

**CERTIFICATE OF APPROPRIATENESS**

**Application Date:** May 27, 2015

**Applicant:** Sam Gianukos of Creole Design for Renee Villari of Terranova Cityside LLC, owner

**Property:** 426 Arlington Street, Lot 18, Block 304, Houston Heights Subdivision. The property includes a historic 1,230 square foot, one-story wood frame single-family residence and a two-story detached garage apartment situated on a 6,600 square foot (50' x 132') interior lot.

**Significance:** Contributing Queen Anne style residence, constructed circa 1920, located in the Houston Heights Historic District South.

**Proposal:** Alteration – Addition

- Existing structure features an eave height of 12' 2" and a ridge height of 20' 4".
- Addition will feature an eave height of 22' 3" and a ridge height of 29' 10".
- Addition will begin at the rear of the existing original structure.
- All existing 2-over-2 windows and horizontal lap siding will be retained.
- Addition will extend to its full width and height at the rear of the property, giving it the appearance similar to that of a detached two-story accessory structure.

See enclosed application materials and detailed project description on p. 4-17 for further details.

**Public Comment:** One opposed. See Attachment A.

**Civic Association:** No comment received.

**Recommendation:** Approval

**HAHC Action:** Approved

*All materials in exterior walls, including windows, siding, framing lumber, and interior shiplap must be retained except where removal or replacement has been explicitly approved by HAHC. Shiplap is an integral structural component of the exterior wall assembly in balloon framed structures and its removal can cause torqueing, twisting and collapse of exterior walls. Shiplap may be carefully shored and removed in small portions to insulate, run wire or plumbing, and should be replaced when the work is complete. Maintenance and minor in-kind repairs of exterior materials may be undertaken without HAHC approval, but if extensive damage of any exterior wall element is encountered during construction, contact staff before removing or replacing the materials. A revised COA may be required.*

**CERTIFICATE OF APPROPRIATENESS**

**Basis for Issuance:** HAHC Approval

**Effective:** June 18, 2015



**PLANNING & DEVELOPMENT DEPARTMENT**

COA valid for one year from effective date. COA is in addition to any other permits or approvals required by municipal, state and federal law. Permit plans must be stamped by Planning & Development Department for COA compliance prior to submitting for building or sign permits. Any revisions to the approved project scope may require a new COA.

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241(a): HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark or protected landmark, (ii) any building, structure or object that is contributing to an historic district, or (iii) any building, structure or object that is part of an archaeological site, upon finding that the application satisfies the following criteria, as applicable:

S D NA

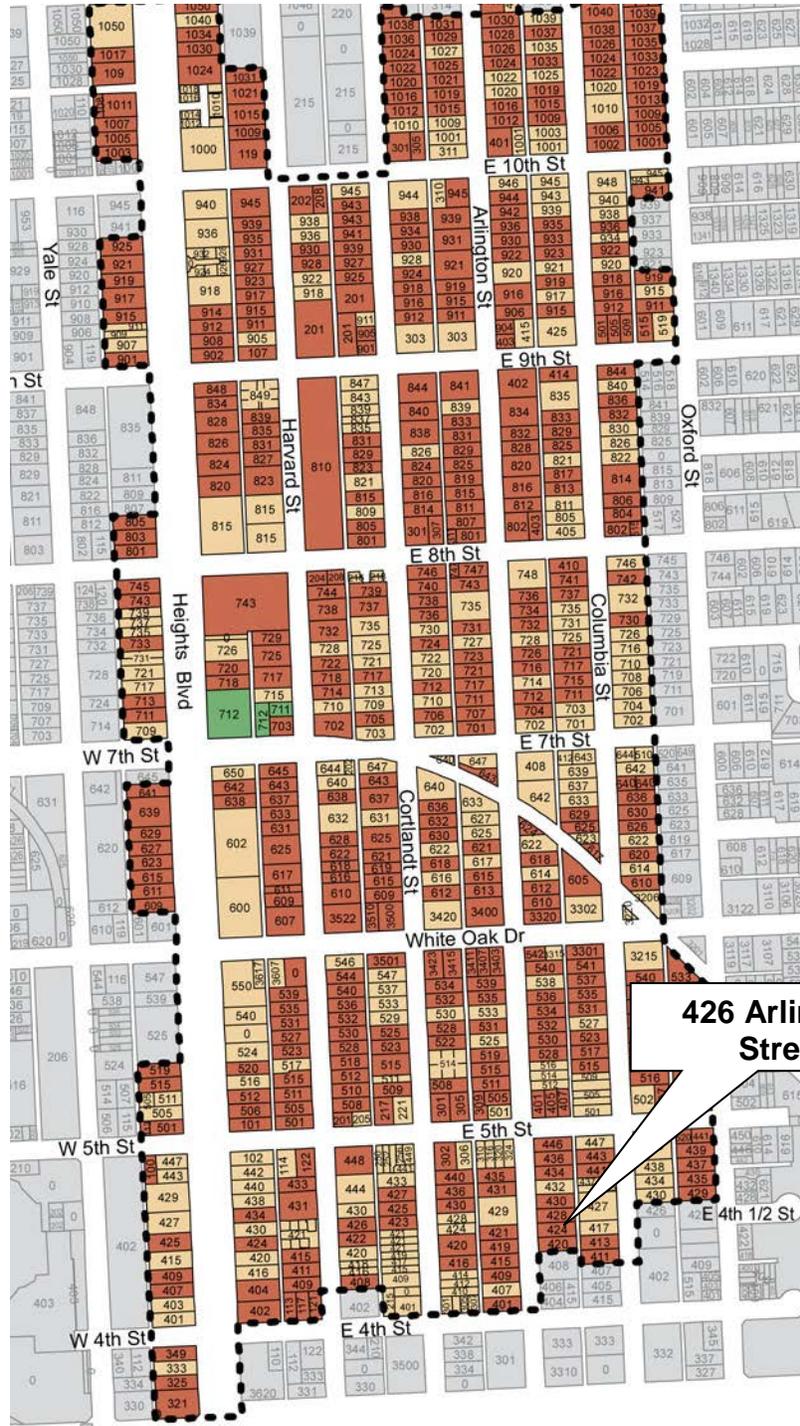
S - satisfies D - does not satisfy NA - not applicable

- (1) The proposed activity must retain and preserve the historical character of the property;
(2) The proposed activity must contribute to the continued availability of the property for a contemporary use;
(3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;
(4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;
(5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;
(6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;
(7) The proposed replacement of missing exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;
(8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;
(9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural or cultural material and must be compatible with the size, scale, material and character of the property and the area in which it is located;
(10) The setback of any proposed construction or alteration must be compatible with existing setbacks along the blockface and facing blockface(s);
(11) The proposed activity will comply with any applicable deed restrictions.



