

CERTIFICATE OF APPROPRIATENESS

Application Date: May 14, 2015

Applicant: Mike Journey of Grovewood Investments for Samuel and Cathleen Rines, owner

Property: 1034 East 14th Street, Lot 9, Block 119, North Norhill Subdivision. The property includes a historic 1,152 square foot, one-story wood frame single-family residence and a detached garage situated on a 5,200 square foot (50' x 104') interior lot.

Significance: Contributing Bungalow Duplex style residence, constructed circa 1927, located in the Norhill Historic District. Since its designation, the structure has been converted to a single-family residence.

Proposal: Alteration – Porch Columns and Windows

- Replace a pair of non-original wrought iron porch columns with new wood square columns.
- Replace two original wood, double hung, 1-over-1 existing windows on the front of the house with two new wood 1-over-1 windows.
- The applicant has not asserted that these two windows are damaged beyond reasonable repair, and is proposing to replace them to improve the house’s energy efficiency.

This project also involves the following work that was approved administratively on May 14, 2015:

- Replace the non-original glass oval front door with a Craftsman style door.
- Remove existing vinyl siding to expose and restore the existing original wood 117 siding and rafter tails.
- Install wood lattice along the crawlspace

See enclosed application materials and detailed project description on p. 5-8 for further details.

Public Comment: No public comment received.

Civic Association: No comment received.

Recommendation: Partial Approval: Approve replacing the porch columns. Deny replacing the windows.

HAHC Action: Partially Approved: Approve replacing the porch columns. Deny replacing the windows.

All materials in exterior walls, including windows, siding, framing lumber, and interior shiplap must be retained except where removal or replacement has been explicitly approved by HAHC. Shiplap is an integral structural component of the exterior wall assembly in balloon framed structures and its removal can cause torqueing, twisting and collapse of exterior walls. Shiplap may be carefully shored and removed in small portions to insulate, run wire or plumbing, and should be replaced when the work is complete. Maintenance and minor in-kind repairs of exterior materials may be undertaken without HAHC approval, but if extensive damage of any exterior wall element is encountered during construction, contact staff before removing or replacing the materials. A revised COA may be required.

CERTIFICATE OF APPROPRIATENESS

Basis for Issuance: HAHC Approval

Effective: June 18, 2015



PLANNING & DEVELOPMENT DEPARTMENT

COA valid for one year from effective date. COA is in addition to any other permits or approvals required by municipal, state and federal law. Permit plans must be stamped by Planning & Development Department for COA compliance prior to submitting for building or sign permits. Any revisions to the approved project scope may require a new COA.

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241(a): HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark or protected landmark, (ii) any building, structure or object that is contributing to an historic district, or (iii) any building, structure or object that is part of an archaeological site, upon finding that the application satisfies the following criteria, as applicable:

S D NA

S - satisfies D - does not satisfy NA - not applicable

- | | |
|---|---|
| <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> | <p>(1) The proposed activity must retain and preserve the historical character of the property;
<i>Historic windows are a character defining feature of this residence. Replacing two historic windows with two new windows undermines the character of the property. This is especially true in this instance as these windows are on the front of the residence and are the only two remaining historic windows on the structure.</i></p> |
| <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> | <p>(2) The proposed activity must contribute to the continued availability of the property for a contemporary use;</p> |
| <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> | <p>(3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;</p> |
| <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> | <p>(4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;
<i>Historic wood windows are an irreplaceable distinguishing quality of this structure, and other Contributing structures found throughout the Norhill Historic District. Removing undamaged historic windows represents a failure to maintain the structure's distinguishing qualities.</i></p> |
| <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> | <p>(5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;
<i>Historic wood windows feature characteristics of skilled craftsmanship no longer readily available, including old growth wood, interchangeable components, metal weights and pulleys. Replacing these undamaged windows with a pair of new windows represents a failure to maintain examples of skilled craftsmanship found on this structure.</i></p> |
| <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> | <p>(6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;</p> |
| <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> | <p>(7) The proposed replacement of missing exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;</p> |
| <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> | <p>(8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;</p> |
| <input type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> | <p>(9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural or cultural material and must be compatible with the size, scale, material and character of the property and the area in which it is located;
<i>Replacing two undamaged windows with a pair of new windows represents a destruction of significant historical and architectural material. The structure's energy efficiency can be improved without replacing the last two remaining historic windows. The National Park Service Preservation Brief 3: Improving Energy Efficiency in Historic Buildings outlines several measures to reduce energy consumption. These measures include</i></p> |

weatherstripping, installing sun screens, installing interior storm windows, and reducing heat gain in the roof; exterior walls; and other components of the structure.

- (10) The setback of any proposed construction or alteration must be compatible with existing setbacks along the blockface and facing blockface(s);
- (11) The proposed activity will comply with any applicable deed restrictions.



