

CERTIFICATE OF APPROPRIATENESS

Application Date: April 29, 2015

Applicant: Karen Brasier, Design 3 for Ed and Kelley Duckworth, owners

Property: 747 Arlington Street, Lot 1A, Block 258, Houston Heights Subdivision. The property includes a historic 1,568 square foot one-story wood frame single-family residence and detached garage situated on a 5,000 square foot (50' x 100') corner lot.

Significance: Contributing Queen Anne residence, constructed circa 1910, located in the Houston Heights Historic District South.

Proposal: Alteration – Construct a two-story 1,623 square foot addition and attached garage at the rear of a one-story Contributing residence. The attached garage apartment will have an additional 550 square feet of conditioned space.

- Addition will begin at the original rear wall
- The addition will be inset 1'-2" on the north elevation and 6" on the south elevation before bumping back out
- Construct 13'-3" wide dormer along the existing south (interior) elevation; dormer will be inset 2'-8" from outer wall
- Addition will be 30'-2" wide and 65'-8" deep
- Ridge height of the addition will be 29'-11" with an eave height of 22'-3"
- Replace masonry porch deck with wood decking
- Replace existing brick steps with wood steps

A variation of the project, which encroached onto the historic structure, was denied by the HAHC in May 2015.

See enclosed application materials and detailed project description on p. 5-21 for further details.

Public Comment: One opposed and one in favor. See Attachment A, p. 22-23.

Civic Association: No comment received.

Recommendation: Approval

HAHC Action: Approved

All materials in exterior walls, including windows, siding, framing lumber, and interior shiplap must be retained except where removal or replacement has been explicitly approved by HAHC. Shiplap is an integral structural component of the exterior wall assembly in balloon framed structures and its removal can cause torqueing, twisting and collapse of exterior walls. Shiplap may be carefully shored and removed in small portions to insulate, run wire or plumbing, and should be replaced when the work is complete. Maintenance and minor in-kind repairs of exterior materials may be undertaken without HAHC approval, but if extensive damage of any exterior wall element is encountered during construction, contact staff before removing or replacing the materials. A revised COA may be required.

CERTIFICATE OF APPROPRIATENESS

Basis for Issuance: HAHC Approval

Effective: June 18, 2015



**PLANNING &
DEVELOPMENT
DEPARTMENT**

COA valid for one year from effective date. COA is in addition to any other permits or approvals required by municipal, state and federal law. Permit plans must be stamped by Planning & Development Department for COA compliance prior to submitting for building or sign permits. Any revisions to the approved project scope may require a new COA.

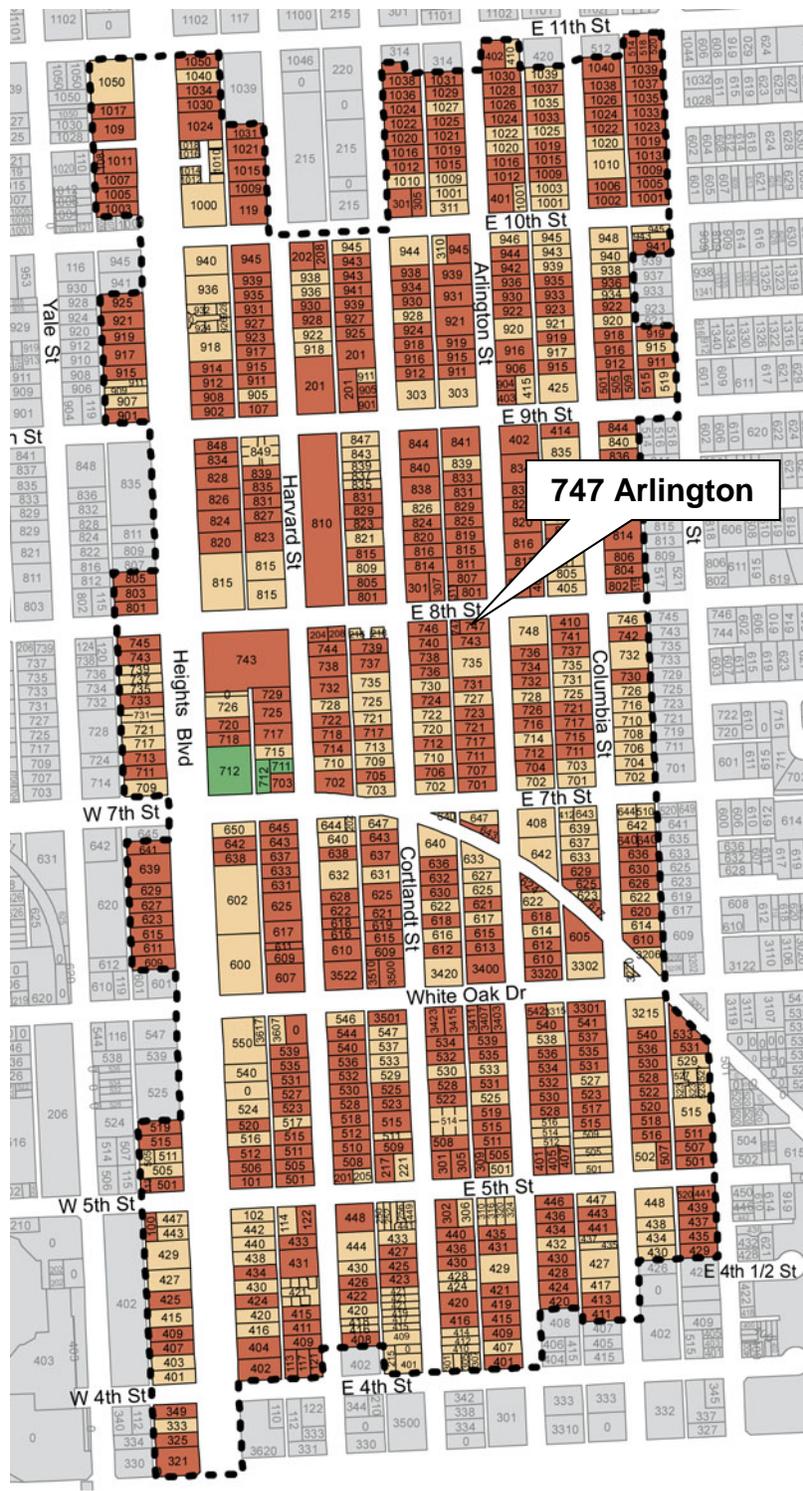
APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241(a): HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark or protected landmark, (ii) any building, structure or object that is contributing to an historic district, or (iii) any building, structure or object that is part of an archaeological site, upon finding that the application satisfies the following criteria, as applicable:

