

CERTIFICATE OF APPROPRIATENESS

Application Date: May 27, 2015

Applicant: Ronald Shane Brown of Cowside Properties, owner

Property: 1115 Arlington Street, Lot 1, Block 198, Houston Heights Subdivision. The property includes a historic 2,532 square foot (including an addition constructed in 2000) residence situated on a 6,600 square foot (50' x 132') interior lot.

Significance: Contributing Bungalow style residence, constructed circa 1915, located in the Houston Heights Historic District East. A 1,633 square foot two story addition was constructed to the rear of the original residence in 2000.

Proposal: Alteration – Addition Revision

The applicant was denied a Certificate of Appropriateness for an addition on January 29, 2015 for failing to meet criteria for 1, 4, 8, and 9 for alterations to Contributing structures. Among the reasons why staff found the project to be inappropriate was the proposed removal of a large portion of exterior wall material and siding.

After staff consultation, the applicant revised their proposed addition to retain the existing siding and otherwise meet all 11 criteria for alterations. The applicant was granted a Certificate of Appropriateness for this addition on March 26, 2015. All of the existing wood 117 siding was stipulated to be retained.

No evidence has been provided by the applicant that the original siding was damaged or in need of replacement.

During construction of this addition, the City's Structural Inspector observed that the builder had removed all of the original house's wood siding and replaced it with new matching siding. Some of the new siding has been painted beige to give it the appearance of the previously existing siding. The Planning Department issued a Stop Work Order on May 27, 2015.

The owner now proposes to revise their COA to allow for replacement of all of the existing structure's siding. See enclosed application materials and detailed project description on p. 5-10 for further details.

Public Comment: One in favor of the COA as proposed. Three in favor of staff's Conditional Approval recommendation. See Attachment A

Civic Association: No comment received.

Recommendation: Conditional Approval: Approve on the condition that the new siding installed is replaced with salvaged historic 117 wood siding to match the original

Staff's recommendation is to approve remediation work only, not to approve the inappropriate work that was already performed without permission and resulted in the destruction of historic materials.

HAHC Action: Approved

All materials in exterior walls, including windows, siding, framing lumber, and interior shiplap must be retained except where removal or replacement has been explicitly approved by HAHC. Shiplap is an integral structural component of the exterior wall assembly in balloon framed structures and its removal can cause torqueing, twisting and collapse of exterior walls. Shiplap may be carefully shored and removed in small portions to insulate, run wire or plumbing, and should be replaced when the work is complete. Maintenance and minor in-kind repairs of exterior materials may be undertaken without HAHC approval, but if extensive damage of any exterior wall element is encountered during construction, contact staff before removing or replacing the materials. A revised COA may be required.

CERTIFICATE OF APPROPRIATENESS

Basis for Issuance: HAHC Approval

Effective: June 18, 2015



PLANNING & DEVELOPMENT DEPARTMENT

COA valid for one year from effective date. COA is in addition to any other permits or approvals required by municipal, state and federal law. Permit plans must be stamped by Planning & Development Department for COA compliance prior to submitting for building or sign permits. Any revisions to the approved project scope may require a new COA.

**APPROVAL CRITERIA**

**ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS**

Sec. 33-241(a): HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark or protected landmark, (ii) any building, structure or object that is contributing to an historic district, or (iii) any building, structure or object that is part of an archaeological site, upon finding that the application satisfies the following criteria, as applicable:

**S D NA**

**S - satisfies D - does not satisfy NA - not applicable**

- (1) The proposed activity must retain and preserve the historical character of the property;  
*Historic wood siding is a character defining feature of this residence. Staff found no evidence of damage on this structure's historic siding when performing site visits related to the first two COA applications for this property. Replacing this undamaged siding with newer material undermines the character of this property.*
- (2) The proposed activity must contribute to the continued availability of the property for a contemporary use;
- (3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;
- (4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;  
*Historic wood siding is an irreplaceable distinguishing quality of this residence and others found throughout Houston Heights Historic District East.*
- (5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;  
*Historic siding often consists of old growth cypress or longleaf pine wood which is more resistant to deterioration than new pine siding. In addition, historic siding features a unique texture acquired from years of weathering, past paint, and paint scraping. Replacing this undamaged aged old growth siding with new pine siding with a smooth surface represents a failure to maintain the structure's distinct stylistic exterior features.*
- (6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;
- (7) The proposed replacement of missing exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;
- (8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;
- (9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural or cultural material and must be compatible with the size, scale, material and character of the property and the area in which it is located;  
*Removing all of the house's historic siding represents the destruction of a significant amount of historical and architectural material. Staff has no reason to believe that the historic siding was damaged beyond repair as the siding appeared to be in good condition and insufficient evidence was presented indicating damage to warrant replacement.*
- (10) The setback of any proposed construction or alteration must be compatible with existing setbacks along the blockface and facing blockface(s);
- (11) The proposed activity will comply with any applicable deed restrictions.



