

**CERTIFICATE OF APPROPRIATENESS**

**Application Date:** August 5, 2015

**Applicant:** Gail Johnson, Gail Johnson Interiors, for Miles Redfield, owner

**Property:** 1325 Ashland Street, Lot 6, Block 176, Houston Heights Subdivision. The property includes a new 2,909 square foot, two-story wood frame single family residence situated on a 4,399 square foot interior (33.33' x 132') lot.

**Significance:** Noncontributing new residence, constructed circa 2002, located in the Houston Heights Historic District West.

**Proposal:** Alteration – Replace the partial front porch with a full width front porch.

- The front porch will reduce the front setback from 17.5' to 15'
- The front porch will be expanded from a 6' x 9' covered stoop to a full width porch with a depth ranging between 6'-8.5' and a width of 23'
- Several windows on the façade will be replaced
- The existing front door and sidelights are to remain

See enclosed application materials and detailed project description on p. 5-15 for further details.

**Public Comment:** No public comment received.

**Civic Association:** No comment received.

**Recommendation:** Approval

**HAHC Action:** Approved

**CERTIFICATE OF APPROPRIATENESS**

**Basis for Issuance:** HAHC Approval  
**Effective:** August 27, 2015



**PLANNING &  
DEVELOPMENT  
DEPARTMENT**

COA valid for one year from effective date. COA is in addition to any other permits or approvals required by municipal, state and federal law. Permit plans must be stamped by Planning & Development Department for COA compliance prior to submitting for building or sign permits. Any revisions to the approved project scope may require a new COA.

**APPROVAL CRITERIA**

**ALTERATIONS TO NONCONTRIBUTING STRUCTURES**

Sec. 33-241(c): HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of any **noncontributing structure in an historic district** upon finding that the application satisfies the following criteria, as applicable:

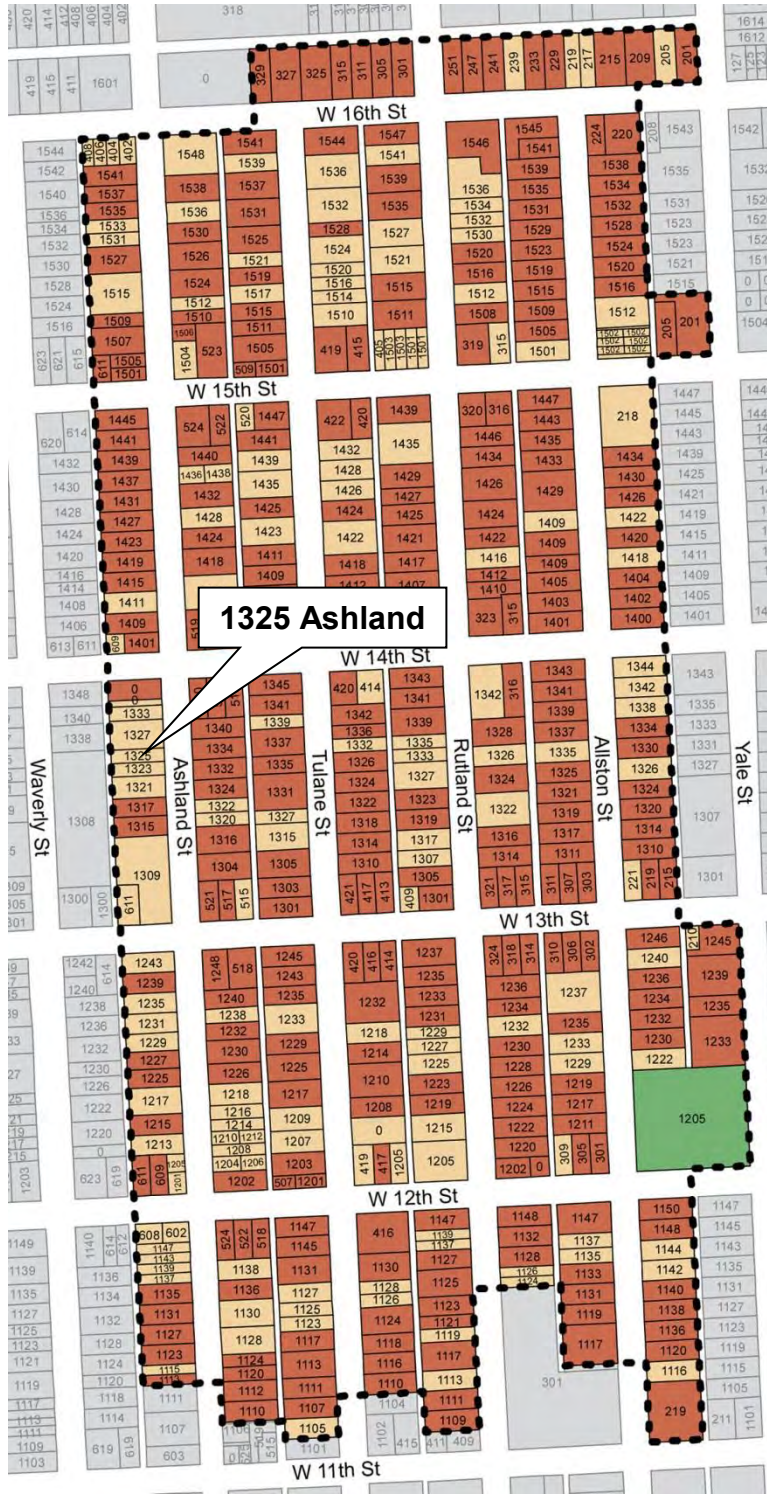
**S D NA S - satisfies D - does not satisfy NA - not applicable**