- S D NA S - satisfies D - does not satisfy NA - not applicable
(1) The proposed activity must retain and preserve the historical character of the property;
(2) The proposed activity must contribute to the continued availability of the property for a contemporary use;
(3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;
(4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;
(5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;
(6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;
(7) The proposed replacement of missing exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;
(8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;
(9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural or cultural material and must be compatible with the size, scale, material and character of the property and the area in which it is located;
(10) The setback of any proposed construction or alteration must be compatible with existing setbacks along the blockface and facing blockface(s);
(11) The proposed activity will comply with any applicable deed restrictions.

PROPERTY LOCATION
HOUSTON HEIGHTS HISTORIC DISTRICT SOUTH



- Building Classification**
- Contributing
 - Non-Contributing
 - Park

CURRENT PHOTO
(Front Facing Arlington Street)



CURRENT PHOTO
(Side Facing E. 8th Street)



EAST ELEVATION – FRONT FACING ARLINGTON STREET

EXISTING



DENIED MAY 2015



PROPOSED



NORTH SIDE ELEVATION—FACING 8TH STREET

EXISTING



DENIED MAY 2015



PROPOSED



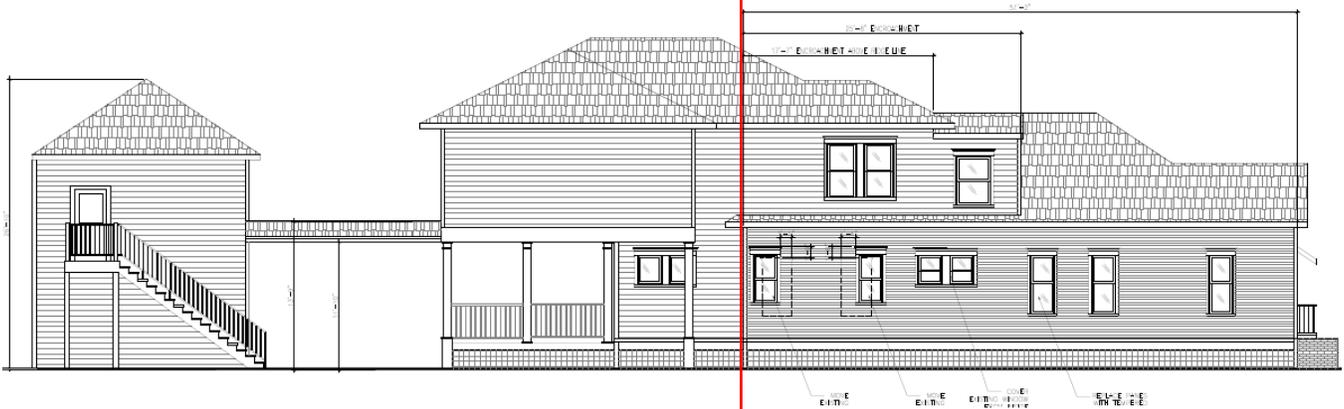
Original Rear Wall

SOUTH SIDE ELEVATION

EXISTING



DENIED MAY 2015



PROPOSED



Original Rear Wall

WEST (REAR) ELEVATION

EXISTING



DENIED MAY 2015



PROPOSED

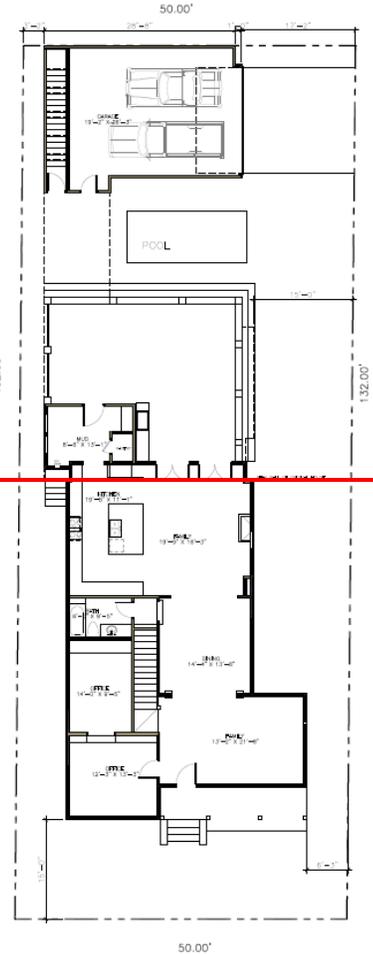
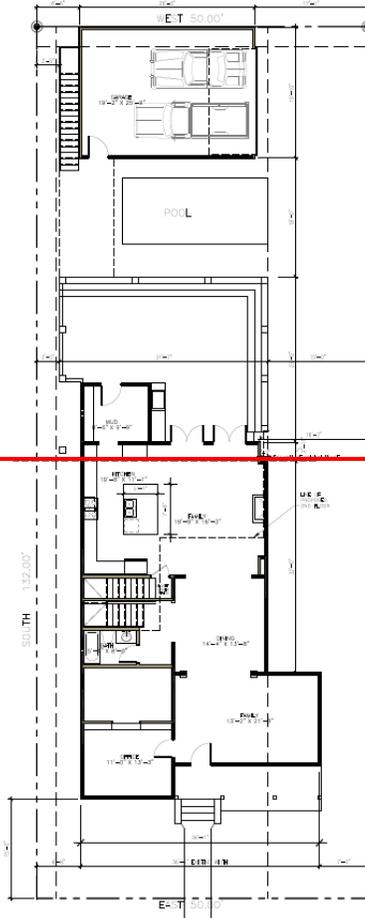
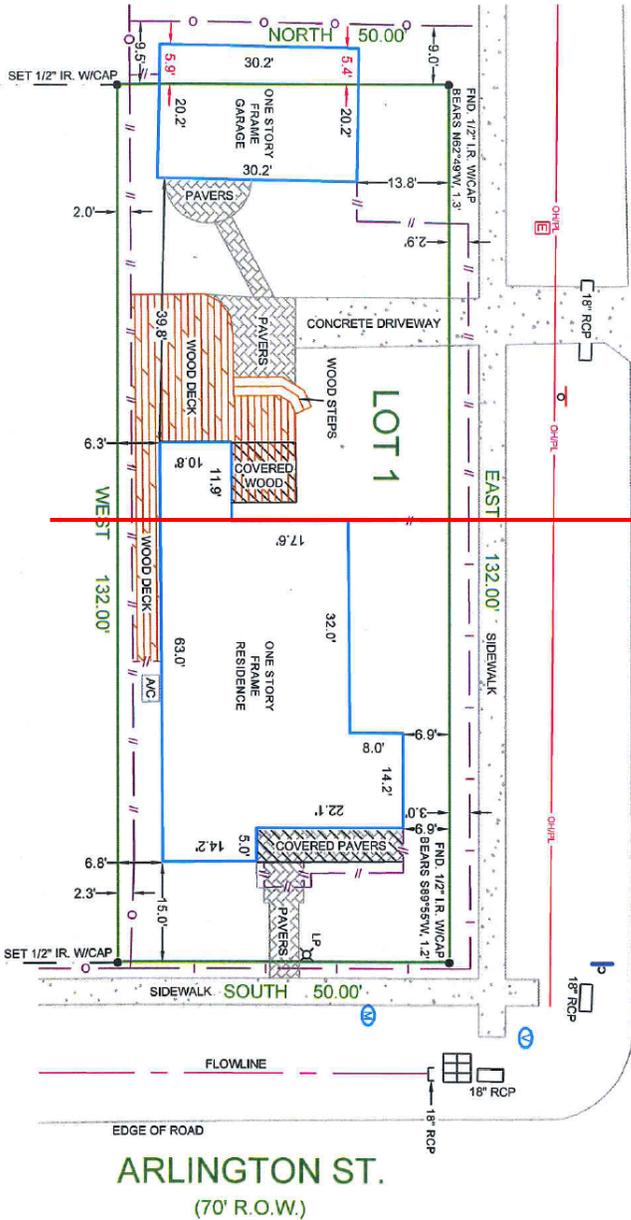