PROPERTY LOCATION  
HOUSTON HEIGHTS HISTORIC DISTRICT EAST

Building Classification

- Contributing
- Non-Contributing
- Park



INVENTORY PHOTO

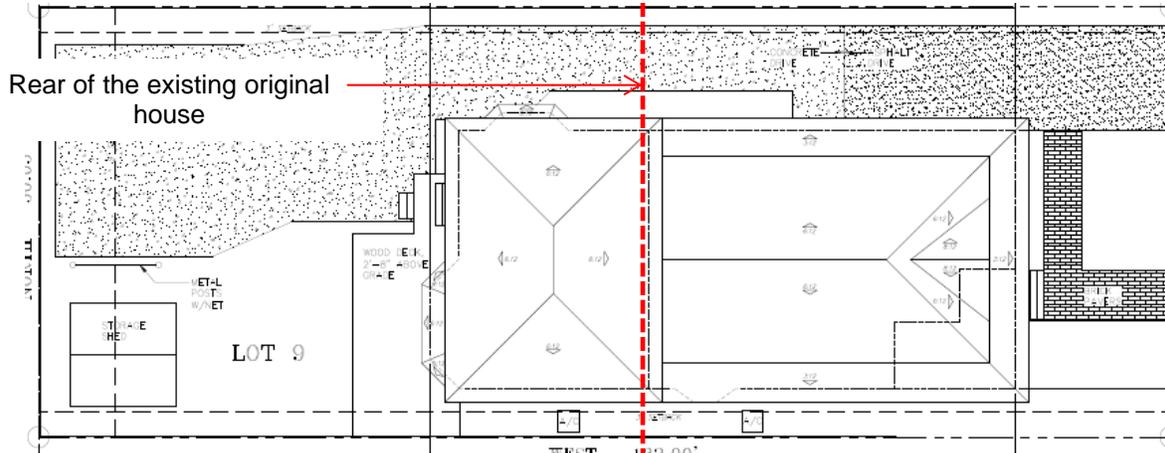


CURRENT PHOTO

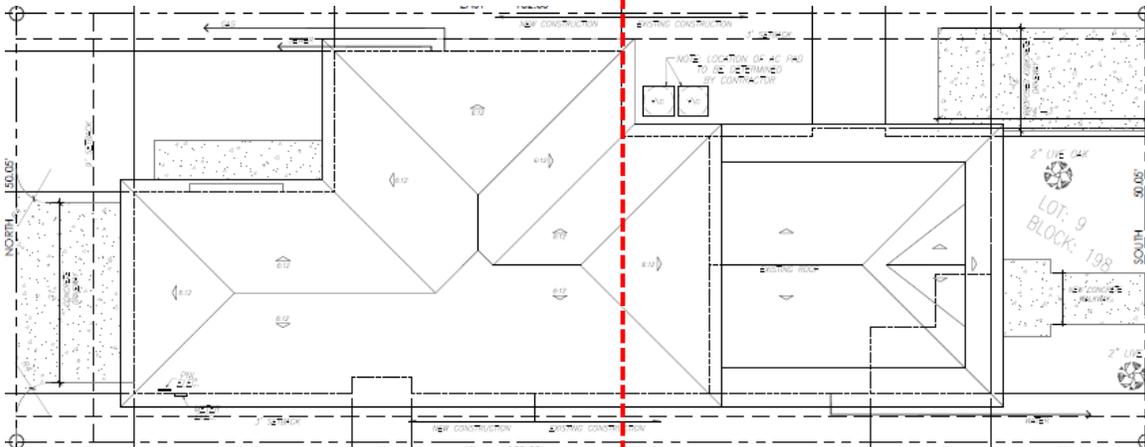




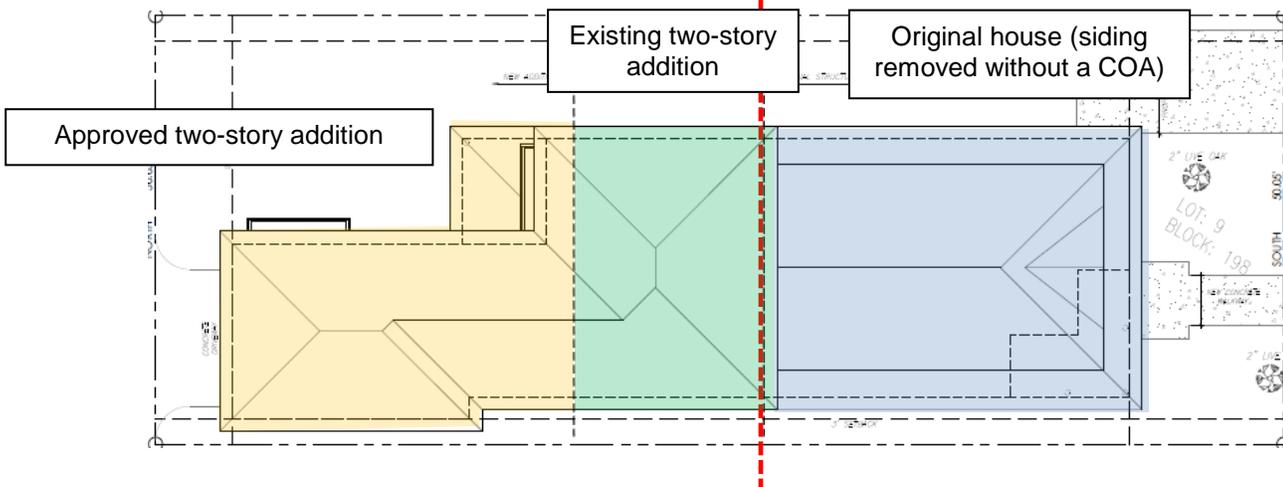
**SITE PLAN  
EXISTING**



**DENIED 1/29/15**



**APPROVED 5/26/15**



**FRONT WALL  
PREVIOUSLY EXISTING**



**NEW SIDING INSTALLED**



**SOUTH WALL**  
**PREVIOUSLY EXISTING SIDING**



**NEW SIDING INSTALLED**



**NORTH WALL**  
**PREVIOUSLY EXISTING SIDING**



**NEW SIDING INSTALLED**



### PROJECT DETAILS

**Exterior Materials:** Replace existing historic 117 wood siding with new matching siding. The applicant asserts that the siding was damaged beyond repair by termites and that the siding was not original to the structure.

Staff has no reason to believe the removed siding was damaged or unoriginal. During previous site visits, staff noted the aged texture of the siding, which featured visible evidence of previous paint and paint scraping underneath the current coat of paint. New or recently installed siding would have a smooth texture. There was no apparent damage on the siding.

**ATTACHMENT A**  
**PUBLIC COMMENT**  
**KENT MARSH**

Agenda item # 24 – 1115 Arlington

I OBJECT to the granting of this Certificate of Appropriateness for this application. There is not sufficient evidence provided by the applicant to justify the removal of what appears to be original wood siding on the original historic structure. If you have a wood house in the