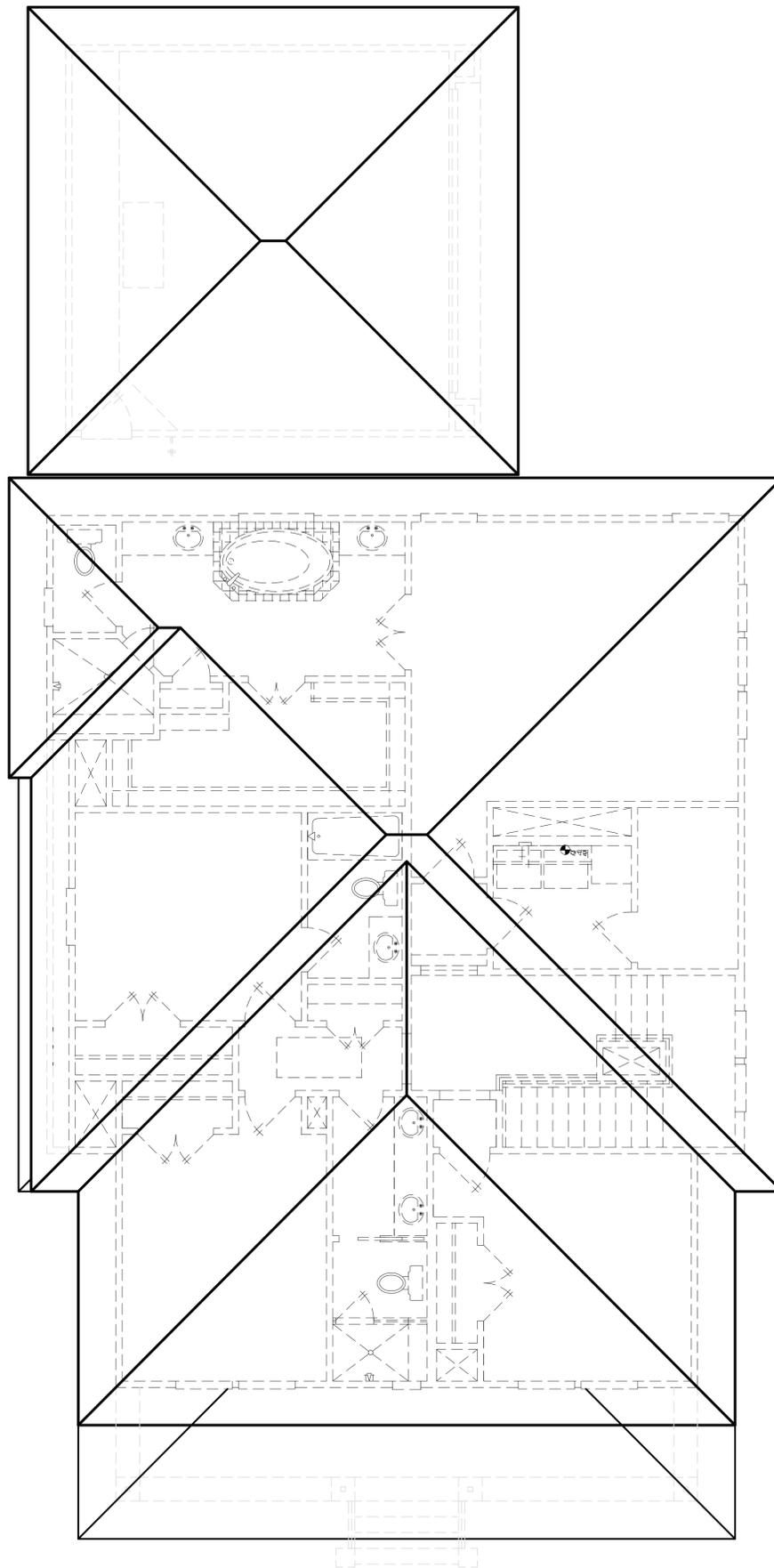
CHECKED BY: AIS

DATE: 7.6.15

P.I.B. PLAN NO. NUMBER

SHEET NO. INT.

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No.	DATE	DESCRIPTION
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4	8.25.16	PRE CONSTRUCTION 2
5	11.17.15	REVISION 1
6	8.25.16	REVISION 2

SCALE: 1/4" = 1'-0"

DRAWN BY: DESIGNER

CHECKED BY: AIS

DATE: 7.6.15

P.I.B. PLAN NO. NUMBER

SHEET NO.

ROOF

GENERAL NOTES

- 1) PROVIDE G.E.I.C.L. PROTECTION AS REQUIRED BY ELECTRICAL CODES
- 2) ALL EXHAUSTS SHALL BE VENTED TO EXTERIOR
- 3) ALL FRAMING LUMBER SHALL BE NO. 2 S.Y.P. K.D. OR BETTER
- 4) FIREPLACES SHALL BE INSTALLED PER IRC 2012 AND MANUFACTURER'S SPECIFICATIONS.
- 5) SAFETY GLASS SHALL BE PROVIDED IN ALL FRENCH DOORS, WINDOWS ADJACENT TUBS AND SHOWER ENCLOSURES, AND W/IN 24" OF EXTERIOR DOOR PER IRC 2012
- 6) PROVIDE ACCESS PANELS PER PLUMBING CODE
- 7) HVAC UNITS & GAS W/H'S IN ATTIC. PROVIDE LIGHT FIXTURE NEAR EACH UNIT SWITCHED AT ATTIC ENTRANCE. PROVIDE METAL DRIP PANS WITH OUTSIDE DRAIN LINES. PROVIDE SUB-FLOOR WALKWAY TO 4 AROUND EACH UNIT CONFORMING TO APPLICABLE CODE.
- 8) ALL VENTS, FLUES & ROOF JACKS SHALL NOT BE VISIBLE FROM FRONT OF HOUSE.
- 9) HVAC CONTRACTOR TO CONFIRM TONNAGE & LOCATIONS OF RETURN AIR'S AND MECHANICAL AREAS IN ATTICS, PROVIDE 3/4" PLYWOOD DECKING AND 20 LB. LL. MIN. JOIST UNDER REFER TO PLANS FOR PRE ENGINEERED LOCATIONS
- 10) PULL DOWN STAIR SPECS: 30" X 54" ATTIC ACCESS 350 LB. MAX.

ATTIC ACCESS

IRC 2012

ATTICS CONTAINING APPLIANCES REQUIRING ACCESS SHALL BE PROVIDED WITH A FULL DOWN STAIRWAY WITH A CLEAR OPENING (BETWEEN THE HARDWARE) NOT LESS THAN 22" IN WIDTH AND A LOAD CAPACITY OF NOT LESS THAN 350 LBS. AND CLEAR AND UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE, BUT NOT LESS THAN 30" HIGH AND 22" WIDE AND NOT MORE THAN 20 FEET IN LENGTH MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE. THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTER 5 OF THE IRC AND NOT LESS THAN 24" WIDE. A LEVEL SERVICE SPACE AT LEAST 30" DEEP AND 30" WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE A MINIMUM OF 20" BY 30", WHERE SUCH DIMENSIONS ARE LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE.

GARAGE ATTIC ACCESS

IRC 2012

FOR ATTIC DISAPPEARING STAIRS IN THE GARAGE CEILING THE EXPOSED PANEL SHALL BE AT LEAST 3/8" THICK FIRE RETARDANT-TREATED-PLYWOOD OR COVERED WITH A MINIMUM 16 GAUGE SHEET METAL. IN ADDITION TO THESE TWO METHODS, THE FOLLOWING METHODS ARE ALSO ACCEPTABLE FOR PROTECTING THE ATTIC DISAPPEARING STAIRS AND OTHER ACCESS OPENINGS: 1) UNTREATED PLYWOOD PROTECTED WITH 1/2" THICK GYPSUM BOARD, 2) UNTREATED PLYWOOD PROTECTED WITH AN INTUMESCENT PAINT. IN ALL CASES THE OPENING PROTECTION MATERIAL IS APPLIED TO THE GARAGE SIDE OF THE PLYWOOD.

PROVIDE 2'-0" MIN. DECKED SERVICE WALK TO W.H. FROM ATTIC STAIRS.

PROVIDE DECKING BELOW MET. PAN. MET. PAN SIZE DETERMINED BY CAPACITY OF W.H. & CITY CODE MIN. REQUIREMENT.