SITE PLAN

DENIED MAY 2015

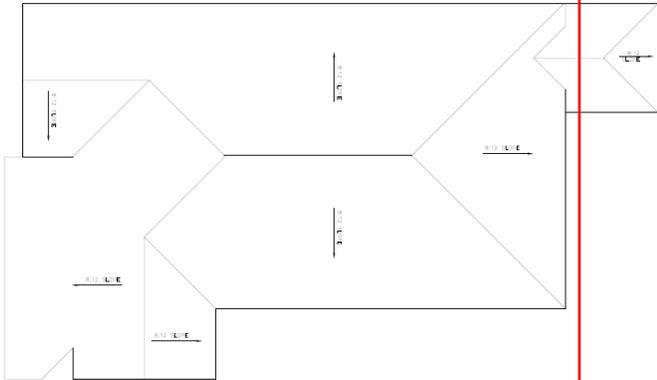
PROPOSED

N → EXISTING



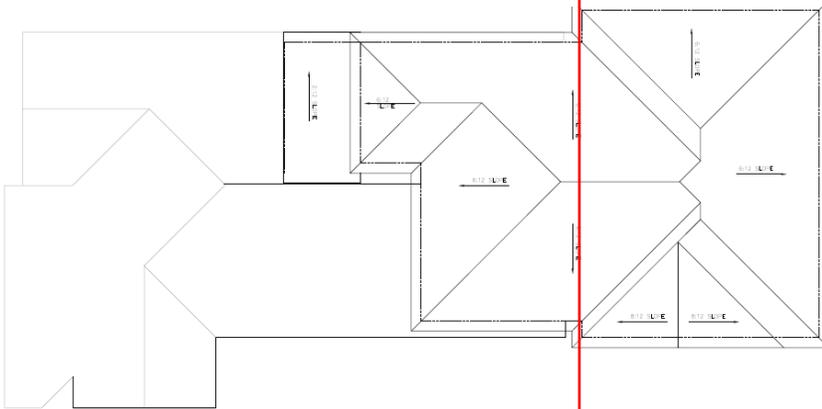
ROOF PLAN

EXISTING

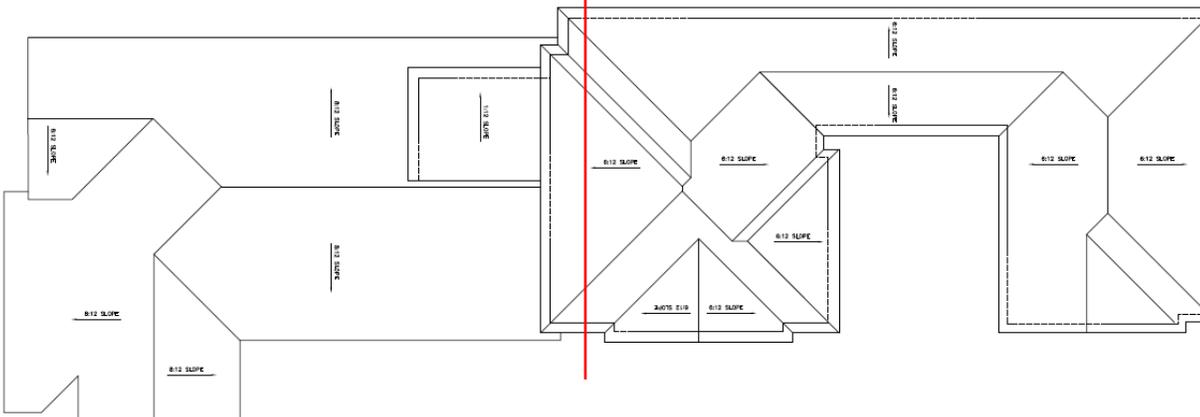


Original Rear Wall

DENIED MAY 2015

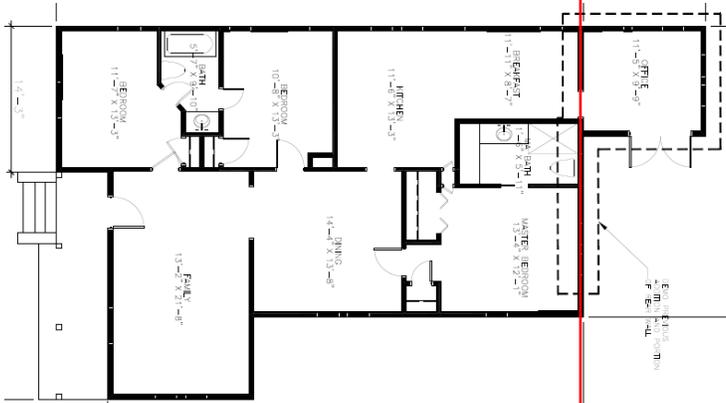
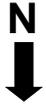