Heights you can expect at some time to have termites. My house is only 18 years old and I have had termites on three separate occasions. I have had termite treatments and it seems that has been the case with this house but the existence of termites somewhere in a house is no justification for removal of the outside siding. The new siding should be replaced with salvaged siding similar to the existing on the house before the replacement with new siding. It is possible that the new siding would have termites also. I'm fairly certain that is what happened in my case but I was not tempted to remove the entire side of the house.

J. Kent Marsh, AICP CUD  
1538 Arlington, Houston Heights East Historic District

**JONATHAN SMULIAN**

**From:** Jonathan Smulian  
**Sent:** Monday, June 15, 2015 11:17 AM  
**To:** Kent Marsh  
**Subject:** Re: June HAHC Meeting

1115 Arlington - no objection if conditional approval implemented

**CHARLIE THORP**

*Approves of Staff's Recommendation to use Salvaged Siding*

**From:** Charlie  
**Sent:** Monday, June 15, 2015 8:55 AM  
**To:** Kent Marsh  
**Subject:** Re: June HAHC Meeting

1115 Arlington - Approve

BRIE KELMAN

**From:** Brie Kelman [REDACTED]  
**Sent:** Monday, June 15, 2015 2:32 PM  
**To:** Zucker, Jim  
**Cc:** Kent Marsh; McFarland, D. Mitchell; Mark R. Williamson; Jonathan Smulian;  
fatcat@cathorpstudio.com  
**Subject:** Re: June HAHC Meeting

1115 Arlington - No objection. I would be interested to hear the owner's defense to the accusations. They claim there was termite damage beyond repair.