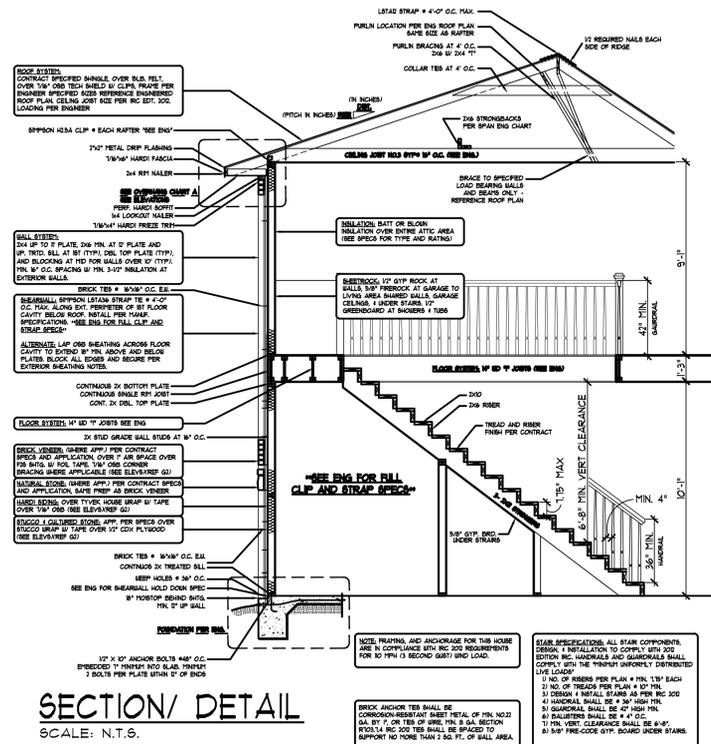
FOR GAS W.H. ADEQUATE ATTIC VENTILATION IS REQD. INSTALLATION OF W.H. MUST SATISFY ALL CITY CODE REQUIREMENTS.

PROVIDE DR. LINES TO EXTERIOR (NOT TO S&L) (FAN & W.H.) MET. PAN TO BE EQUIP. W/DR.

LOCATE OVER PARTITION TO OUTSIDE.

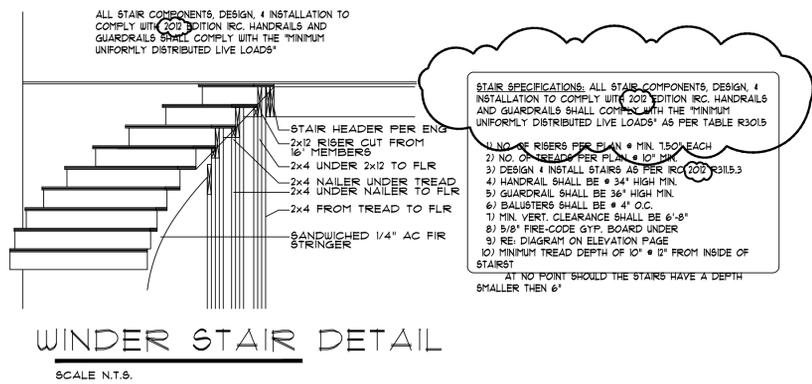
6" MET. PAN, 26 GA. FASTEN TO DECKING & CLG. JOIST. EQUIP. W/ DRAIN TO OUTSIDE.

CEILING JOIST AS PER PLAN 2x6'S @ 16" O.C. MAX. SPAN 8'-0" 2x8'S @ 16" O.C. MAX. SPAN 10'-0"



SECTION/ DETAIL
SCALE: N.T.S.

NOTE:
HANDRAILS AND GUARDRAILS SHALL COMPLY WITH THE "MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS" 200 LBS. PER SQ. FT. LIVE LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF HANDRAIL



WINDER STAIR DETAIL
SCALE N.T.S.

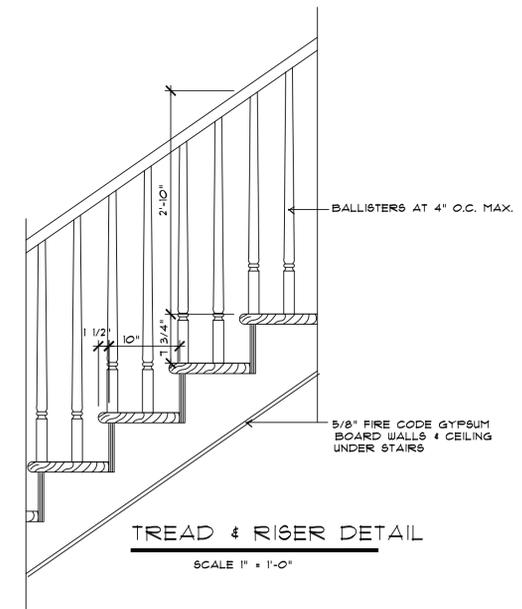
STAIR SPECIFICATIONS: ALL STAIR COMPONENTS, DESIGN & INSTALLATION TO COMPLY WITH 2012 EDITION IRC. HANDRAILS AND GUARDRAILS SHALL COMPLY WITH THE "MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS" AS PER TABLE R301.5

- 1) NO. OF RISERS PER PLAN @ MIN. 150" EACH
- 2) NO. OF TREADS PER PLAN @ 10' MIN.
- 3) DESIGN & INSTALL STAIRS AS PER IRC 2012 R301.5.3
- 4) HANDRAIL SHALL BE @ 34" HIGH MIN.
- 5) GUARDRAIL SHALL BE 36" HIGH MIN.
- 6) BALUSTERS SHALL BE @ 4" O.C.
- 7) MIN. VERT. CLEARANCE SHALL BE 6'-8"
- 8) 5/8" FIRE-CODE GYP. BOARD UNDER
- 9) REI. DIAGRAM ON ELEVATION PAGE
- 10) MINIMUM TREAD DEPTH OF 10" @ 12" FROM INSIDE OF STAIRS

AT NO POINT SHOULD THE STAIRS HAVE A DEPTH SMALLER THEN 6"

ELECTRICAL NOTES

- 1) SMOKE DETECTORS MUST TIE INTO ELECTRICAL SYSTEM, HAVE BATTERY BACK UP, AND BE INTERCONNECTED.
- 2) ALL WIRING MUST BE COVERED.
- 3) 8 GENERAL OUTLETS PER CIRCUIT
- 4) 12/2 W.G. ON ALL GENERAL CIRCUITS.
- 5) 14/2 W.G. MAY BE USED FOR SWITCH LEGS ONLY.
- 6) SMOKE DETECTOR W/ BATTERY BACKUP PER 2012 ED. IRC
- 7) FANS SHALL BE WIRED WITH NO. 12 WIRE.
- 8) LIGHTS SHALL BE 8'-0" MIN. & PROTECTED OVER TUB & SHOWER.
- 9) CANNOT BE ABLE TO REACH 5' MIN. ELECTRICAL SWITCH OR OUTLET FROM TUB OR SHOWER
- 10) ALL BEDROOM OUTLETS TO BE ARC FAULT PROTECTED
- 11) REFERENCE ELEVATION PAGES FOR LOCATIONS OF POWER ATTIC VENT PRE-WIRES.



TREAD & RISER DETAIL
SCALE 1" = 1'-0"

RESIDENCE
1115 JEROME ST
NORHILL



AISSigns co
"designed for your lifestyle"

No.	DATE	DESCRIPTION
1	7.8.15	PLAN MEETING 1
2	7.13.15	REVISED PLAN
3	8.2.16	PRE CONSTRUCTION
4	8.25.16	PRE CONSTRUCTION 2
5	11.17.15	REVISION 1
6	8.25.16	REVISION 2

SCALE:	1/4" = 1'-0"
DRAWN BY:	STP
CHECKED BY:	AISS
DATE:	7.6.15
P.I.B. PLAN NO.	NUMBER
SHEET NO.	