PROPOSED

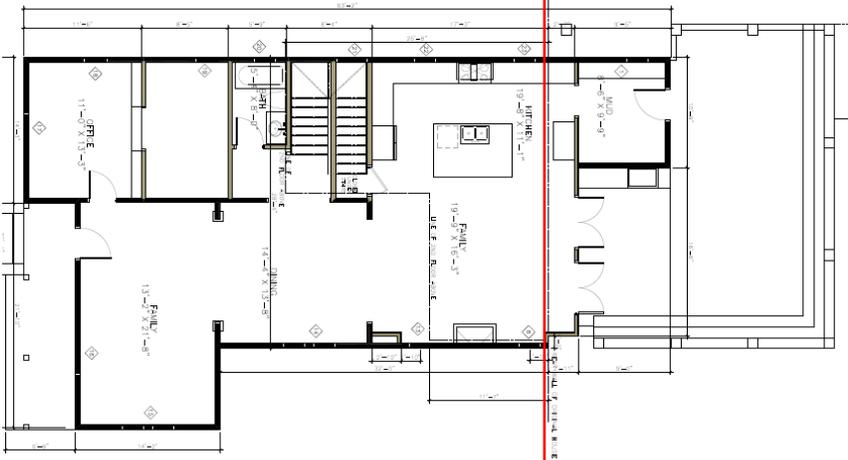


FIRST FLOOR PLAN

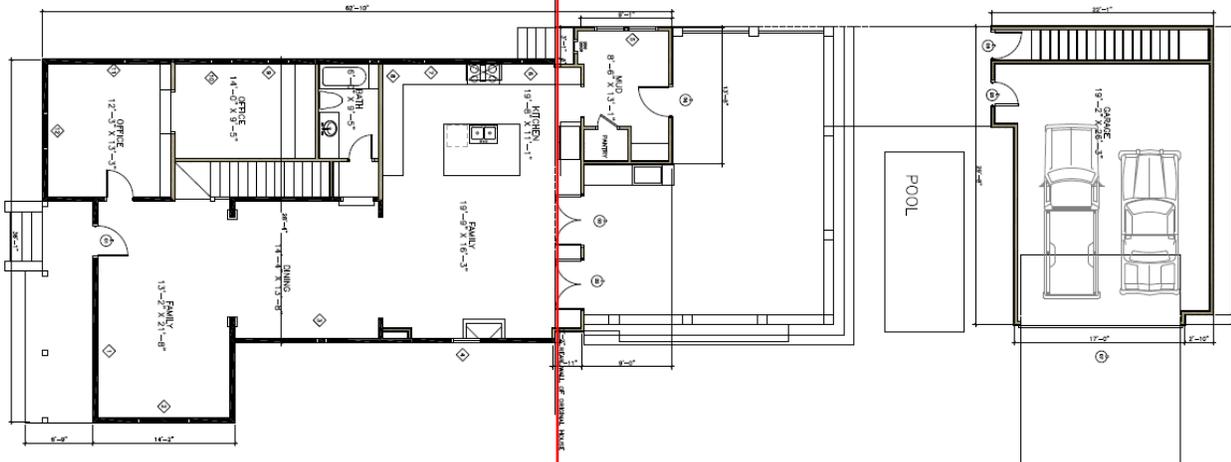
EXISTING



DENIED MAY 2015



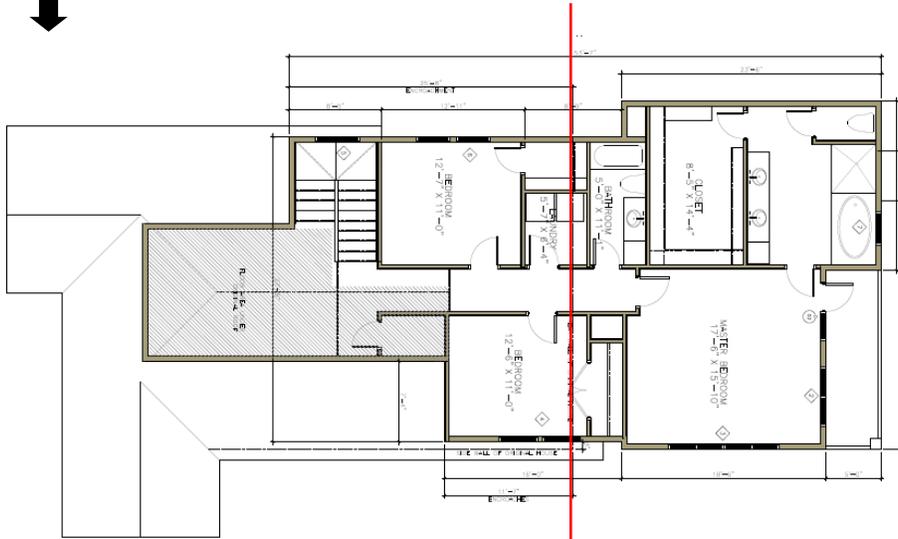
PROPOSED



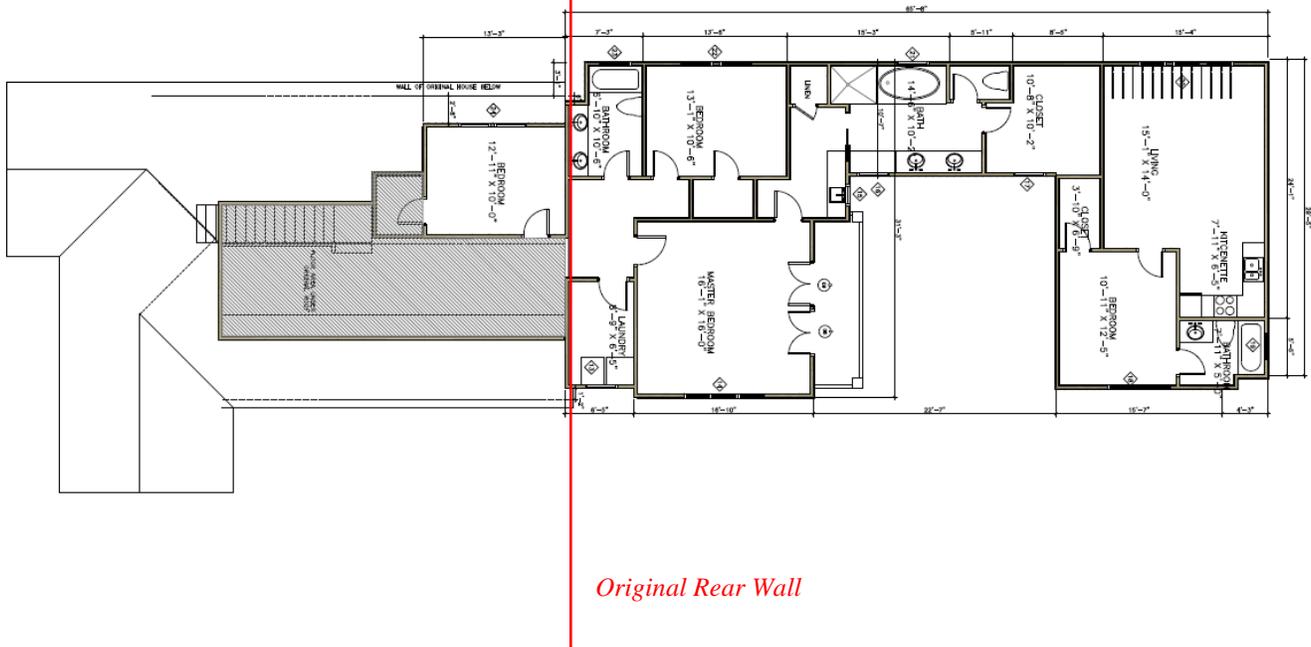
Original Rear Wall

SECOND FLOOR PLAN

DENIED MAY 2015

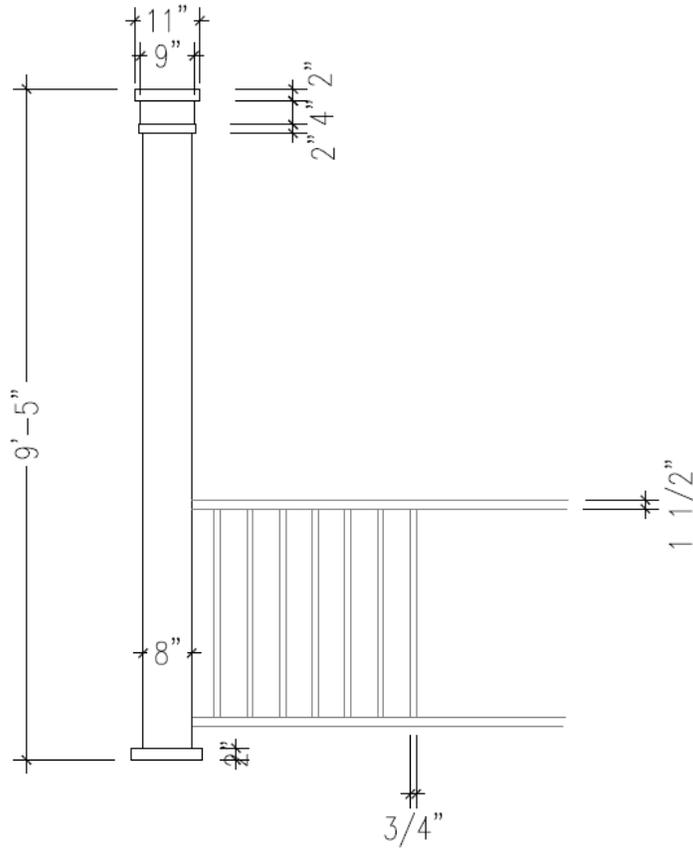


PROPOSED

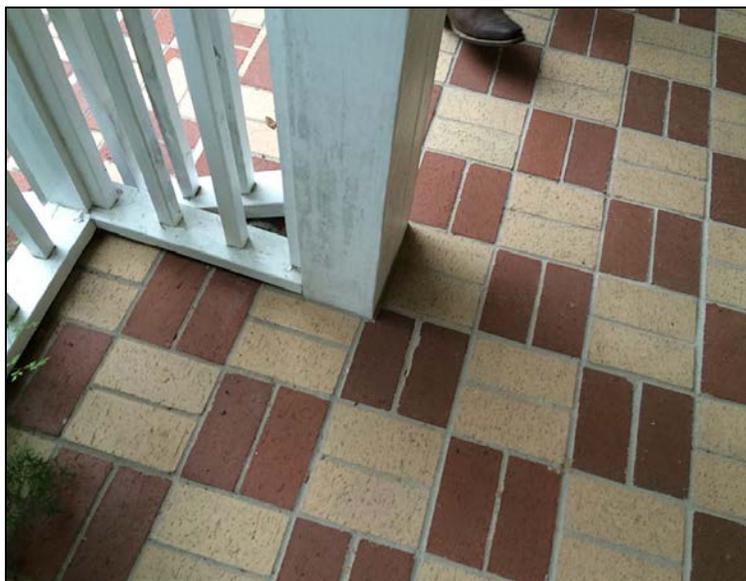


Original Rear Wall

PORCH DETAILS



EXISTING PORCH CONDITION



WINDOW / DOOR SCHEDULE**Door and window schedule**

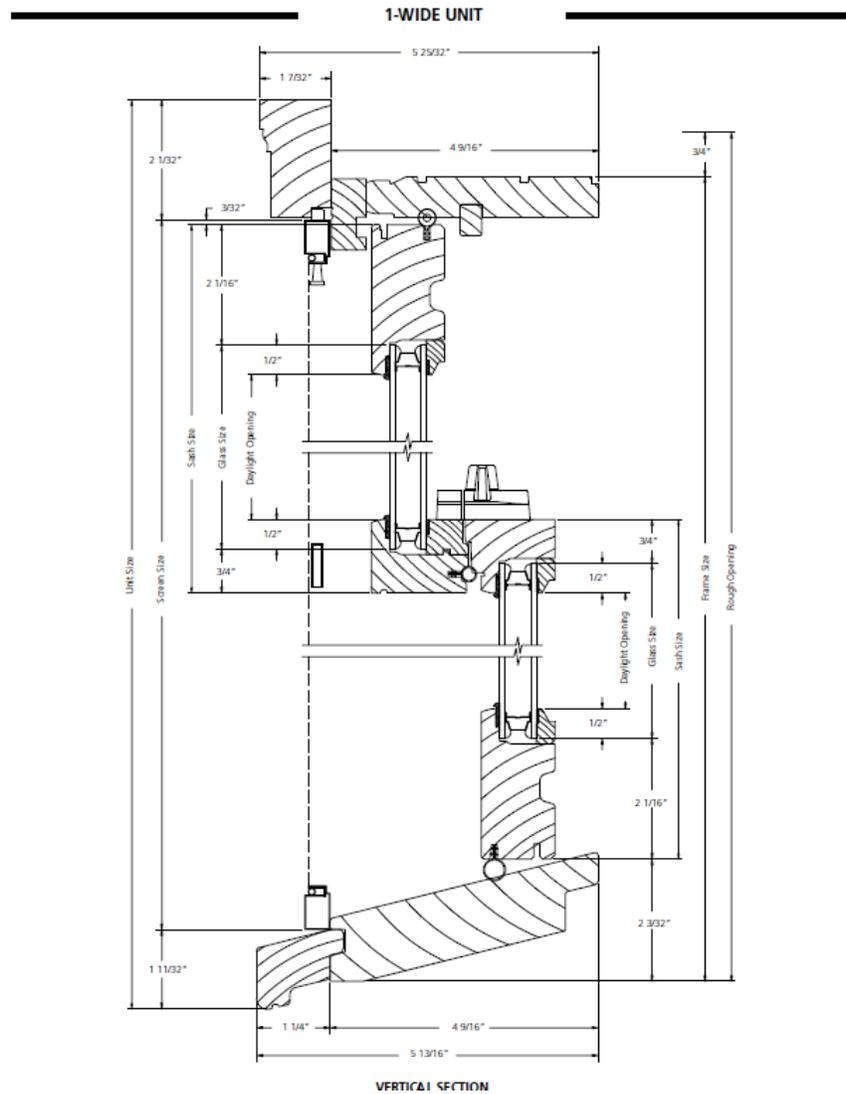
1. Existing 3'-4" x 6' dbl hung wood 1/1
2. Existing (2) 2'-3" x 6' dbl hung wood 1/1
3. Existing (2) 2'-3" x 6' dbl hung wood 1/1