PROPERTY LOCATION
NORHILL HISTORIC DISTRICT

Building Classification

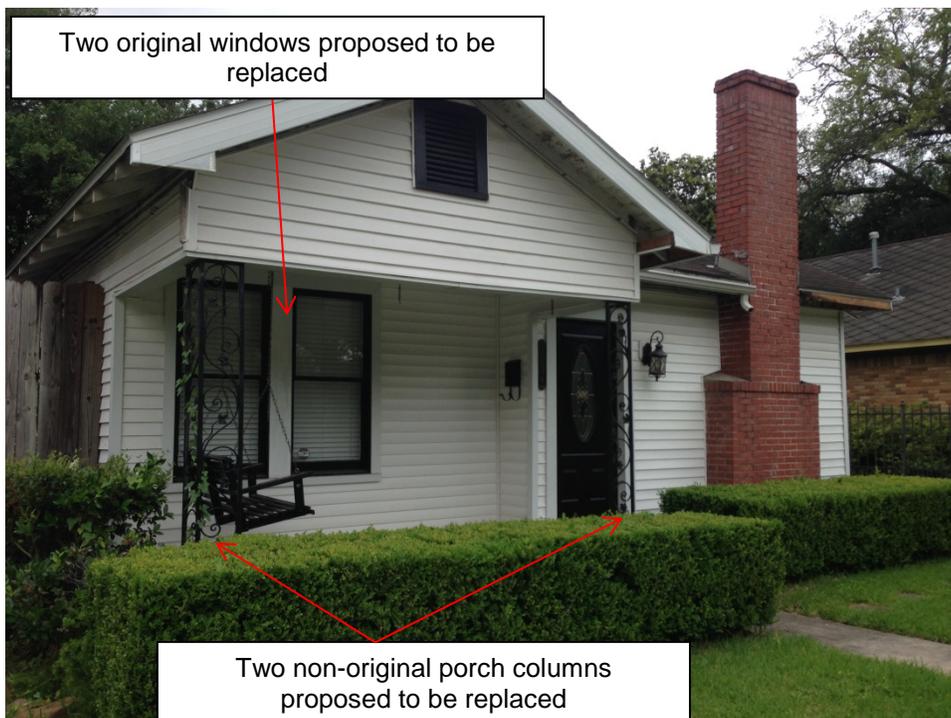
- Contributing
- Non-Contributing
- Park



INVENTORY PHOTO



CURRENT PHOTO



Two original windows proposed to be replaced

Two non-original porch columns proposed to be replaced

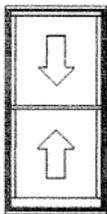
FRONT WINDOWS

EXISTING



PROPOSED

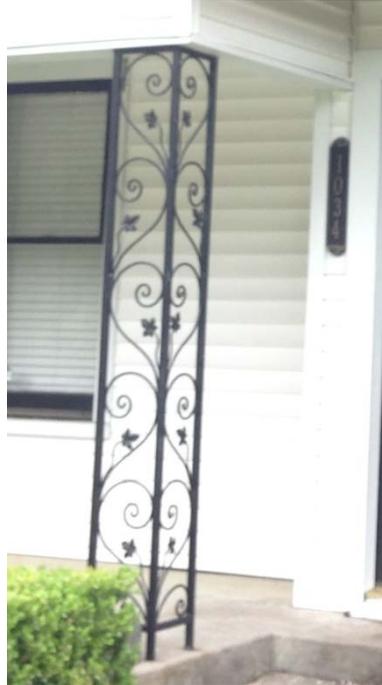
LINE NO.	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line-1	RO Size: 32 1/8 X 64 3/4	CWD3164 Frame Size : 31 3/8 X 64 (Outside Casing Size: 31 3/8 X 64) Custom Wood Double Hung, Auralast Pine, Concealed Interior Jamb Liner Primed Exterior, Natural Interior, No Exterior Trim, 4 9/16 Jamb, Standard Double Hung, White Jambliner, White Hardware, Deluxe Cam Lock(s) w/Concealed Tilt Latch No Finger Lifts, No Screen, US National-WDMA/ASTM, PG 35, Insulated Low-E 366 Annealed Glass, Neat, Preserve Film, Standard Spacer, Argon Filled, Traditional Glz Bd, Clear Opening:28w, 27.1h, 5.3 sf <small>PEV 2014.4.0.1128/PDV 6.209 (12/10/14) PW</small>			



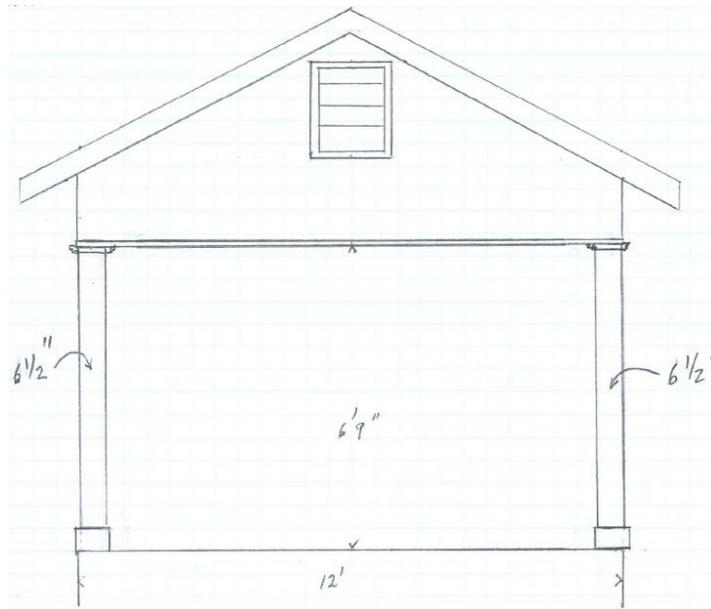
Viewed from Exterior. Scale: 1/4" = 1'

PORCH COLUMNS

EXISTING



PROPOSED



PROJECT DETAILS

Windows/Doors: Most of the house's original windows have been replaced with vinyl windows. The two exceptions are the pair of 31" wide by 64" tall wood windows at the front porch, which are the last remaining historic windows on the structure.

The applicant proposes to replace these windows with new wood 31" wide by 64" tall wood windows. The applicant has not asserted that these windows are damaged. They propose to replace these windows to improve the house's energy efficiency.

Exterior Materials: Replace the two existing non-original wrought iron porch columns with two square wood porch columns. The new columns will measure 6" thick and 6' 9" tall.