- (1) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance
- (2) For an addition to a noncontributing structure:
  - (a) The setback of the addition is no closer to the public right-of-way than the typical setback of existing contributing structures in the historic district;
  - (b) The height of the eaves of the addition to a noncontributing structure used or intended for use for residential purposes is not taller than the typical height of the eaves of existing contributing structures used for residential purposes in the historic district; and
  - (c) The height of an addition to a noncontributing structure used or intended for use for commercial purposes is not taller than the height of the existing structure.



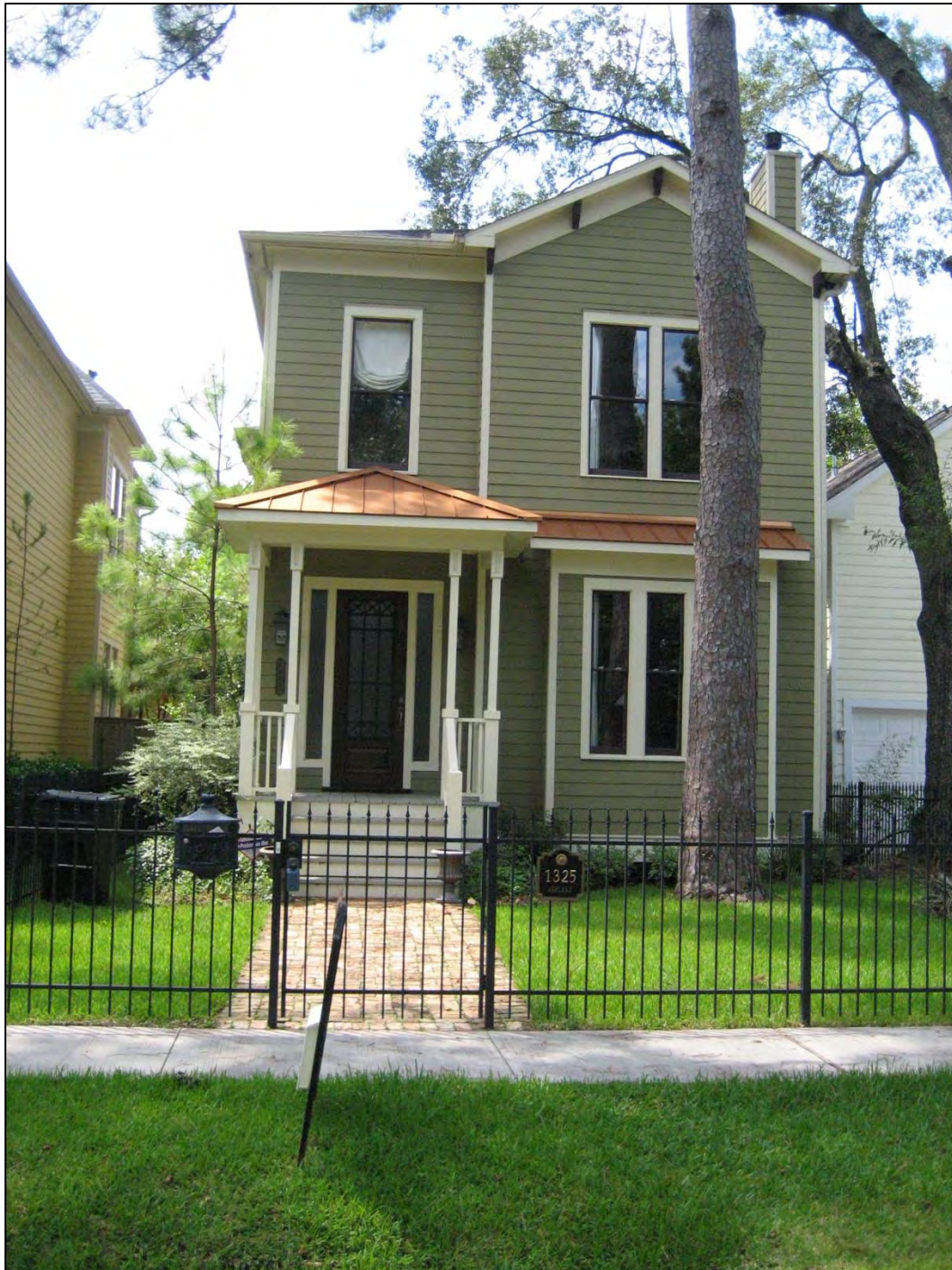
PROPERTY LOCATION

HOUSTON HEIGHTS HISTORIC DISTRICT WEST



- Building Classification**
- Contributing
  - Non-Contributing
  - Park

INVENTORY PHOTO



**EAST ELEVATION – FRONT FACING ASHLAND STREET**

EXISTING



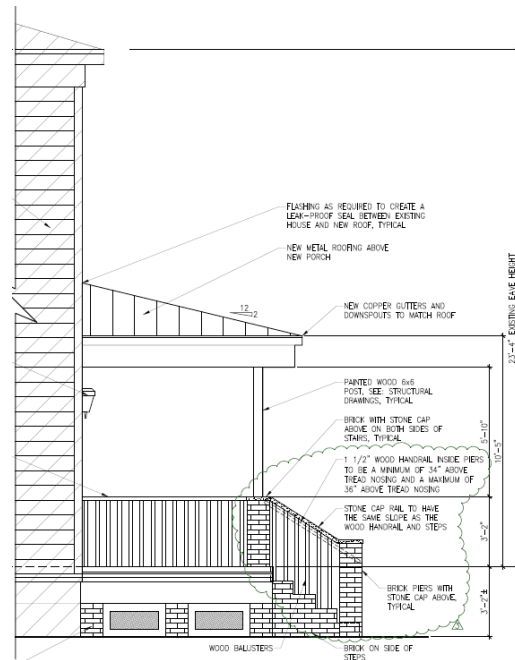
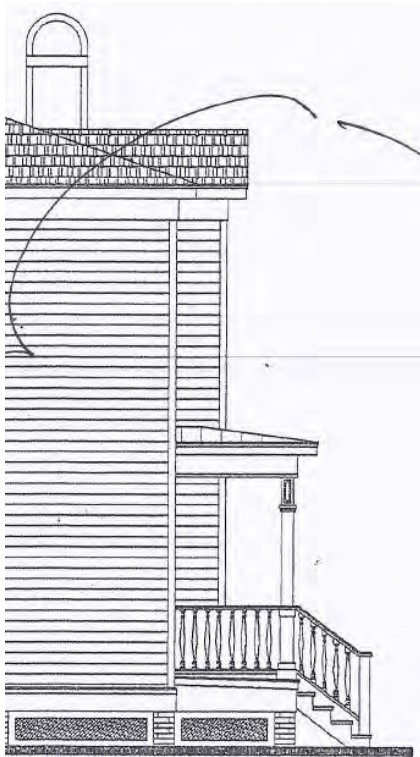
PROPOSED



**SOUTH SIDE ELEVATION**

EXISTING

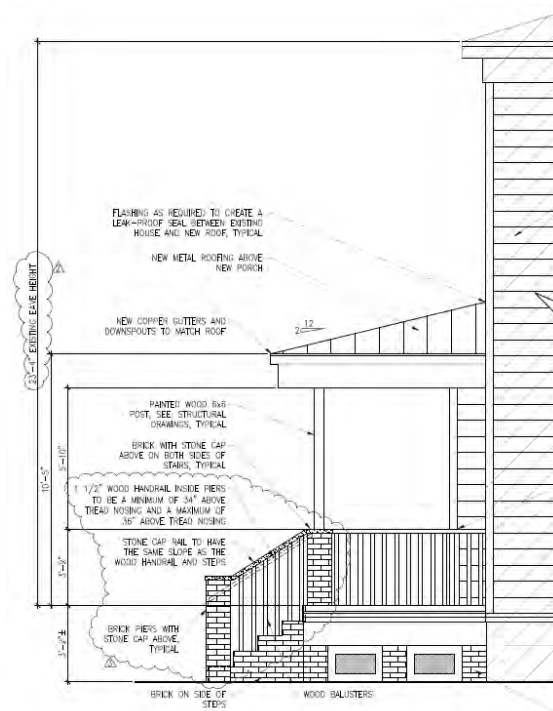
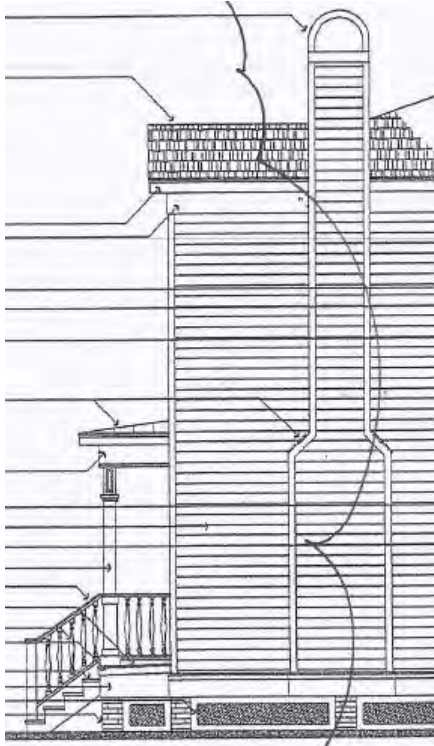
PROPOSED