4. Existing 2'-3" x 6' dbl hung wood 1/1, to be covered from inside
5. Proposed (2) 3'x3' fixed
6. Existing 2'-3" x 5' dbl hung wood 1/1, move up to match other headers
7. Existing 2'-3" x 5' dbl hung wood 1/1, move up to match other headers
8. Existing (2) 2'-6" x 2'6" wood dbl hung, to be covered from inside
9. Existing 2'-3" x 6' dbl hung wood 1/1
10. Existing 2'-3" x 6' dbl hung wood 1/1
11. Existing 2'-3" x 6' dbl hung wood 1/1
12. Existing 3'-4" x 6' dbl hung wood 1/1
13. Proposed 3'x3' dbl hung wood 1/1
14. Proposed (3) 2'x3' dbl hung wood 1/1
15. Proposed 2'x3' dbl hung wood 1/1
16. Proposed 3'x3' dbl hung wood 1/1
17. Proposed 3'x3' dbl hung wood 1/1
18. Proposed (2) 3'-0" x 4'-8" dbl hung egress, wood 1/1
19. Proposed 3'x2' Fire rated glass block window
20. Proposed (3) 3'-0" x 4'-8" dbl hung wood 1/1
21. Proposed 3'x2' wood fixed
22. Proposed (2) 3'-0" x 4'-8" dbl hung egress, wood 1/1
23. Proposed 3'x2' vinyl fixed
24. Proposed (2) 3'x3' casement egress wood

Doors

1. Existing Front door to remain
2. (2) 2'6" x 8' French doors, 1 lite
3. (2) 2'6" x 8' French doors, 1 lite
4. 3'x8' wood 1 lite
5. 3'x8' wood 1 lite
6. 3'x8' wood 1 lite
7. 16' overhead garage door, carriage style 6 panel, 6 lite
8. (2) 2'6" x 8' French doors, 1 lite
9. (2) 2'6" x 8' French doors, 1 lite

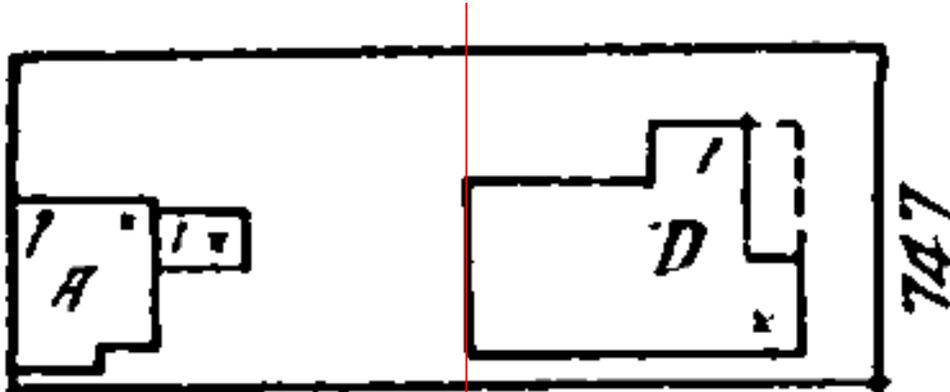
PROPOSED WINDOW DETAIL

JELD-WEN Tradition Plus Primed Wood Double-Hung Windows
WINDOWS & DOORS Premium Wood