STUBB

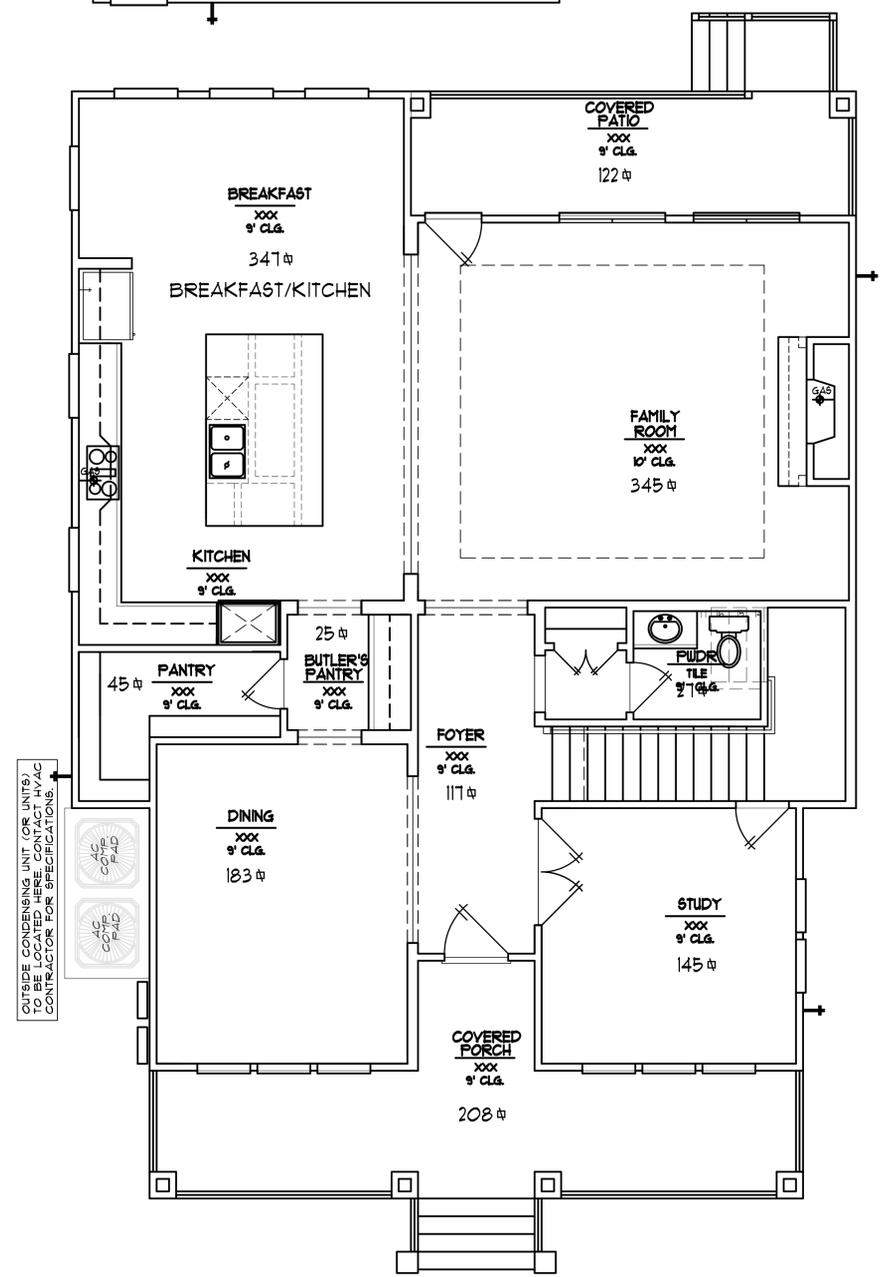
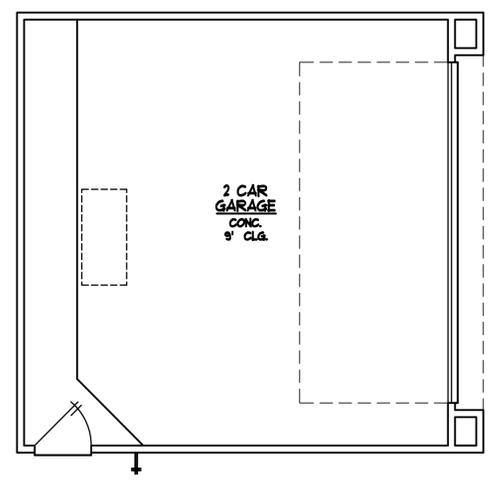
RESIDENCE
1115 JEROME ST
NORHILL



AIS Designs co
"designed for your lifestyle"

No.	DATE	DESCRIPTION
1	7.6.15	PLAN MEETING 1
2	7.13.15	REVISED PLAN
3	8.2.16	PRE CONSTRUCTION 2
4	8.25.16	PRE CONSTRUCTION 1
5	11.17.15	REVISION 1
6	8.25.16	REVISION 2

SCALE:	1/4" = 1'-0"
DRAWN BY:	STP
CHECKED BY:	AI5
DATE:	7.6.15
P.I.B. PLAN NO.	NUMBER
SHEET NO.	FOOTAGE 1



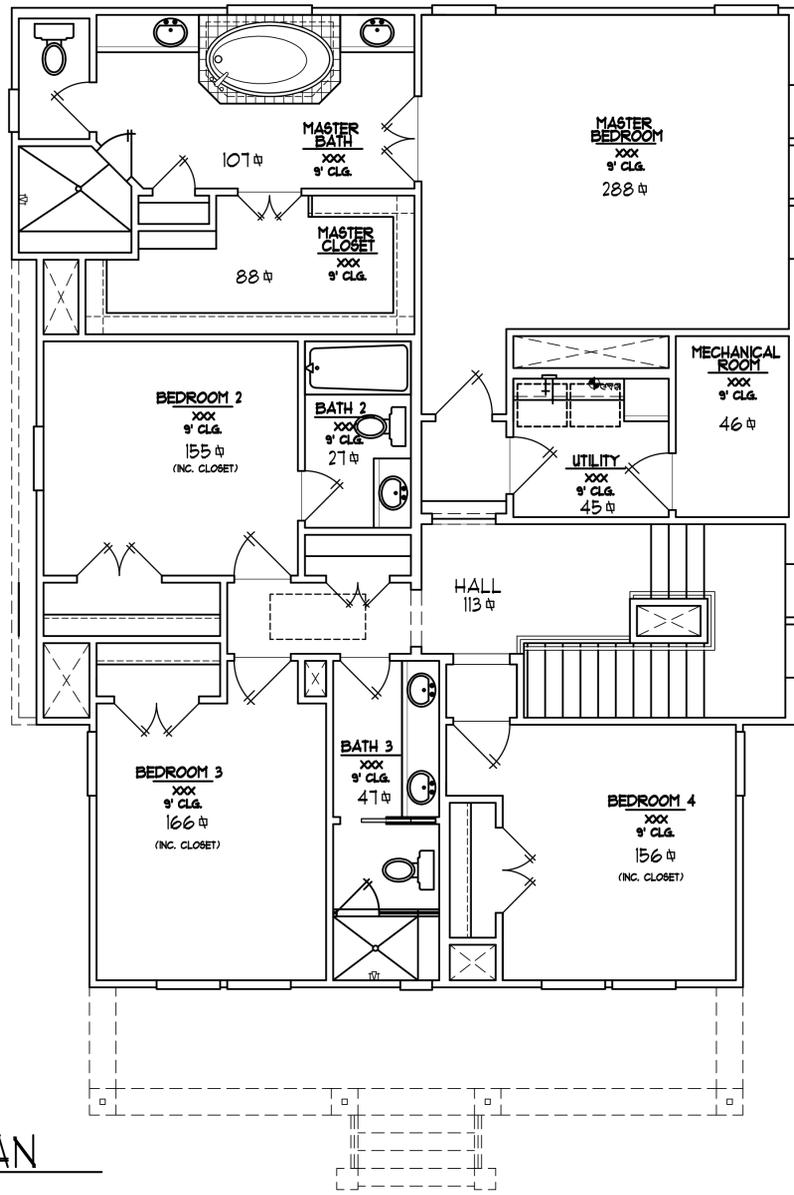
FIRST FLOOR FOOTAGE PLAN
SCALE: 1/4"=1'-0"

WINDOW PLACEMENT, ROOF LINE AND PORCHES MAY VARY BY ELEVATION. SQUARE FOOTAGE AND ROOM DIMENSIONS ARE APPROXIMATE. VARIANCES IN SQUARE FOOTAGE MAY OCCUR IN DIFFERENT ELEVATIONS OR WHEN DIFFERENT EXTERIOR MATERIALS ARE USED. PLANS, SPECIFICATIONS AND SPECIAL FEATURES ARE SUBJECT TO CHANGE WITHOUT NOTICE. AIS DESIGNS CO. THESE PLANS AND SPECIFICATIONS ARE COPYRIGHTED AND MAY NOT BE USED WITHOUT THE EXPRESSED WRITTEN CONSENT OF AIS DESIGNS CO.

RESIDENCE
1115 JEROME ST
NORHILL



AIS Designs co
"designed for your lifestyle"



2ND FLOOR FOOTAGE PLAN
SCALE: 1/4"=1'-0"

No.	DATE	DESCRIPTION
1	7.8.15	PLAN MEETING 1
2	7.13.15	REVISED PLAN
3	8.2.16	PRE CONSTRUCTION
4	8.25.16	PRE CONSTRUCTION 2
5	11.17.15	REVISION 1
6	8.25.16	REVISION 2

SCALE: 1/4" = 1'-0"
DRAWN BY: STP
CHECKED BY: AIS
DATE: 7.6.15
P.I.B. PLAN NO. NUMBER
SHEET NO.

FOOTAGE2

WINDOW PLACEMENT, ROOF LINE AND PORCHES MAY VARY BY ELEVATION. SQUARE FOOTAGE AND ROOM DIMENSIONS ARE APPROXIMATE. VARIANCES IN SQUARE FOOTAGE MAY OCCUR IN DIFFERENT ELEVATIONS OR WHEN DIFFERENT EXTERIOR MATERIALS ARE USED. PLANS, SPECIFICATIONS AND SPECIAL FEATURES ARE SUBJECT TO CHANGE WITHOUT NOTICE. © AIS DESIGNS CO. THESE PLANS AND SPECIFICATIONS ARE COPYRIGHTED AND MAY NOT BE USED WITHOUT THE EXPRESSED WRITTEN CONSENT OF AIS DESIGNS CO.