PROPERTY LOCATION  
HOUSTON HEIGHTS HISTORIC DISTRICT SOUTH

- Building Classification**
- Contributing
  - Non-Contributing
  - Park



INVENTORY PHOTO



CURRENT PHOTO



**NEIGHBORING PROPERTIES**



420 Arlington Street – Contributing – 1920 (neighbor to the south)



428 Arlington Street – Contributing – 1920 (neighbor to the north)



430 Arlington Street– Contributing – 1920 (neighbor two doors to the north)



419 Arlington Street– Contributing – 1920 (across street)



421 Arlington Street– Contributing – 1920 (across street)



429 Arlington Street– Noncontributing – 1920 (across street)

**BLOCKFACE PHOTOS**

**BLOCKFACE**



**OPPOSING BLOCKFACE**

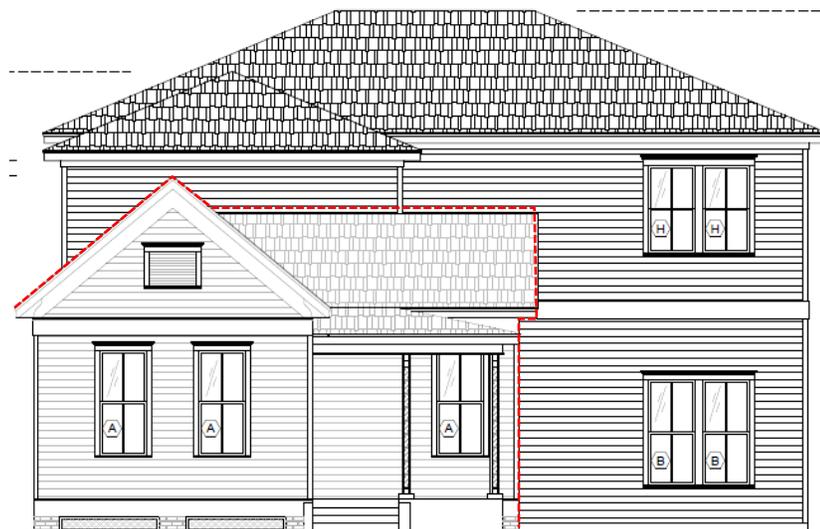


WEST ELEVATION – FRONT FACING ARLINGTON STREET

EXISTING

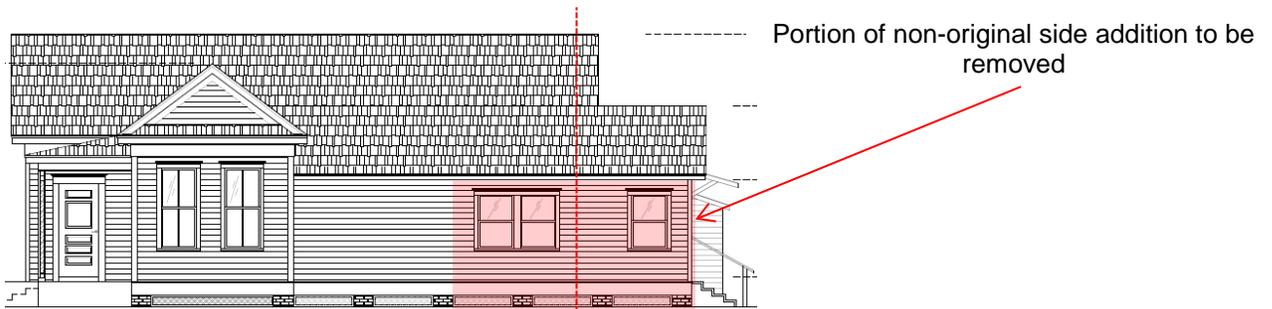


PROPOSED



**SOUTH SIDE ELEVATION**

EXISTING



PROPOSED



Original Structure

Proposed Addition

**NORTH SIDE ELEVATION**

EXISTING



PROPOSED



Proposed Addition

Original Structure

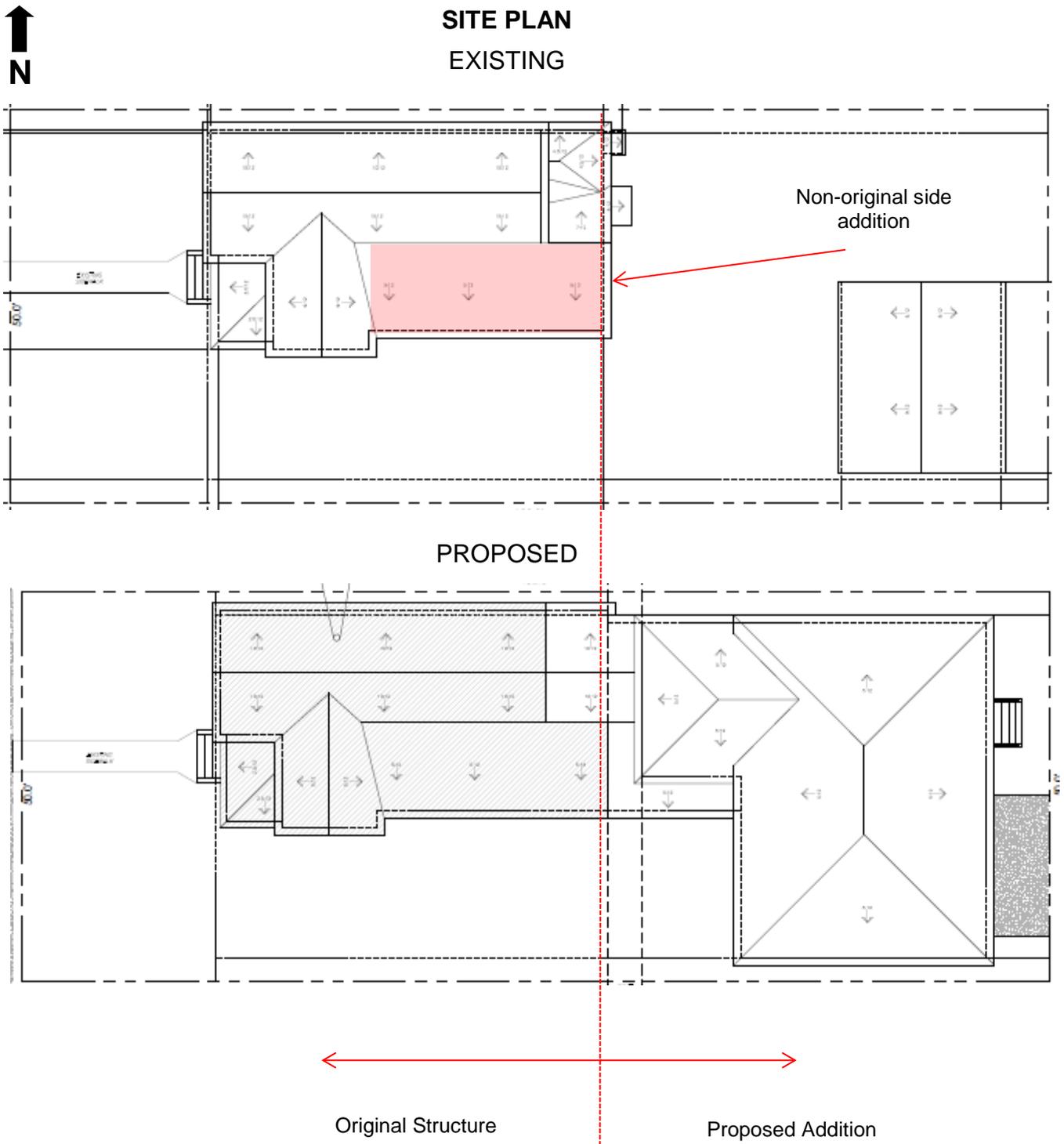