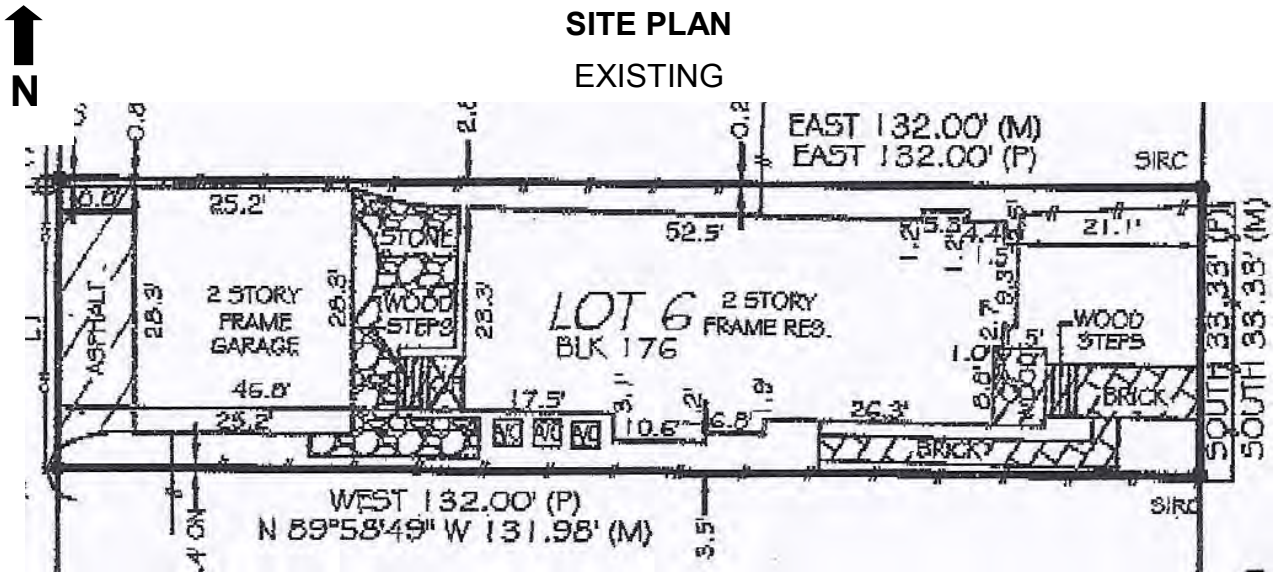


**NORTH SIDE ELEVATION**

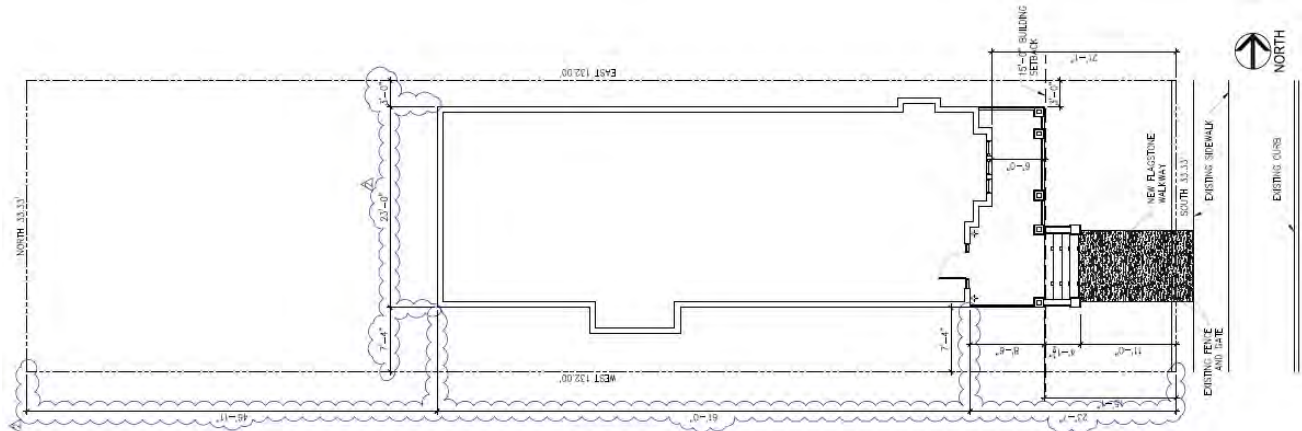
EXISTING

PROPOSED





**PROPOSED**

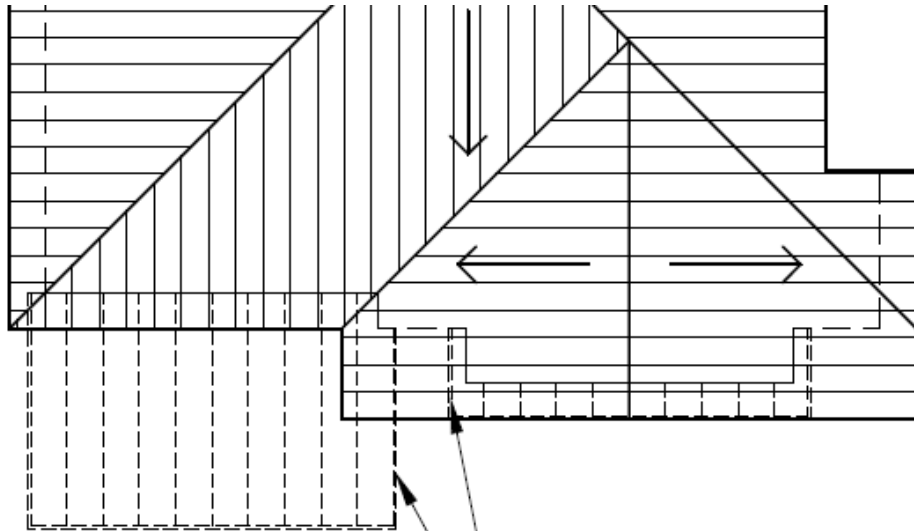






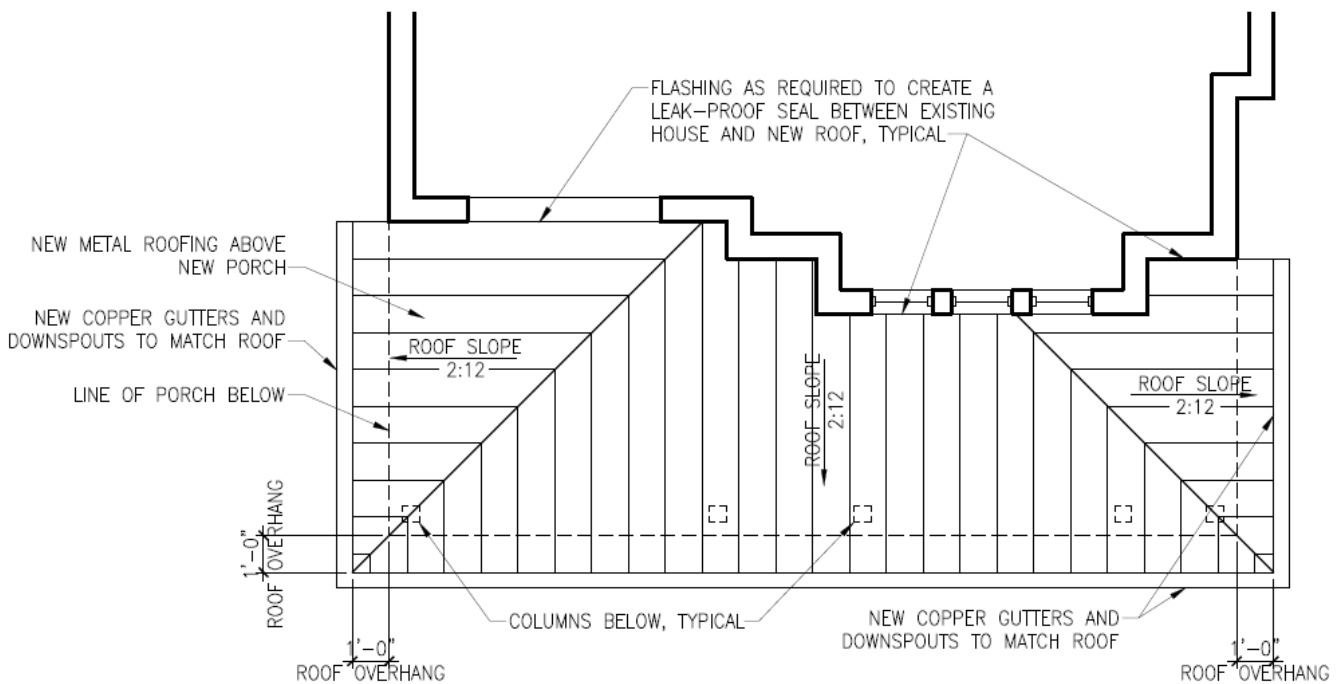