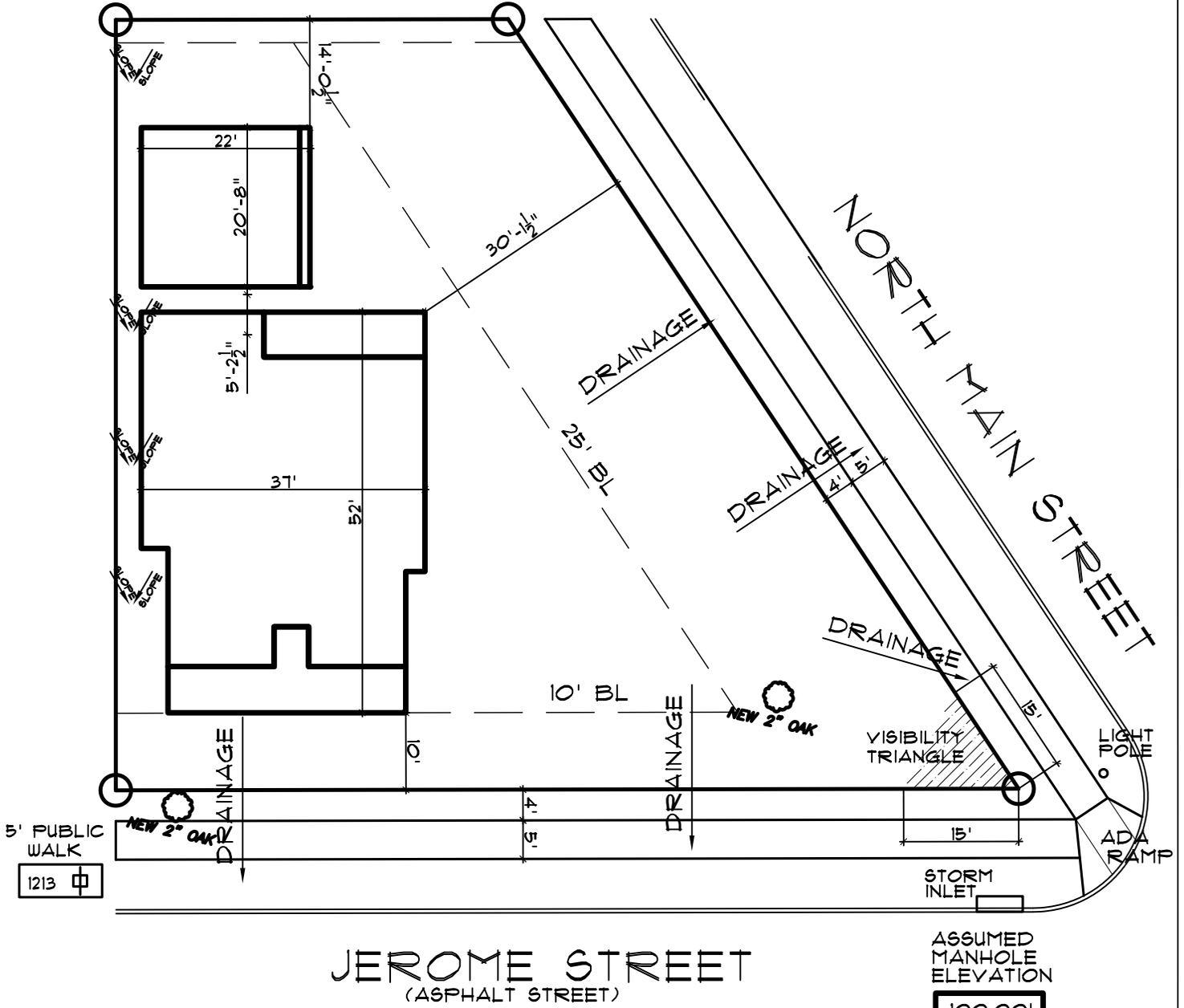
PROPOSED
RESIDENCE

SWALE DETAIL

SCALE: N.T.S.

5% SLOPE 5% SLOPE

ADJACENT
PROPERTY



JEROME STREET
(ASPHALT STREET)

ASSUMED
MANHOLE
ELEVATION

100.00'

Subdivision: NORTH NORHILL

Lot: 13 Block: 102 Section: -

Address: 1115 JEROME ST.

Buyer: SPEC T.O.S. = XXXX

Plan CUSTOM

Scale: 1"=20' Date: 8.2.16

ELEVATION CERTIFICATE

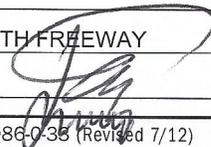
IMPORTANT: Follow the instructions on pages 1-9.

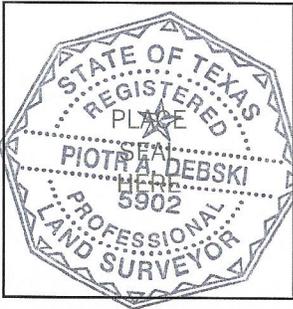
OMB No. 1660-0008
 Expiration Date: July 31, 2015

SECTION A - PROPERTY INFORMATION		FOR INSURANCE COMPANY USE
A1. Building Owner's Name JIMMY R. RIVERA		Policy Number:
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1115 JEROME STREET		Company NAIC Number:
City HOUSTON	State TX	ZIP Code 77009
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) LOT 13 BLOCK 102 NORTH NORTHILL		
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) RESIDENTIAL		
A5. Latitude/Longitude: Lat. 29.802071 Long. -95.386879 Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983		
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.		
A7. Building Diagram Number 1		
A8. For a building with a crawlspace or enclosure(s):		A9. For a building with an attached garage:
a) Square footage of crawlspace or enclosure(s) N/A sq ft		a) Square footage of attached garage 290 sq ft
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade N/A		b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade N/A
c) Total net area of flood openings in A8.b N/A sq in		c) Total net area of flood openings in A9.b N/A sq in
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number CITY OF HOUSTON 480296			B2. County Name HARRIS		B3. State TEXAS
B4. Map/Panel Number 48201C0670	B5. Suffix M	B6. FIRM Index Date 06/09/2014	B7. FIRM Panel Effective/Revised Date 06/09/2014	B8. Flood Zone(s) X	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) 48.0' (SEE NOTE)
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input checked="" type="checkbox"/> Other/Source: NAVD 1988, 2001 ADJ.					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: ____ / ____ / ____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)	
C1. Building elevations are based on: <input type="checkbox"/> Construction Drawings* <input type="checkbox"/> Building Under Construction* <input checked="" type="checkbox"/> Finished Construction *A new Elevation Certificate will be required when construction of the building is complete.	
C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters. Benchmark Utilized: HARRIS COUNTY TSARP RM 050145 Vertical Datum: NAVD 1988, 2001 ADJ. Indicate elevation datum used for the elevations in items a) through h) below. <input type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input checked="" type="checkbox"/> Other/Source: NAVD 1988 2001 ADJ. Datum used for building elevations must be the same as that used for the BFE.	
a) Top of bottom floor (including basement, crawlspace, or enclosure floor) 56 . 2	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
b) Top of the next higher floor _____	<input type="checkbox"/> feet <input type="checkbox"/> meters
c) Bottom of the lowest horizontal structural member (V Zones only) _____	<input type="checkbox"/> feet <input type="checkbox"/> meters
d) Attached garage (top of slab) 55 . 1	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments) 55 . 6	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
f) Lowest adjacent (finished) grade next to building (LAG) 54 . 9	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
g) Highest adjacent (finished) grade next to building (HAG) 55 . 1	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support _____	<input type="checkbox"/> feet <input type="checkbox"/> meters

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION			
This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.			
<input type="checkbox"/> Check here if comments are provided on back of form.		Were latitude and longitude in Section A provided by a licensed land surveyor? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<input type="checkbox"/> Check here if attachments.			
Certifier's Name PIOTR A. DEBSKI		License Number 5902	
Title RPLS	Company Name PRIME TEXAS SURVEYS		
Address 2417 NORTH FREEWAY	City HOUSTON	State TX	ZIP Code 77009
Signature 	Date 03/03/2015	Telephone (713) 864-2400	



ELEVATION CERTIFICATE, page 2

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1115 JEROME STREET			Policy Number:
City HOUSTON	State TX	ZIP Code 77009	Company NAIC Number:

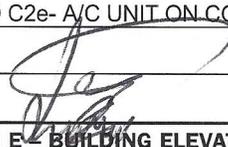
SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments AD B9- THE CLOSEST BFE WITHIN ZONE AE, 4300 FEET EAST FROM SUBJECT BUILDING IS GIVEN

AD C2e- A/C UNIT ON CONCRETE SLAB

Signature



Date 03/03/2015

SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ . _____ feet meters above or below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ . _____ feet meters above or below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8–9 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ . _____ feet meters above or below the HAG.
- E3. Attached garage (top of slab) is _____ . _____ feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ . _____ feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name

Address _____ City _____ State _____ ZIP Code _____

Signature _____ Date _____ Telephone _____

Comments

Check here if attachments.

SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate Of Compliance/Occupancy Issued
-------------------	------------------------	---

- G7. This permit has been issued for: New Construction Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: _____ . _____ feet meters Datum _____
- G9. BFE or (in Zone AO) depth of flooding at the building site: _____ . _____ feet meters Datum _____
- G10. Community's design flood elevation: _____ . _____ feet meters Datum _____

Local Official's Name _____ Title _____

Community Name _____ Telephone _____

Signature _____ Date _____

Comments

Check here if attachments.

BUILDING PHOTOGRAPHS

See Instructions for Item A6.

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1115 JEROME STREET			Policy Number:
City HOUSTON	State TX	ZIP Code 77009	Company NAIC Number:

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



FRONT VIEW MARCH 02 2015



REAR VIEW MARCH 02 2015

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1115 JEROME STREET			Policy Number:	
City HOUSTON	State TX	ZIP Code 77009	Company NAIC Number:	

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.



A/C VIEW MARCH 02 2015



2710 Ladin Dr. Houston, Texas 77039 PHONE: 281.227.8225 FAX: 281.219.4110

Construction at 1115 Jerome Street

Home Sq.ft. 3040

The Property at 2 levels

The foundation is Pier and Beam

The home will have siding on the outside

The roof will be a composition roof

The windows will be Tradition plus wood double hung Auralast Pine, Primed exterior, m White Jambliner, White hardware, attached info on windows

The front door will be a mahogany door



July 15, 2016

**ANDRADE CUSTOM BUILDERS LLC
2710 LADIN DR
HOUSTON TX 77039-3242**

Re: House Remodel at 1115 Jerome St

Dear Kimberly,

Your request for approval of the above referenced project was considered at the July NNA Board meeting. There were eleven of the twelve board members present and the board voted that they approved your submitted plans for the house remodel.

Please let us know if we can be of further assistance at this time.

Sincerely,

NNA Board

CERTIFICATE OF APPROPRIATENESS NEW CONSTRUCTION CHECKLIST



PLANNING &
DEVELOPMENT
DEPARTMENT

Well in advance of the COA application deadline contact staff to discuss your project and, if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Houston Code of Ordinances, Ch. 33 VII, Sec. 33-242 for approval criteria for new construction in a historic district.

PROPERTY ADDRESS: 1115 Jerome St

NEW BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- carport
- accessory structure
- other

DRAWINGS

scale like drawings the same; include all dimensions and drawing scale; label with cardinal directions

- site plan
- floor plans
- window and door schedule
- roof plan
- elevations (all sides)
- perspective

WRITTEN DESCRIPTION

- describe new structure including square footage, levels, foundation, siding, windows, doors, roof and details
- materials description; attach specification sheets if necessary

PHOTOGRAPHS label photos with description and location

- site as seen from street, from front and corners, include neighboring properties

CERTIFICATE OF APPROPRIATENESS APPLICATION FORM



**PLANNING &
DEVELOPMENT
DEPARTMENT**

PROPERTY

Address 1115 Jerome St Houston, TX 77009
 Historic District / Landmark Norhill HCAD # 062-080-002-0013
 Subdivision North Norhill Lot 13 Block 102

DESIGNATION TYPE

- Landmark
- Protected Landmark
- Archaeological Site
- Contributing
- Noncontributing
- Vacant

PROPOSED ACTION

- Alteration or Addition
- Restoration
- New Construction
- Relocation
- Demolition
- Excavation

DOCUMENTS

Application checklist for each proposed action and all applicable documentation listed within are attached

OWNER

Name Victor Andrade
 Company Andrade Custom Builders
 Mailing Address 2710 Ladin Dr
Houston, TX 77039
 Phone 281-386-6572
 Email [REDACTED]
 Signature [Signature]
 Date 8-26-16

APPLICANT (if other than owner)

Name _____
 Company _____
 Mailing Address _____
 Phone _____
 Email _____
 Signature _____
 Date _____

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Deed Restrictions: You have verified that the work does not violate applicable deed restrictions.

Public Records: If attached materials are protected by copyright law, you grant the City of Houston, its officers, agencies, departments, and employees, non-exclusive rights to reproduce, distribute and publish copyrighted materials before the Houston Archaeological and Historical Commission, the Planning Commission, City Council, and other City of Houston commissions, agencies, and departments, on a City of Houston website, or other public forum for the purposes of application for a Certificate of Appropriateness or building permit, and other educational and not for profit purposes. You hereby represent that you possess the requisite permission or rights being conveyed here to the City.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and HAHC approval. Failure to comply with the COA may result in project delays, fines or other penalties.

Planner: _____ Application received: ___/___/___ Application complete: ___/___/___

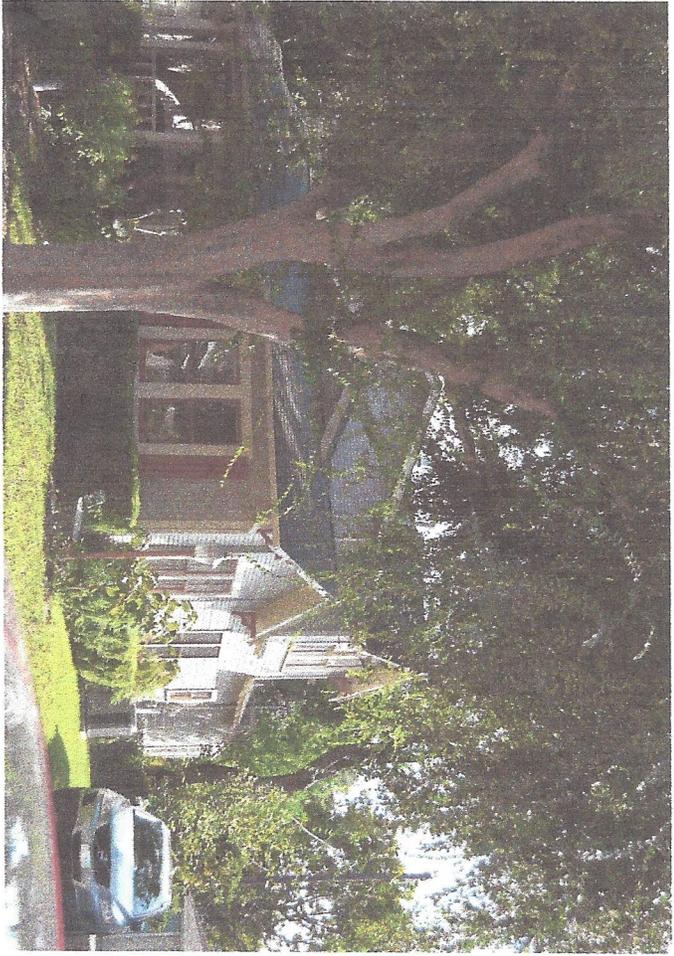
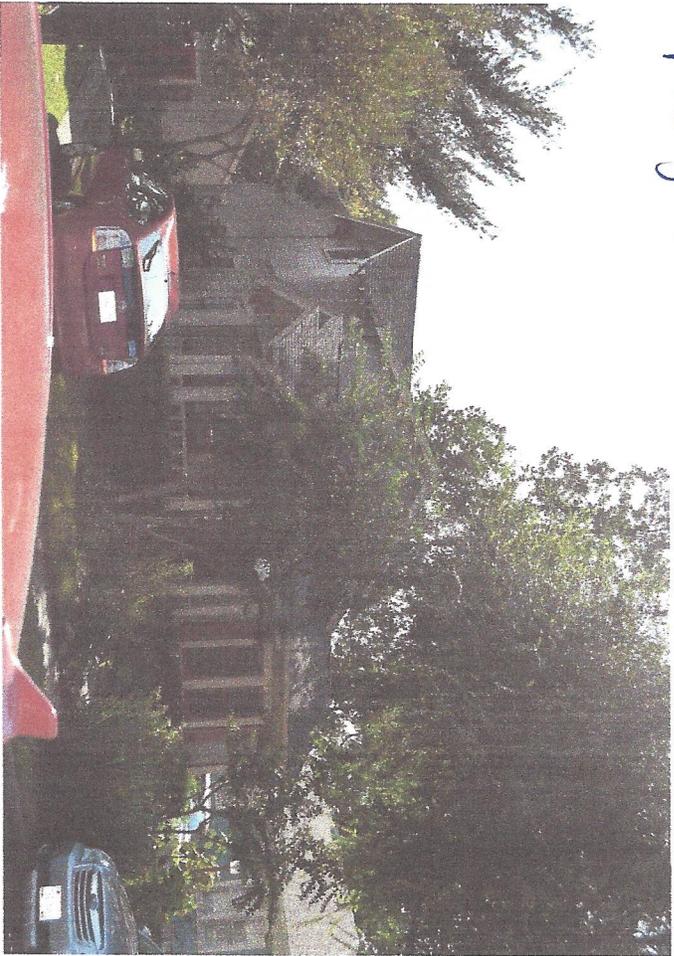
1115 Jerome



1115 Jerome



neighbors



next door
neighbors



views

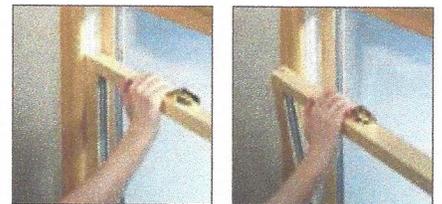
DOUBLE-HUNG WINDOWS



Primed wood double-hung windows are equipped with Flex-Hinge® jamb liners, which provide consistent ease of operation.