**EAST (REAR) ELEVATION**

EXISTING



PROPOSED

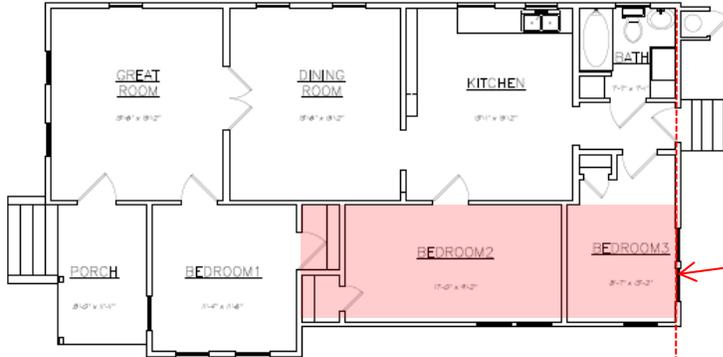






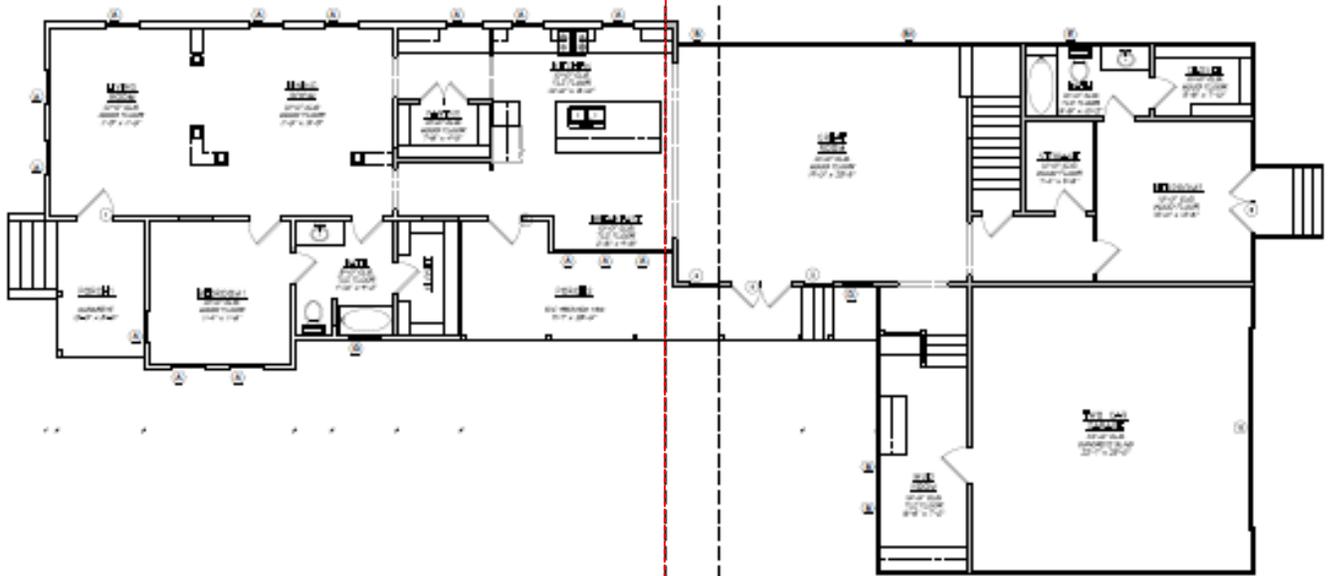
### FIRST FLOOR PLAN

EXISTING



Non-original side addition

PROPOSED



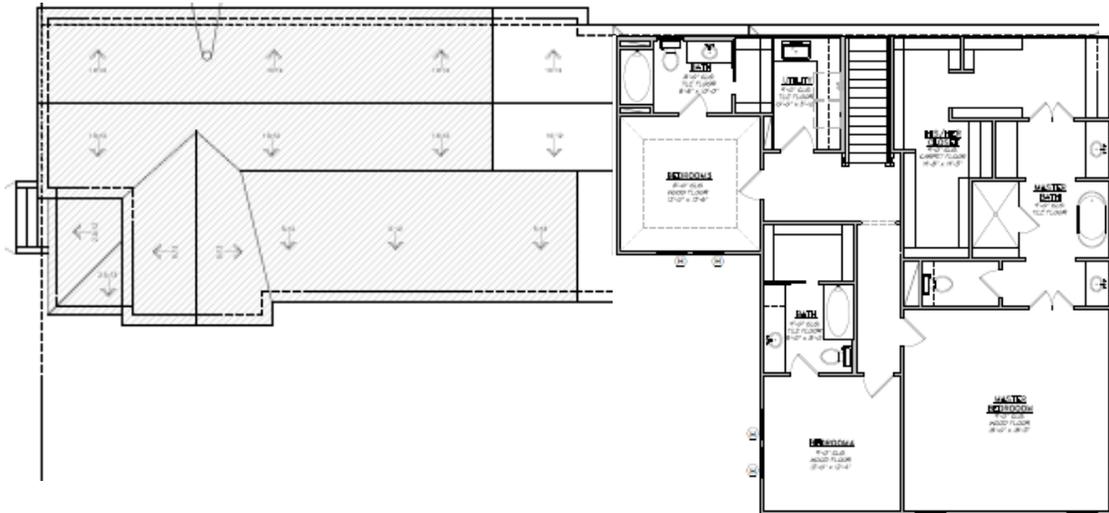
Original Structure

Proposed Addition



**SECOND FLOOR PLAN**

**PROPOSED**



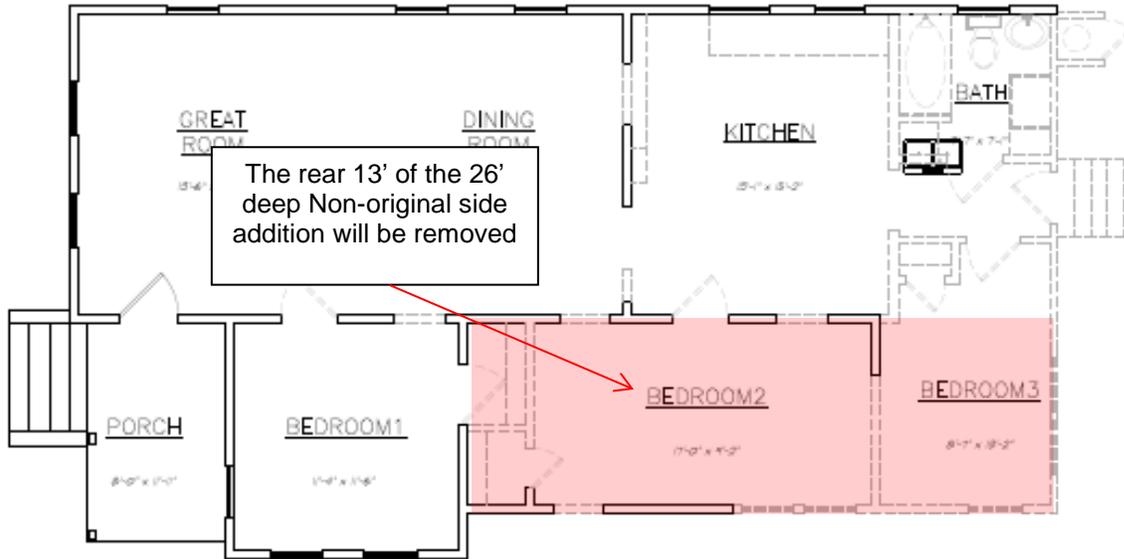
**WINDOW / DOOR SCHEDULE**

WINDOW SCHEDULE				
TYPE	QTY	WIDTH	HEIGHT	DESCRIPTION
A	14	—	—	EXISTING TO REMAIN
B	3	2'-8"	6'-0"	SINGLE HUNG
B1	1	2'-8"	6'-0"	SINGLE HUNG, TEMPERED
C	—	—	—	NOT USED
D	1	2'-4"	6'-0"	SINGLE HUNG, TEMPERED
E	1	2'-6"	3'-0"	SINGLE HUNG
F	—	—	—	NOT USED
G	1	2'-8"	2'-0"	SINGLE HUNG, TEMPERED
H	8	2'-8"	5'-0"	SINGLE HUNG
J	1	4'-0"	4'-0"	SINGLE HUNG
K	2	2'-4"	3'-0"	SINGLE HUNG

DOOR SCHEDULE				
MARK	QTY	WIDTH	HEIGHT	DESCRIPTION
01	1	3'-0"	7'-0"	EXISTING TO REMAIN
02	1	2'-8"	7'-0"	EXTERIOR DOOR
03	2	2'-4"	7'-0"	EXTERIOR DOOR, FIXED
04	1	(2)2'-6"	7'-0"	EXTERIOR DOOR
05	1	(2)2'-6"	8'-0"	EXTERIOR DOOR
10	1	16'-0"	8'-0"	OVERHEAD GARAGE DOOR