ROOF PLAN

EXISTING



REMOVE EXISTING ROOF  
SEE SHEET A201 FOR  
NEW ROOF PLAN

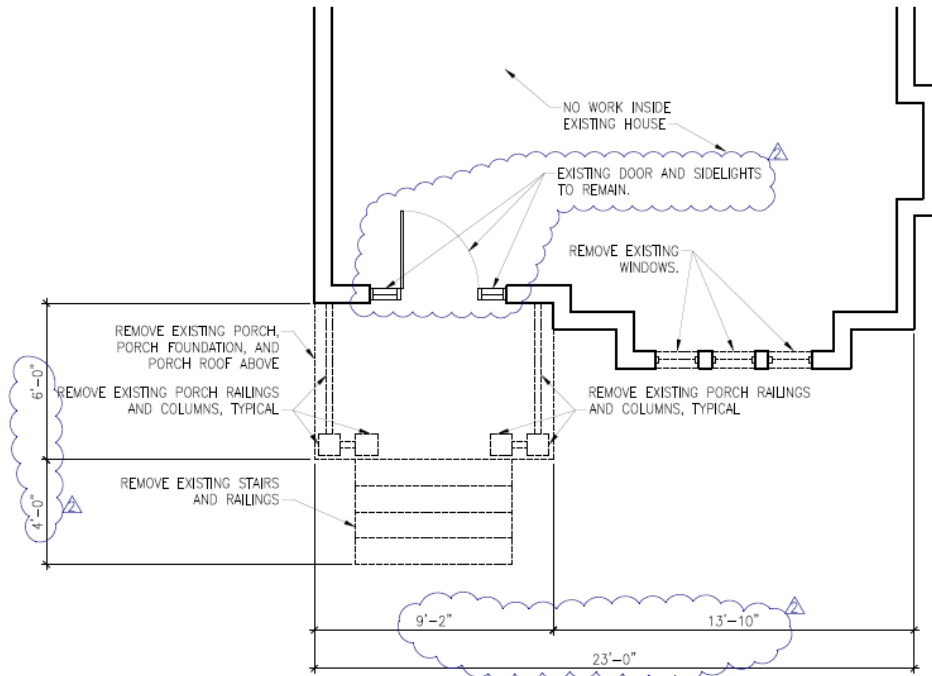
PROPOSED



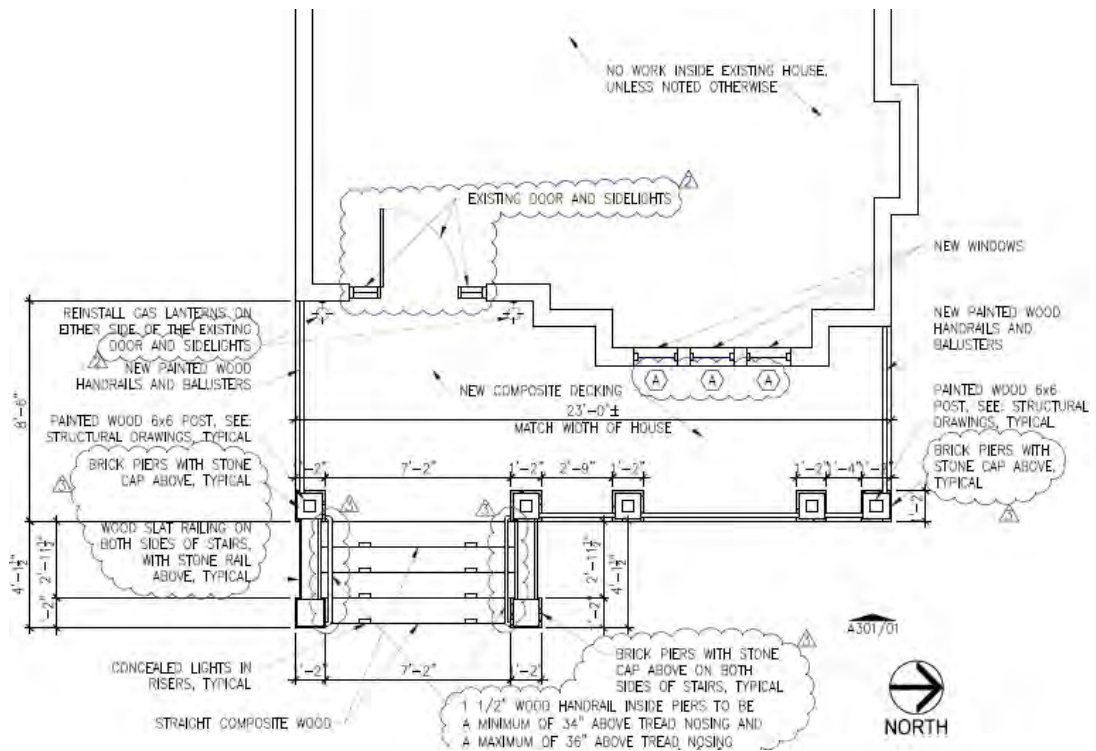