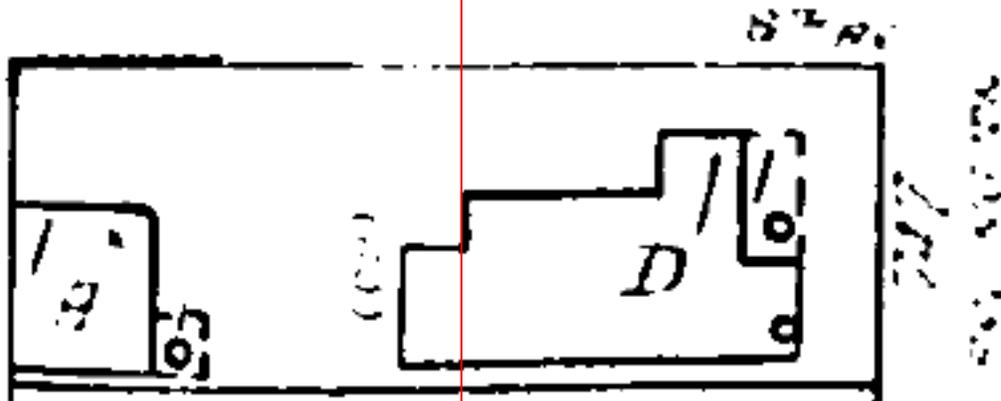


SANBORN MAP

1924-1950



1924-1951



PROJECT DETAILS

Shape/Mass: Existing: The existing residence is 36'-4" wide and 63'-1" deep (the original structure has a depth of 51'-2"). An 11.9' deep by 10.8' wide non- original addition is located at the rear. The existing residence has a ridge height of 23'-8". The existing structure features a 14'-3" front wall on the southern portion of the façade and a 6'-9" deep by 21'-10" wide front porch spanning the remaining northern portion.

May 2015: On the first-story, the existing addition at the rear of the residence will be removed and rebuilt in the same footprint (12'-0" deep by 10'-9" wide). The southern portion of the addition will be flush with the existing structure. The northern portion will be inset 1'-2" and will extend 2'-11" to the rear. The proposed second-story of the addition will have a total depth of 53'-7" and a total width of 31'-7". The second-story addition will encroach a total of 25'-8" on top of the existing structure. The encroachment will be 25'-8" on the southern portion of the existing structure and 11'-7" on the northern portion. A 19'-10 deep by 25'-6" two-story garage will be constructed at the rear of the property. The garage will have a ridge height of 26'-10". The garage will be connected to the main house by a covered breezeway. The breezeway will be 17'-6" long, 9'-0" wide, and will have a ridge height of 13'-9".

June 2015: The proposed addition will start at the original rear wall of the house. To help delineate the addition from the original structure, the addition will be inset 1'-2" on the north elevation and 6" on the south elevation. The proposed addition will have a total depth of 65'-8" and a total width of 30'-5". The first-story addition will extend the rear wall by 2'-11" towards the rear on the northern portion and will be comprised of a 9'-1" deep by 13'-8" wide addition on the southern portion, which will also extend 3'-1" towards the south, past the existing south wall of the residence. The second story component of the addition will be comprised of three portions. The portion that begins at the rear wall will be 31'-3" wide and 23'-3" deep. This portion will overhang the first story addition. The second portion will be a 22'-7" wide by 10'-7" elevated bridge (open on the first level) connecting the main house to the garage. The attached garage will be 30'-5" wide by 19'-10" deep. The elevated bridge portion will be setback behind a 22'-7" wide by 20'-8" deep courtyard, and will be setback 47.5' from the north property line (facing E 8th Street). A dormer will be constructed at the rear of the existing roof facing the interior portion of the lot. The dormer will be 13'-3" wide and will be inset 2'-8" from the existing south wall. The dormer will be set back 37'-11" from the existing front wall. The proposed addition will have a ridge height of 29'-11" (with a garage ridge height of 28'-0"). See drawings for more detail.

Setbacks: Existing: The existing residence has a front (east) setback of 15'-0"; a north side setback of 7'-3"; a south side setback of 6'-8"; and a rear (west) setback of 65'-10".

May 2015: The proposed addition will not alter the location of the existing residence and the existing structure will retain all existing setbacks. The addition will have a north side setback of 16'-2" (15'-0" to the deck); a south side setback of 3'-5"; and a rear setback of 0'-0". The garage portal (access will be taken from E. 8th Street) will have a setback of 17'-1".

June 2015: The proposed addition will not alter the location of the existing residence and the existing structure will retain all existing setbacks. The addition will have a north side setback of 16'-2" (15'-0" to the deck); a south side setback of 3'-2"; and a rear setback of 0'-0". The garage portal (access will be taken from E. 8th Street) will have a setback of 17'-1". See drawings for more detail.

Foundation: The existing residence has a pier and beam foundation with a finished floor of 30".

The proposed addition will have a pier and beam foundation with a finished floor of 30" to match existing. The proposed garage will have a concrete slab on grade foundation. See drawings for more detail.

Windows/Doors: Existing: The existing residence features 1-over-1 double hung wood windows which are to remain. The existing wood panel door features a central glazed panel. The door is shorter than the existing opening and is not original.

May 2015: The proposed addition will have a combination of wood 1-over-1 double hung, casement, and fixed windows. A single fixed window will be vinyl (located in the garage). Two existing windows on the south elevation will be shifted. One window will be raised 1'-0" and shifted 1'-4" to the west, while the other window will be raised 1'-0" and will be shifted 1'-1" to the east. On the north elevation, an existing window will be shifted 2'-0" to the east and a new window will be installed at the rear. The existing front door will be replaced with a solid six panel wood door.

June 2015: All existing windows are to remain. On the south elevation, the two smaller existing windows will be covered from the interior while the two taller rear existing windows will have their lower sashes covered from the interior. The proposed addition will have a combination of wood 1-over-1 double hung, casement, and fixed windows. Two fixed windows will be vinyl (one located in the garage apartment and the other on the addition). A glass block window will also be installed on the rear of the garage apartment. The non-original existing door will be retained. See drawings, window/door schedule, and photos for more detail. See drawings, window/door schedule, and photos for more detail.

Exterior Materials: Existing: The existing residence is clad in wood lap siding with a 4" reveal which is to remain. The same wood siding on the rest of the house is located in the gables. The siding in the gables is to remain. The front porch has been previously altered and is clad in masonry brick pavers. The existing square wood porch columns are also not original. Wood lattice panels surround the porch.