Sashlock in Antique Brass



Sashes tilt in for easy cleaning.

These windows are best suited to traditional architectural styles. Double-hung windows feature an upper and lower sash that slide vertically past each other in a single frame. Both sashes tilt in for convenient cleaning.

Standard Hardware Finishes*



White



Desert Sand



Chestnut Bronze

Optional Hardware Finishes*



Brushed Chrome



Polished Brass



Antique Brass



Oil-Rubbed Bronze

*Actual colors may vary from the samples displayed.

Norandex Distribution
 489 W. 38th Street
 Houston, TX 77018
 Phone: 7136914111



QUOTE BY: JBD

QUOTE #: JJBD00322

SOLD TO: Andrade Custom Homes

SHIP TO:

PROJECT NAME: 1115 Jerome St

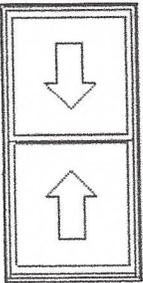
PO#:

REFERENCE: Jeldwen Wood

Ship Via: Ground/Next Truck

LINE NO.	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
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Line-1 study
 Rough Opening: 36 1/8 X 72

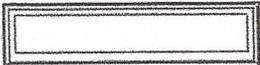


Viewed from Exterior. Scale: 1/4" = 1'

Frame Size : 35 3/8 X 71 1/4
 (Outside Casing Size: 38 X 73 1/16),
 Tradition Plus Wood Double Hung, Auralast Pine,
 Primed Exterior, Compression Jambliner & No Tilt Latches,
 Natural Interior,
 Brick Mould, Standard Sill Nosing,
 4 9/16 Jamb,
 White Jambliner,
 White Hardware,
 BetterVue Mesh Brilliant White Screen,
 US National-WDMA/ASTM, PG 25
 Insulated Low-E 366 Annealed Glass, Preserve Film, Argon Filled,
 Clear Opening: 32w, 31.5h, 7 sf

U-Factor: 0.30, SHGC: 0.20, VLT: 0.48, CPD: JEL-N-578-00817-00001
 PEV 2014.4.1.1193/PDV 6.192 (12/10/14) CW

Line-2 foyer
 Rough Opening: 67 1/2 X 18 3/4

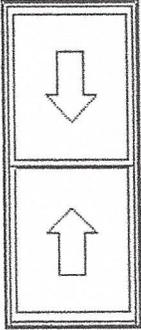


Viewed from Exterior. Scale: 1/4" = 1'

TWDT6618
 Frame Size : 66 3/4 X 18
 (Outside Casing Size: 69 3/8 X 19 13/16),
 Tradition Plus Wood Fixed Auralast Pine,
 Insash Double Hung Product,
 Primed Exterior,
 Natural Interior,
 Brick Mould, Standard Sill Nosing,
 4 9/16 Jamb,
 Insulated Low-E 366 Annealed Glass, Preserve Film, Argon Filled,
 U-Factor: 0.29, SHGC: 0.21, VLT: 0.51, CPD: JEL-N-737-00823-00001
 PEV 2014.4.1.1193/PDV 6.192 (12/10/14) CW

LINE NO.	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
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Line-3 dining
Rough Opening: 36 1/8 X 84

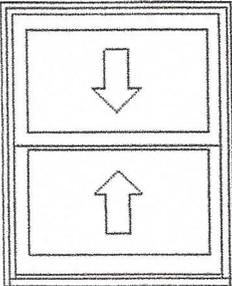


Viewed from Exterior. Scale: 1/4" = 1'

Frame Size : 35 3/8 X 83 1/4
(Outside Casing Size: 38 X 85 1/16),
Tradition Plus Wood Double Hung, Auralast Pine,
Primed Exterior, Compression Jambliner & No Tilt Latches,
Natural Interior,
Brick Mould, Standard Sill Nosing,
4 9/16 Jamb,
White Jambliner,
White Hardware,
BetterVue Mesh Brilliant White Screen,
US National-WDMA/ASTM, PG 15
Insulated Low-E 366 Annealed Glass, Preserve Film, Argon Filled,
Clear Opening:32w, 37.5h, 8.3 sf

U-Factor: 0.30, SHGC: 0.20, VLT: 0.48, CPD: JEL-N-578-00817-00001
PEV 2014.4.1.1193/PDV 6.192 (12/10/14) CW

Line-4 butlers pantry
Rough Opening: 30 1/8 X 37 1/4



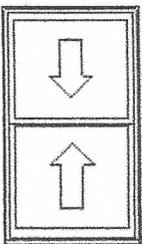
Viewed from Exterior. Scale: 1/2" = 1'

TWD2936
Frame Size : 29 3/8 X 36 1/2
(Outside Casing Size: 32 X 38 5/16),
Tradition Plus Wood Double Hung, Auralast Pine,
Primed Exterior, Compression Jambliner & No Tilt Latches,
Natural Interior,
Brick Mould, Standard Sill Nosing,
4 9/16 Jamb,
White Jambliner,
White Hardware,
BetterVue Mesh Brilliant White Screen,
US National-WDMA/ASTM, PG 25
Insulated Low-E 366 Annealed Glass, Preserve Film, Argon Filled,
Clear Opening:26w, 14.1h, 2.5 sf

U-Factor: 0.30, SHGC: 0.20, VLT: 0.48, CPD: JEL-N-578-00817-00001
PEV 2014.4.1.1193/PDV 6.192 (12/10/14) CW

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Line-5 breakfast, family, master
Rough Opening: 36 1/8 X 61 1/4



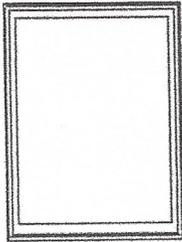
Viewed from Exterior. Scale: 1/4" = 1'

TWD3560
Frame Size : 35 3/8 X 60 1/2
(Outside Casing Size: 38 X 62 5/16),
Tradition Plus Wood Double Hung, Auralast Pine,
Primed Exterior, Compression Jambliner & No Tilt Latches,
Natural Interior,
Brick Mould, Standard Sill Nosing,
4 9/16 Jamb,
White Jambliner,
White Hardware,
BetterVue Mesh Brilliant White Screen,
US National-WDMA/ASTM, PG 25
Insulated Low-E 366 Annealed Glass, Preserve Film, Argon Filled,
Clear Opening:32w, 26.1h, 5.8 sf

U-Factor: 0.30, SHGC: 0.20, VLT: 0.48, CPD: JEL-N-578-00817-00001
PEV 2014.4.1.1193/PDV 6.192 (12/10/14) CW

LINE NO.	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
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Line-6 master bath
Rough Opening: 46 1/8 X 61 1/4

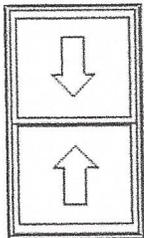


Viewed from Exterior. Scale: 1/4" = 1'

TWDP4560
Frame Size : 45 3/8 X 60 1/2
(Outside Casing Size: 48 X 62 5/16),
Tradition Plus Wood Fixed Auralast Pine,
Insash Double Hung Product,
Primed Exterior,
Natural Interior,
Brick Mould, Standard Sill Nosing,
4 9/16 Jamb,
Insulated Low-E 366 Rain Tempered Glass, Argon Filled,
U-Factor: 0.28, SHGC: 0.21, VLT: 0.50, CPD: JEL-N-737-00893-00001
PEV 2014.4.1.1193/PDV 6.192 (12/10/14) CW

1

Line-7 bed 2, gameroom, bed 3
Rough Opening: 36 1/8 X 61 1/4



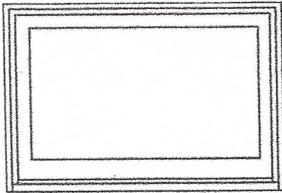
Viewed from Exterior. Scale: 1/4" = 1'

TWD3560
Frame Size : 35 3/8 X 60 1/2
(Outside Casing Size: 38 X 62 5/16),
Tradition Plus Wood Double Hung, Auralast Pine,
Primed Exterior, Compression Jambliner & No Tilt Latches,
Natural Interior,
Brick Mould, Standard Sill Nosing,
4 9/16 Jamb,
White Jambliner,
White Hardware,
BetterVue Mesh Brilliant White Screen,
US National-WDMA/ASTM, PG 25
Insulated Low-E 366 Annealed Glass, Preserve Film, Argon Filled,
Clear Opening: 32w, 26.1h, 5.8 sf

U-Factor: 0.30, SHGC: 0.20, VLT: 0.48, CPD: JEL-N-578-00817-00001
PEV 2014.4.1.1193/PDV 6.192 (12/10/14) CW

12 543 31

Line-8 bed 2 closet
Rough Opening: 36 1/8 X 24 3/4



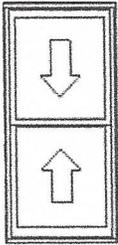
Viewed from Exterior. Scale: 1/2" = 1'