**FIRST FLOOR PLAN**

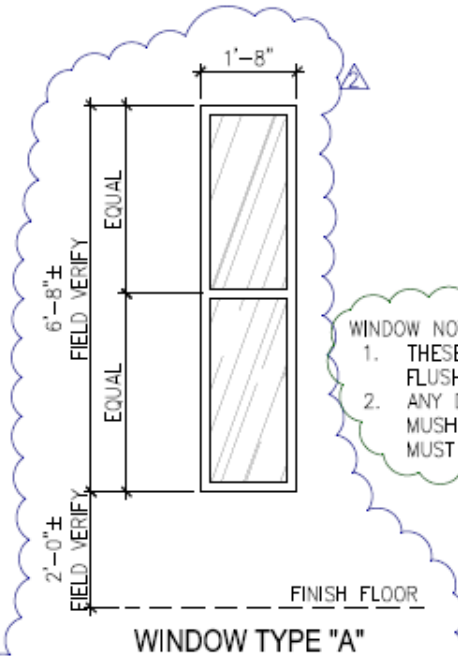
**EXISTING / DEMO**



**PROPOSED**



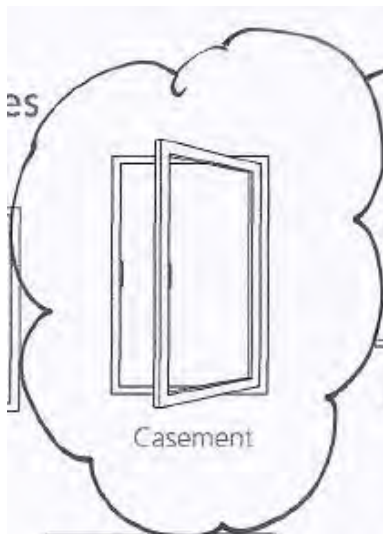
**WINDOW SCHEDULE**  
PROPOSED WINDOWS  
(FIRST FLOOR)



- WINDOW NOTES:
1. THESE WINDOWS SHALL NOT BE FLUSH MOUNTED WITH NAIL FINIS.