May 2015: The proposed addition will be clad in 6" cementitious lap siding. The porch steps will be replaced with new brick steps. New 8" square wood porch columns will be installed. New brick piers and wood lattice panels will clad the perimeter of the porch foundation. Wood lattice panels will be installed around the perimeter of the addition (between the foundation piers). The existing masonry brick porch floor will be replaced with wood decking.

June 2015: All existing cladding is to remain. The proposed addition will be clad in 6" cementitious lap siding. The porch steps will be replaced with new wood steps. New 8" square wood porch columns will be installed. New brick piers and wood lattice panels will clad the perimeter of the porch foundation. Wood lattice panels will be installed around the perimeter of the addition (between the foundation piers). The existing masonry brick porch floor will be replaced with wood decking. See drawings for more detail.

Roof: Existing: The existing residence features a hipped roof punctuated by front- and side-facing gables. The existing roof has a pitch of 8:12 and an eave height of 13'-1". The wood siding in the gables matches the rest of the siding on the house and is to remain.

May 2015: The proposed addition will have a hipped roof with a side-facing gable. The proposed roof will have a pitch of 6:12 with a dormer feature having a pitch of 2:12 and an eave height of 22'-3". The original roof return will be retained to help delineate the addition from the original structure. Decorative shingles will be installed in the addition gable.

June 2015: The proposed addition will have a hipped roof with a side-facing gables (at the rear wall and the attached garage). The proposed roof will have a pitch of 6:12 with the dormer having a pitch of 1:12. The addition will have an eave height of 22'-3". The original roof return will be retained to help delineate the addition from the original structure. Decorative shingles will be installed in the gables of the addition. See drawings for more detail.

Front Elevation: Existing: The existing east elevation features three bays. The southern bay features the front wall (East) with a single centered window. This bay is topped by a front facing gable. The central bay features the front entry steps and front door. The northern bay features a single centered window. The front porch spans the central and northern bays.

May 2015: A shed roof dormer portion of the addition is located on the southern half of the roof. Behind the dormer portion the addition extend out to the south, extending out past the existing original side wall. The rest of the addition rises above the house and features no fenestration. The main portion of the addition is topped by a hipped roof with a side gable facing toward the north.

June 2015: A shed roof dormer portion of the addition is located on the southern half of the roof. Behind the dormer portion the addition extend out to the south, extending out past the existing original side wall. The rest of the addition rises above the house and features no fenestration. The main portion of the addition is topped by a hipped roof with a side gable facing toward the north. See drawings for more detail.

Side Elevation: Existing: The existing north elevation features the side profile of the front porch to the east (North) followed by a protruding bay topped by a gable. This bay features a pair of windows. To the west is an additional pair of windows followed by a single window.

May 2015: The proposed addition begins 11'-7" over the original structure. The second-story is supported by four columns. The first-story will not have any fenestration. The eastern portion that encroaches onto the original structure will have a pair of windows. The next bay, which is topped by a front facing gable will have a row of four square windows. The rear portion of the addition will have a small balcony. In the original portion of the house, the existing rear window will be shifted to the east and a new window will be installed at the rear.

June 2015: The proposed addition begins at the rear wall of the original structure. The addition is inset from the existing structure. No fenestration will be located on the first story. The second-story is supported by four columns. A single window will be located to the east of the ventral gabled bay. The gabled bay will have a group of three windows. A balcony is located to the west of the gabled bay. The second story extends over the open courtyard below, connecting the addition to the new garaged. Two windows will be located in the elevated connecting portion. The attached garage has garage doors on the first level and a pair of windows on the second. See drawings for more detail.

Side Elevation: Existing: The existing south elevation features three windows on the eastern portion followed by (South) a pair of smaller windows and two additional windows at the rear.

May 2015: The proposed addition begins 25'-8" over the original structure with the rear portion supported by four columns. On the second-story a shed roof dormer protrudes through the existing roof and contains a single window followed by an additional pair of windows. There is no additional fenestration on the second-story. The first-story addition will have a pair of windows. In the original portion of the house, the existing two rear windows will be shifted to the lower and in towards each other.

June 2015: The proposed addition begins at the rear wall of the original structure. The addition is inset from the existing structure. A pair of windows will be located on the first story. The proposed second story portion supported by four columns. The second story extends over the open courtyard below, connecting the addition to the new garaged. A pair of windows and an additional window will be located in the elevated connecting portion. The attached garage has no fenestration on the first level and a group of three windows on the second. See drawings for more detail.

Rear Elevation: The rear elevation of the residence and addition is not visible from the public Right-of-Way. See (West) drawings for more detail.

ATTACHMENT A
PUBLIC COMMENT

From: Catherine & Roger [redacted] Sent: Sat 6/13/2015 4:05 PM
 To: PD - Historic Preservation
 Cc:
 Subject: COA Application - 747 Arlington Street

Message 747 Arlington.pdf (298 KB)

HAHC Members

A COA application has been submitted for 747 Arlington Street. As can be seen in the attached photographs, an extensive addition is currently being completed at the adjoining property on the corner of Cortlandt and East 8th Street. The addition of this similarly large extension will create a 'wall' of housing on 8th Street between Cortlandt and Arlington Streets. This proposed construction is totally out of scale with the four houses on the opposite side of the street.

We therefore oppose this application in its present form.

Regards

Roger & Catherine Watkins
 816 Arlington Street
 Houston, TX 77007

Heights Historic District South

747 Arlington – COA Application – June 2015



ATTACHMENT A
PUBLIC COMMENT

Agenda item #15 – 747 Arlington

I SUPPORT the granting of a Certificate of Appropriateness for this proposed addition. While, I am still concerned about the proposed 2nd story bedroom encroaching over the existing historical structure, at least it is on the opposite side of the structure and not visible from the street corner side. The movement of the mud room wall out to the outside of the structure, in place of the previous open porch, provides a solid visual backdrop wall for the addition as seen from the front street side and the addition of the pet door with steps is a unique design touch that provides reasoning for the solid wall and allows a creative use of the pet entrance.

June 18, 2015 HAHC Meeting
Houston Heights South Historic District
Comments by J. Kent Marsh