**DEMOLITION PLAN**

DASHED LINE INDICATES AREAS TO BE REMOVED

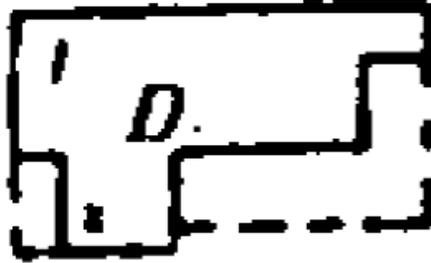


**PHOTO OF NON-ORIGINAL SOUTH SIDE ADDITION**

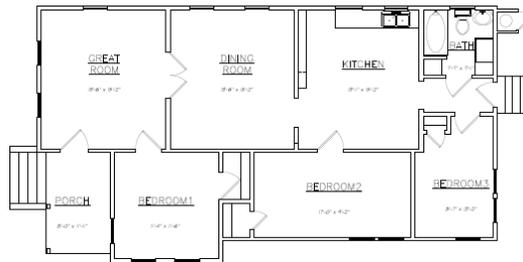


**SANBORN MAP COMPARISON**

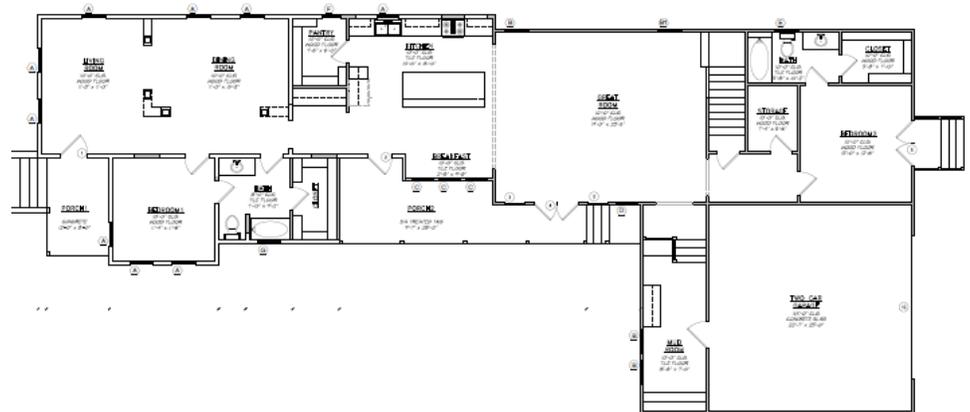
1924-1951



**EXISTING FIRST FLOOR PLAN**



**PROPOSED FIRST FLOOR PLAN**



## PROJECT DETAILS

**Shape/Mass:** The existing 1,230 square foot residence measures 27' 5" wide by 49' deep and features an eave height of 12' 2" and a ridge height of 20' 4". The residence features a 26' deep non-original south side addition between the south facing gable and the existing rear wall.

The proposed alteration will remove the rear 13' of this addition to install a covered side facing porch. This will partially restore the original side porch which originally existed.

The proposed two story addition will begin at the rear wall of the existing structure. The addition will extend the existing north wall 1' towards the rear property line before inseting 1' 6" for the remaining depth. The addition will measure 42' 10" wide by 46' deep and will feature an eave height of 22' 3" and a ridge height of 29' 10" measured from existing natural grade.

The first 16' of the addition will measure 20' wide and the first 12' of the addition will feature an eave height of 21' 3" and a ridge height of 26' 4". The smaller dimensions of the front portion of the addition will give the altered structure an appearance similar to that of a one-story residence with a two story rear accessory structure when viewed from the right of way.

**Setbacks:** The existing residence is set back 25' 6" from the front property line, 2' 6" from the north property line, 19' 7" from the south, and 54' 3" from the rear. The addition will be built to within 4' of the north property line, 3' of the south, and 9' of the rear.

**Foundation:** Existing residence features a pier and beam foundation with a 2' 2" finished floor height measured from existing natural grade. The addition will feature a matching foundation and finished floor height.

**Windows/Doors:** The original portion of the residence features original wood double hung 2-over-2 windows and three smaller wood windows at the rear of the north elevation. All of these windows will be retained.

The addition will feature new 2-over-2 wood windows.

The existing south facing, wood, single lite, Queen Anne style front door will be retained.

**Exterior Materials:** The existing residence features original wood horizontal lap siding with a 4" reveal. The existing siding will be retained.

The proposed addition will feature horizontal lap cementitious siding with a 4" reveal.

The existing front porch features a 2.5:12 pitch shed roof with a 10' 9" eave height, concrete floor and steps, and two wrought iron porch columns. All of these porch elements will be retained.

**Roof:** The existing residence features a 10:12 pitched front gable roof with a 9:12 pitched side facing gable. The addition will feature a 5:12 pitch hipped roof.

**Front Elevation:** The front elevation of the existing structure will not be altered.

**(West)** The two-story addition will extend 16' wider than the existing structure at the rear of the south side of the property. This will give the addition an appearance similar to a two-story detached structure when viewed from the right of way. The addition will feature a pair of 2-over-2 windows facing west on the first and second floor.

**Side Elevation:** The existing structure features a non-original side addition between the existing south facing gable and the existing rear wall. Sanborn maps show that this addition was once an open side porch that was converted to its current state sometime after 1951.

**(South)**

The applicant proposes to remove the rear 13' of this addition to partially restore the side porch. The new side porch will feature wood tongue and groove decking, 6 square wood columns, wood handrails, and will feature an eave height of 9' 6".

**Side Elevation:** The addition will begin at the rear of the existing residence. It will be flush with the north wall for  
**(North)** 1' before inseting 1' 6" for the remaining depth of the addition. The addition will feature three north facing windows on the first floor and two on the second.

**ATTACHMENT A**  
**PUBLIC COMMENT**  
**KENT MARSH**

June 18, 2015 HAHC Meeting  
Houston Heights South Historic District  
Comments by J. Kent Marsh

Agenda item #13- 426 Arlington

I OBJECT to granting a Certificate of Appropriateness for this proposed addition. The street elevation of the existing structure is overwhelmed by the elevation of the addition and creates a subservient visual role for the original structure. As indicated in the west elevation, the proposed addition is almost twice the height and twice the width of the existing historical structure when seen from the street and, as such, does not satisfy criteria #1 or criteria #9. This proposal should be redesigned to incorporate elements that reduce the visual scale of the addition on the street side, west elevation.