  2. ANY DIVIDES IN THESE WINDOWS MUST NOT BE INTERNAL THEY MUST BE AN EXTERIOR MUNTIN.

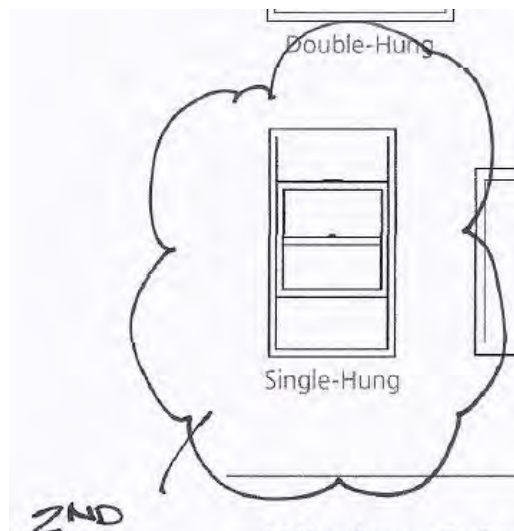
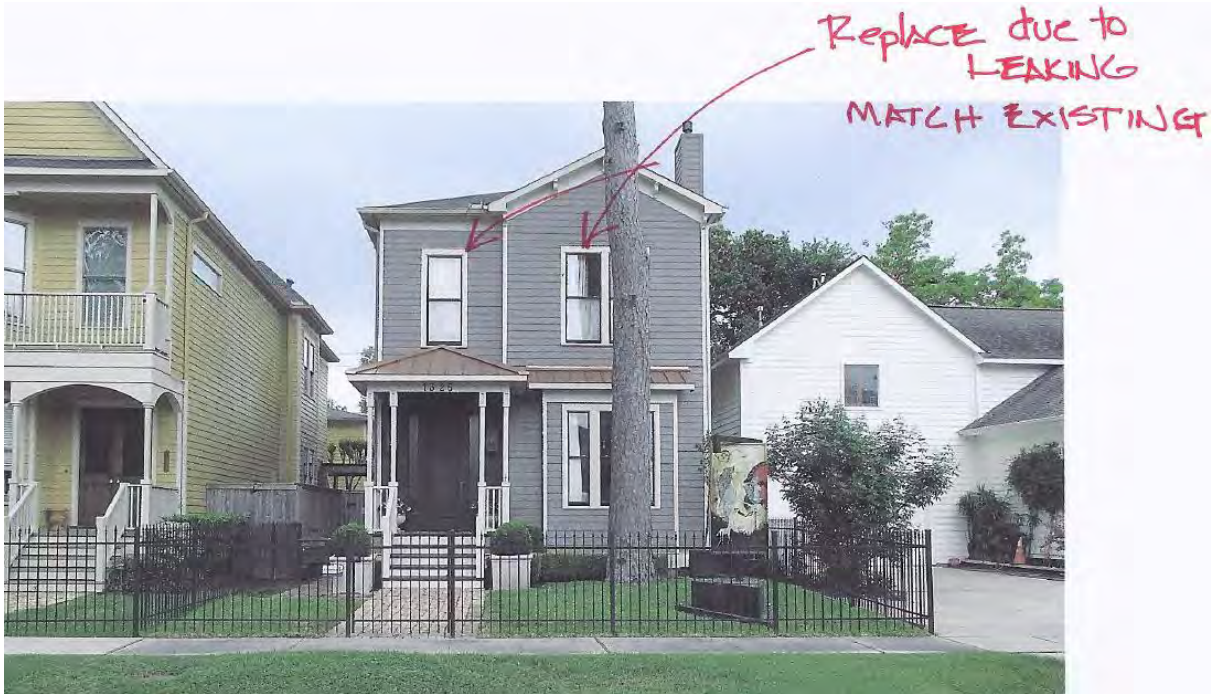
**WINDOW SCHEDULE**