Frame Size : 35 3/8 X 24
(Outside Casing Size: 38 X 25 13/16),
Tradition Plus Wood Fixed Auralast Pine,
Insash Double Hung Product,
Primed Exterior,
Natural Interior,
Brick Mould, Standard Sill Nosing,
4 9/16 Jamb,
US National-WDMA/ASTM, PG 30,
Insulated Low-E 366 Annealed Glass, Preserve Film, Argon Filled,
U-Factor: 0.29, SHGC: 0.21, VLT: 0.51, CPD: JEL-N-737-00823-00001
PEV 2014.4.1.1193/PDV 6.192 (12/10/14) CW

1

LINE NO.	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
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Line-9 bath 2
Rough Opening: 30 1/8 X 61 1/4



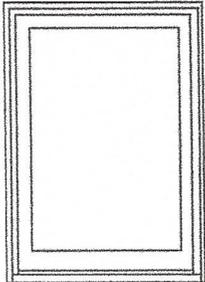
Viewed from Exterior. Scale: 1/4" = 1'

TWD2960
Frame Size : 29 3/8 X 60 1/2
(Outside Casing Size: 32 X 62 5/16),
Tradition Plus Wood Double Hung, Auralast Pine,
Primed Exterior, Compression Jambliner & No Tilt Latches,
Natural Interior,
Brick Mould, Standard Sill Nosing,
4 9/16 Jamb,
White Jambliner,
White Hardware,
BetterVue Mesh Brilliant White Screen,
US National-WDMA/ASTM, PG 25
Insulated Low-E 366 Annealed Glass, Preserve Film, Argon Filled,
Clear Opening:26w, 26.1h, 4.7 sf

U-Factor: 0.30, SHGC: 0.20, VLT: 0.48, CPD: JEL-N-578-00817-00001
PEV 2014.4.1.1193/PDV 6.192 (12/10/14) CW

1

Line-10 bath 3
Rough Opening: 26 1/8 X 36 3/4

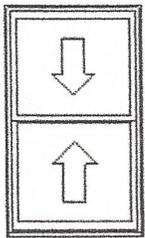


Viewed from Exterior. Scale: 1/2" = 1'

TWDT2536
Frame Size : 25 3/8 X 36
(Outside Casing Size: 28 X 37 13/16),
Tradition Plus Wood Fixed Auralast Pine,
Insash Double Hung Product,
Primed Exterior,
Natural Interior,
Brick Mould, Standard Sill Nosing,
4 9/16 Jamb,
US National-WDMA/ASTM, PG 30,
Insulated Low-E 366 Annealed Glass, Preserve Film, Argon Filled,
U-Factor: 0.29, SHGC: 0.21, VLT: 0.51, CPD: JEL-N-737-00823-00001
PEV 2014.4.1.1193/PDV 6.192 (12/10/14) CW

1

Line-11 guest suite / sitting room
Rough Opening: 36 1/8 X 61 1/4



Viewed from Exterior. Scale: 1/4" = 1'

TWD3560
Frame Size : 35 3/8 X 60 1/2
(Outside Casing Size: 38 X 62 5/16),
Tradition Plus Wood Double Hung, Auralast Pine,
Primed Exterior, Compression Jambliner & No Tilt Latches,
Natural Interior,
Brick Mould, Standard Sill Nosing,
4 9/16 Jamb,
White Jambliner,
White Hardware,
BetterVue Mesh Brilliant White Screen,
US National-WDMA/ASTM, PG 25
Insulated Low-E 366 Annealed Glass, Preserve Film, Argon Filled,
Clear Opening:32w, 26.1h, 5.8 sf

U-Factor: 0.30, SHGC: 0.20, VLT: 0.48, CPD: JEL-N-578-00817-00001
PEV 2014.4.1.1193/PDV 6.192 (12/10/14) CW

5

Total:	112,110.00
sales(8.25%)	9,229.06
NET TOTAL:	121,339.06
Total Units:	1

JELD-WEN® WINDOW & PATIO DOOR LIMITED WARRANTY

OUR WARRANTY TO YOU...

JELD-WEN® Products¹ are designed to create lasting value for your home. This warranty is effective for all JELD-WEN window and patio door Products (except United Collection products) manufactured on or after **February 1, 2014** for use in the United States and Canada. Any previous warranties will continue to apply to products manufactured by JELD-WEN prior to this date. For additional information, including care and maintenance instructions, installation instructions, and previous warranties, refer to www.jeld-wen.com or www.jeld-wen.ca.

What this warranty COVERS

Except as set forth in the Special Coverages section below, we warrant that if your JELD-WEN Product exhibits a defect in material or workmanship within the time periods from the date of manufacture as specified below, we will, at our option, repair, replace or refund the purchase price of the Product or component part. Skilled labor² (where deemed necessary by us) to repair or replace any component is provided as specified below.

	Wood & Clad Wood	Vinyl	Aluminum (except Summit)	Summit Aluminum
Basic Product Coverage Owner-Occupied Single-Family Residence	20 years	as long as you own and occupy your residence	10 years	1 year
Basic Product Coverage Commercial (Other than Owner-Occupied Single-Family Residence)	20 years	10 years	2 years	1 year
Skilled Labor² Coverage	2 years	2 years	1 year	No coverage
Transferability - this length of coverage applies if you sell your residence or it becomes occupied by other than the original owner	10 years	10 years	Non-transferable	Non-transferable

Special Coverages (Applies to both Owner-Occupied and Commercial)

The following Special Coverages apply to special product features and options; not all options are available on all products or in all regions.

Glass Options	Coverage	Notes
Triple-Glazed Glass Units	20 years	Includes the glass panes and the insulating seal.
ImpactGard® Glass Units	10 years	
Special Glazings	5 years	Includes laminated glass units other than ImpactGard, and glass options not listed in our product literature, e.g., leaded or decorative glass.
Blinds/Shades Between the Glass	10 years	Includes the seal, external control mechanism, and operation of the shade/blind.
Spontaneous Glass Breakage	1 year	Applies to sealed glass units installed in windows and patio doors. Laminated glass and special glazings are excluded. Coverage includes replacement glass and skilled labor ² necessary to replace the glass for one year. (Spontaneous breakage occurs when the glass develops a crack without sign of impact.)
Accidental Glass Breakage	Same as the Basic Product Coverage above (Owner-Occupied or Commercial)	Applies to vinyl Products ordered with the "RS" glass package. Not covered: damage attributable to acts of nature (e.g. fire, hurricane, etc.), civil disorder, building settling, structural failures of walls or foundations or improper installation, construction job-site mishaps, storage, or handling. Special glazings and ImpactGard glass are not covered by this glass breakage warranty.
Finish Options	Coverage	Notes
Clad Finish on Wood Products	Kynar®: 20 years Polyester: 10 years Anodized: 5 years	Coverage is for peeling, checking, cracking, or exhibiting excessive chalk, fade or color change ³ .
Factory applied Select Finish™ exterior finish on Wood Products	10 years; 5 years at 100%, 50% thereafter	Coverage is for failure of adhesion, peeling, checking, flaking, cracking, or blistering.
	5 years	Coverage is for exhibiting excessive chalk, fade or color change ³ .
Factory Interior Finish on Wood Products	1 year	Coverage is for peeling, checking, or cracking. Should the factory interior finish be proven defective within this time period, we will at our option, replace or refinish the component or product, or offer a refinish credit up to \$50 per opening for windows or \$100 per opening for patio doors. This coverage applies to factory-applied finish coat options only; standard factory-applied primer is not a finish coat.
Colored Exterior and Laminated Interior on Vinyl Products	10 years	Coverage is for peeling, blistering, or flaking, and excessive color change ³ . This coverage does not extend to discoloration, polish, surface damage, or alteration caused by the use of natural or chemical solvents or an environmental factor causing such damage.

Continued on next page

Other Special Coverages	Coverage	Notes
AuraLast Protection for Wood Products	Owner-Occupied Single-Family Residence: as long as you own and occupy your residence	Coverage is for wood decay and/or termite damage in pine wood components. Warranty coverage outside Canada, the contiguous 48 states and Alaska is contingent upon approval from the JELD-WEN Customer Care Department. Please contact us.
	Commercial: 20 years	
Custom Fiberglass Door Slabs	As long as you own and occupy your residence	
Factory Prefinish on Custom Fiberglass Doors	5 years	Should the factory prefinish be proven defective, we will at our option refinish the door or pay up to \$350.00 per opening to the current owner.
Electric Operators	1 year	Coverage includes replacement parts and skilled labor necessary to replace the operator for one year.
Retractable Roll Screens	5 years	
Accidental Screen Damage	Same as the Basic Product Coverage above (Owner-Occupied or Commercial)	Applies to Bravo, Primo and Ipex Replacement window and patio door product lines. Not covered: damage attributable to acts of nature (e.g. fire, hurricane, etc.), civil disorder, building settling, structural failures of walls or foundations or improper installation, construction job-site mishaps, storage, or handling.