Scale 3/8"=1'-0"



1ST FLOOR PORCH . 3 IN A ROW  
2 OPERABLE / 1 FIXED

**WINDOW SCHEDULE**  
PROPOSED WINDOWS  
(SECOND FLOOR)



2ND  
FLOOR  
WINDOWS TO  
MATCH  
EXISTING

CURRENT PHOTOS



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**PROJECT DETAILS**

**Shape/Mass:** The existing partial porch on the noncontributing house is 9'-2" wide by 6'-0" deep. The porch is covered by a hipped roof supported by wood columns. The porch is located on the southern portion of the façade.

The existing porch will be removed and replaced with a 23'-0" wide by 8'-6" deep full width porch. The porch will have 1'-2" square brick piers topped by 6"x6" wood post columns. The brick piers will be 3'-2" tall and the wood posts will be 5'-10" tall. See drawings for more detail.

**Setbacks:** The existing porch has an east (front) setback of 17'-7"; a south side setback of 7'-4"; and a north side setback of 16'-10".

The proposed porch will have an east (front) setback of 15'-1"; a south side setback of 7'-4"; and a north side setback of 3'-0". See drawings for more detail.

**Foundation:** The existing foundation is pier and beam with a finished floor height of 3'-2".

The proposed foundation will be pier and beam with a finished floor height of 3'-2" to match existing.

**Windows/Doors:** The existing front door and sidelights are to remain. The three windows on the first story of the façade (Windows A) will be replaced with wood casement windows (two operational, one fixed). The existing three windows on the façade of the second floor (Windows B and C) are leaking and will be replaced with three new single-hung wood windows to match existing size and material. The proposed new windows will be JELD-WEN wood windows. All proposed windows will have a traditional profile and will not be flush mounted with nail fins. All muntins are to be exterior. In order to alleviate leaking issues, the trim will also be replaced. All other windows are to remain. See window/door schedule, photos, and drawings for more detail.

**Exterior Materials:** The existing porch is constructed from wood and has wood steps, columns, and railings.

The existing porch will be removed. The proposed porch will be constructed from wood. The porch steps will be composite material. The square porch piers and step wing walls will be brick. The porch columns and railing will be wood. All materials on the house, with the exception of the porch, are to remain. See drawings for more detail.

**Roof:** The proposed metal roof will be hipped with a pitch of 2:12. The eave height of the proposed porch will be 13'-7". See drawings for more detail.

**Front Elevation:** The existing partial front porch on the east elevation is focused on the front entryway. Four decorative wooden posts support the hipped roof. The existing porch has a decorative wood railing system and stairs.

**(East)**

The proposed full width porch has five square brick piers, four of which are topped by wood posts to support the hipped roof. The railing stem will be simple wood pickets. New composite stairs with brick wing walls lead to the front entry. See drawings for more detail.

**Side Elevation:** The side profile of the existing front porch extends from the front entry. A decorative wooden post supports the hipped roof. The existing porch has a decorative wood railing system and stairs.

**(South)**

The side profile of the proposed porch has a square brick pier topped by a wood post to support the hipped roof. The railing stem will be simple wood pickets. New composite stairs with brick wing walls lead to the front entry. See drawings for more detail.

**Side Elevation:** The side profile of the existing front porch extends from the front entry. A decorative wooden post supports the hipped roof. The existing porch has a decorative wood railing system and stairs.

**(North)**

The side profile of the proposed porch has a square brick pier topped by a wood post to support the hipped roof. The railing stem will be simple wood pickets. New composite stairs with brick wing walls lead to the front entry. See drawings for more detail.