How To Get Assistance

If you have a problem with your JELD-WEN Product, contact the dealer/distributor or contractor from whom you purchased your product or contact us directly:

	In the United States:	In Eastern Canada:	In Western Canada:	In Ontario Canada
Mail:	JELD-WEN Customer Care Attn: Warranty Claims P.O. Box 1329 Klamath Falls, OR 97601	JELD-WEN Service Department 90, rue Industrielle Saint-Appollinaire, Quebec Canada G0S 2E0	JELD-WEN Service Department 550 Munroe Avenue Winnipeg, Manitoba Canada R2K 4H3	JELD-WEN Service Department 90 Stone Ridge Road Vaughan, Ontario Canada L4H 3G9
Phone:	888-JWHelpU 888-594-3578	800-463-1930	888-945-5627 204-668-8230	800-440-2714 905-265-5700
Fax:	800-436-5954	888-998-1599	204-663-1072	905-265-5704
E-mail:	jeldwenwarranty@jeld-wen.com		wpgservice@jeld-wen.com	
Web:	www.jeld-wen.com/contact-us			

We can respond quickly and efficiently if you provide the following: a) product identification (from the original order/invoice, spacer code, permanent label, or the window identification number found on corner of glass), b) how to contact you, c) the address where the product can be inspected, and d) a description of the apparent problem and the product (photographs are helpful).

What We Will Do

Upon receiving your notification, we will send out an acknowledgement within three business days to the contact, which you have provided. We will investigate your claim and will begin to take appropriate action within 30 days after receipt of notification. If your warranty claim is denied, we may charge an inspection fee for an onsite inspection that is required or requested by you.

If your claim is accepted, and we choose to repair or replace the product or a component of the product, the replacement product/component will be provided in the same specification as the original product. Replacement components/products are warranted for the balance of the original product warranty or 90 days, whichever is longer.

If the claimed nonconformity is warp of a door slab, we may defer repairing or replacing the door slab for a period up to twelve (12) months from the date of claim. It is not uncommon for a temporary warp condition to occur as the door slab adjusts to local humidity and temperature conditions. This deferral will not be counted against the warranty period.

What This Warranty Does NOT Cover

JELD-WEN is not liable for damage, product failure or poor product performance due to:

- Normal wear and tear, including normal wear and tear of weatherstrip; natural weathering of surfaces. Variance in color or texture of natural wood parts, and natural tarnishing of copper cladding are not considered defects.
- Normal wear and tear to hardware and naturally occurring changes to hardware finishes (e.g., corrosion or tarnishing).
- Exposure to chemicals (e.g. brick wash) or a harsh environment (e.g. salt spray or airborne pollutants) unless otherwise stated above.
- Misuse, abuse or failure to properly finish and provide maintenance.
- Alteration or modification to the Product (e.g. customer applied tints or films, paint finishes, security systems).

- Any cause beyond the reasonable control of JELD-WEN (e.g. fire, flood, earthquake, other acts of nature, and acts of third parties outside of our control).
- Failure to provide an adequate overhang for fiberglass doors; damage caused by extreme temperature buildup where storm doors are present. For general guidelines, see our "Appropriate Protection for Exterior Doors" in our product literature or at www.jeld-wen.com/resources; for specific information pertaining to your structure, consult your contractor or other building professional.
- Improper installation not in conformance with JELD-WEN installation instructions (note: see www.jeld-wen.com for current installation instructions); operational problems and problems related to water and/or air infiltration/leaking as a result of improper installation or flaws in building design or construction.
- Installation into a condition that exceeds product design standards and/or certified performance specifications and/or is not in compliance with building codes.
- Extreme artificial temperature buildup or exposure (e.g., where storm doors/windows are present).
- Hardware or inserts that are not provided by us, such as locksets, door handles, strikes, etc.
- Condensation or damage as a result of condensation (Note: unless due to insulating glass failure, most condensation problems are related to excessive humidity levels in a structure. Contact a heating/air conditioning specialist for help).
- Wood decay in wood components other than of pine species and any components (including pine) that come in direct contact with soil. Note: superficial mold/mildew does not indicate wood decay.

JELD-WEN is also not liable for:

- Glass breakage (except as covered above).
- Screen damage due to normal wear and tear, misuse, abuse, or insect or animal activity (except as specifically covered above).
- Slight expansion or contraction due to varying environmental conditions; slab movement (shrinkage or swelling) of 1/4" or less due to temperature and humidity, consult the Homeowner's Manual on how to work with this natural movement.
- Slight imperfections or wavy distortions in the glass that don't impair structural integrity. Note: wavy distortions in the glass (e.g. related to laminate interlayer or heat strengthening of glass) are not considered a defect. Slight color variations in glass are not considered a defect.
- Hairline cracks in factory-applied finishes; surface cracks that do not compromise the underlying material are not a defect.
- Damage or distortion to other property, including but not limited to, vinyl siding, building components or landscaping caused in whole or in part by reflection of light or heat from JELD-WEN windows or doors.
- Product or component performance decline due to aging, inert gas dissipation, natural processes or failure to provide proper maintenance. Note: Other than inert gas loss due to seal failure, the migration of an inert gas, such as argon, is a natural process that occurs over time and is not a defect.
- Labor and materials for repainting or refinishing activities or the removal or disposal of defective product(s); labor exceeding the time periods specified above.
- Incidental or consequential damage. Some states/provinces do not allow the exclusion or limitation of incidental or consequential damages, so this may not apply to you.

Important Legal Information – Please read this carefully. It affects your rights.

This Limited Warranty document sets forth our maximum liability for our products. We shall not be liable for special, indirect, consequential, or incidental damages. Your sole and exclusive remedy with respect to any and all losses or damages resulting from any cause whatsoever shall be as specified above. We make no other warranty or guarantee, either express or implied, including implied warranties of merchantability and fitness for a particular purpose to the original purchaser or to any subsequent user of the Product, except as expressly contained herein. In the event state or provincial law precludes exclusion or limitation of implied warranties, the duration of any such warranties shall be no longer than, and the time and manner of presenting any claim thereon shall be the same as, that provided in the express warranty stated herein. This Limited Warranty document gives you specific legal rights, and you may have other rights that vary from state/province to state/province.

Any dispute, controversy or claim arising out of or relating to this warranty, any alleged breach thereof, or the use or sale of the products to which this warranty applies shall be resolved by mandatory and binding arbitration administered by the American Arbitration Association in accordance with its commercial arbitration rules. Original purchaser agrees that they may assert claims against JELD-WEN in their individual capacity only, and not as a plaintiff or class member in any purported class action proceeding. Rejection of these dispute resolution provisions must be sent to JELD-WEN at the address provided herein within thirty (30) days of original purchaser's receipt of the Products to which this warranty applies.

No distributor, dealer or representative of JELD-WEN has the authority to change, modify or expand this warranty. The original purchaser of this Product acknowledges that they have read this warranty, understand it and are bound by its terms and agrees to provide this warranty to the original owner of the structure into which the Product is installed.

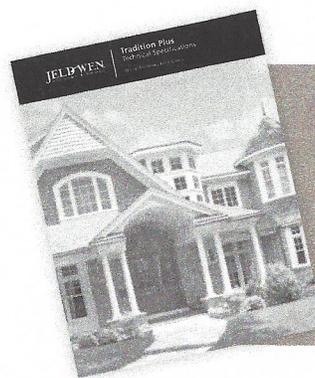
¹ "JELD-WEN Products" shall refer to window and patio door products (except United Collection products) manufactured in the United States and/or Canada and marketed under the JELD-WEN brand name for use in the United States and/or Canada. See our separate United Collection warranty, or our Export Warranty for applicable coverage on products used outside the United States and Canada.

² "Skilled labor" refers to tasks where specialized technical knowledge, experience, methods or tools are required to properly identify, diagnose and/or correct product-related problems.

³ "Chalking" of the exterior finish is not a defect unless it exceeds a numerical rating of eight (8) when measured in accordance with the standard procedures specified in ASTM D4214. Fading or changing in color of the exterior finish is not a defect unless it exceeds five (5) E units, calculated in accordance with ASTM D2244, paragraph 6.2. Color change shall be measured on an exposed area of finish that has been cleaned of surface soils and chalk, and the corresponding values measured on the original or unexposed area of finish. Fading or color changes may not be uniform if the surfaces are not equally exposed to the sun and elements. If the above ASTM standards change, the standard in effect at the time of purchase applies. As an option to replacement, we may choose to refinish the product.

The JELD-WEN® website is your ultimate resource for learning about our reliable windows and doors. It has all the product information and design advice you need. Visit us at jeld-wen.com today.

JELD-WEN
WINDOWS & DOORS



To see the complete Tradition Plus Wood Window & Patio Door Technical Specifications please request brochure #11-566B at your local dealer.



Official window and door provider of Major League Soccer



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JELD-WEN reserves the right to change product specifications without notice. Please check our website, jeld-wen.com, for current information.

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