

**CERTIFICATE OF APPROPRIATENESS**

**Application Date:** May 27, 2015

**Applicant:** Cesar Hernandez, Zedna Development, owner

**Property:** 1212 Tulane Street, Lot 27, Block 183, Houston Heights Subdivision. The property includes a historic 1,580 square foot, 1½-story wood frame single-family residence situated on a 4,400 square foot (33' x 132') interior lot.

**Significance:** Contributing Dutch Colonial residence, constructed circa 1915, located in the Houston Heights Historic District West.

**Proposal:** Alteration – Revision. The applicant was granted a COA in January 2015 for a rear two-story 1,621 square foot addition beginning at the rear wall of the historic house. All existing original 1-over-1 wood windows and original 117 wood siding were to be retained and repaired.

Without any City permits or approval from the HAHC, the applicant undertook the following work:

- Altered, resized and shifted original window openings.
- Replaced all original wood windows with flush-mounted vinyl windows of a smaller size.
- Removed substantial portions of the original 117 wood siding, including the entire south wall, part of the front west wall, and approximately 50% of the north wall.
- Removed all original wood trim.
- Raised the foundation 8", which caused damage to existing porch elements.
- Removed interior shiplap from exterior walls.
- Extended the addition an additional 1'-0".

See enclosed application materials and detailed project description on p. 4-39 for further details.

**Public Comment:** One comment received. See Attachment A, p. 40.

**Civic Association:** No comment received.

**Recommendation:** Approval with conditions:

- Install salvaged historic 117 wood siding in all areas where the original 117 wood siding has been removed and destroyed by the applicant;
- Reinstall all original windows; If original window has been destroyed, install salvaged historic wood window to match the original lite pattern, profile, material, and size, in the original openings;
- Restore all original window locations and opening sizes;
- Replace all removed original trim, soffit, and fascia board with wood to match existing;
- Lower the historic house 8" back to its original finished floor height of 2' and repair damaged to porch elements.

Staff's recommendation is to approve remediation work only, not to approve the inappropriate work that was already performed without permission and resulted in the destruction of historic materials.

*All materials in exterior walls, including windows, siding, framing lumber, and interior shiplap must be retained except where removal or replacement has been explicitly approved by HAHC. Shiplap is an integral structural component of the exterior wall assembly in balloon framed structures and its removal can cause torqueing, twisting and collapse of exterior walls. Shiplap may be carefully shored and removed in small portions to insulate, run wire or plumbing, and should be replaced when the work is complete. Maintenance and minor in-kind repairs of exterior materials may be undertaken without HAHC approval, but if extensive damage of any exterior wall element is encountered during construction, contact staff before removing or replacing the materials. A revised COA may be required.*

**CERTIFICATE OF APPROPRIATENESS**

**Basis for Issuance:** HAHC Approval

**Effective:** June 18, 2015



**PLANNING & DEVELOPMENT DEPARTMENT**

COA valid for one year from effective date. COA is in addition to any other permits or approvals required by municipal, state and federal law. Permit plans must be stamped by Planning & Development Department for COA compliance prior to submitting for building or sign permits. Any revisions to the approved project scope may require a new COA.

**HAHC Action:** Approved with Conditions:

- Install salvaged historic 117 wood siding in all areas where original 117 wood siding has been removed and destroyed ;
- Reinstall all original windows; If original window has been destroyed, install salvaged historic wood window to match the original lite pattern, profile, material, and size, in original openings;
- Restore all original window locations and opening sizes;
- Replace all removed original trim, soffit, and fascia board with wood to match existing;
- Lower the historic house 8" back to its original finished floor height of 2' repair damaged to porch elements.

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Planning Official

Date

**APPROVAL CRITERIA**

**ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS**

Sec. 33-241(a): HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark or protected landmark, (ii) any building, structure or object that is contributing to an historic district, or (iii) any building, structure or object that is part of an archaeological site, upon finding that the application satisfies the following criteria, as applicable:

**S D NA S - satisfies D - does not satisfy NA - not applicable**

- (1) The proposed activity must retain and preserve the historical character of the property;  
*Raising the house, damaging the front porch by altering its proportions (specifically the vertical relationship between floor, pier, column and roof), removing substantial sections of historic siding, removing all historic windows, shifting and altering historic window openings, and removing all historic trim does not retain and preserve the historic character of the property. To mitigate these issues, the original house should be lowered 8" to its original finished floor height, the original windows should be reinstalled in their original locations, and if not available, historic salvaged windows matching the original size should be installed into the original locations. Additionally, the removed siding should be replaced with historic salvaged siding and all removed and missing trim, soffit, and fascia board should be replaced in-kind with wood.*
- (2) The proposed activity must contribute to the continued availability of the property for a contemporary use;
- (3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;
- (4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;  
*Raising the house, damaging the front porch, removing substantial sections of historic siding, removing all historic windows, shifting and altering historic window openings, and removing all historic trim does not preserve the distinguishing historic qualities or character of the building. To mitigate these issues, the original house should be lowered 8" to its original finished floor height, the original windows should be reinstalled in their original locations, and if not available, historic salvaged windows matching the original size should be installed into the original locations. Additionally, the removed siding should be replaced with historic salvaged siding. All removed and missing trim, soffit, and fascia board should be replaced in-kind with wood.*
- (5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;  
*Extending the front porch columns to fit the new height of the raised porch roof will alter the porch's historic proportions. Replacing the historic wood windows with flush mounted vinyl windows does not maintain or replicate the distinctive historic profile of the original wood windows. Removing windows, shifting windows, and altering the size of windows (especially the two wide front windows) does not maintain the distinctive stylistic features that characterize this building. To mitigate these issues, the original house should be lowered 8" to its original finished floor height, the original windows should be reinstalled in their original locations, and if not available, historic salvaged windows matching the original size should be installed into the original locations. All removed and missing trim, soffit, and fascia board should be replaced in-kind with wood.*

- (6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;  
*The flush mounted vinyl windows that have been installed do not match the profile of the existing historic wood windows. The historic wood windows that have been found on site should be reinstalled, and when not possible to reinstall an original window, since several have been destroyed, historic salvaged wood windows should be installed. Additionally, all original and salvaged historic windows should be reinstalled in the original historic location and at the correct size.*
- (7) The proposed replacement of missing exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;  
*The existing historic windows should be reinstalled in the original location and size. Salvaged windows with the appropriate deep set profile should be installed since some of the original windows have been destroyed. The historic proportions of the porch should be maintained by lowering the historic residence 8" to maintain the original finished floor height. All removed and missing trim, soffit, and fascia board should be replaced in-kind with wood and with the same dimensions and design.*
- (8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;  
*Shifting and reducing the size of the original window openings as well as raising the house 8" irreparably impairs the essential form and integrity of the building. To mitigate these issues, the original house should be lowered 8" to its original finished floor height, the original windows should be reinstalled in their original locations, and if not available, historic salvaged windows matching the original size should be installed into the original locations.*
- (9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural or cultural material and must be compatible with the size, scale, material and character of the property and the area in which it is located;  
*Damaging the front porch by raising the house, removing substantial sections of historic siding, removing all historic windows, shifting and altering historic window openings, and removing all historic trim destroys significant architectural material. To mitigate these issues, the original house should be lowered 8" to its original finished floor height, the original windows should be reinstalled in their original locations, and if not available, historic salvaged windows matching the original size should be installed into the original locations. Additionally, the removed siding should be replaced with historic salvaged siding. All removed and missing trim, soffit, and fascia board should be replaced in-kind with wood.*
- (10) The setback of any proposed construction or alteration must be compatible with existing setbacks along the blockface and facing blockface(s);
- (11) The proposed activity will comply with any applicable deed restrictions.

**1212 TULANE STREET TIMELINE**

January 29, 2015

- Applicant received approval from HAHC for an addition that begins at the rear wall. All existing material, including siding and windows were to remain.

April 1, 2015

- Plans stamped by Planning for compliance with approved COA.

April 2, 2015

- Inspector and staff notice unpermitted construction occurring at 1212 Tulane.
- Historic material and trash in pile on front yard (pile includes windows).
- Inspector issues Red Tag Posted notice to Salvage and secure historic material, Secure and dry-in house, contact Planning
- Permitting request to remove Historic hold for RESIDENTIAL REMODEL AND ADDITION 2006 IRC. Hold not released by Planning Staff.

April 3, 2015

- Code Enforcement issues Red Tag. Need plans and permits for unpermitted work.
- Staff photo documents conditions

April 14, 2015

- Additional siding and trim removed as documented by staff. Work conducted over previously issued Red Tags.
- Historic material and trash remains in pile on front yard. Historic material not salvaged.

April 16, 2015

- Code Enforcement issues Red Tag #2. Need plans and permits for unpermitted work.

May 8, 2015

- Code Enforcement issues Red Tag #3. Need plans and permits for unpermitted work.

May 14, 2015

- Visited 1212 Tulane to investigate conditions at the site.
- Historic material and trash remains in pile on front yard. Historic material not salvaged.
- Confirmed that the house was raised 8", from 24" to 32".
- The porch floor has also raised 8" which puts porch elements out of proportion. There is now a 7" gap at the top of the columns that is filled with blocking to support the porch roof. The brick piers are now 8" lower which will alter the porch railing. Currently the existing porch railing has been removed but ghosting on the brick indicates that the railing was 15½" exposed with an additional 8" to compensate for the raised porch (total 23½"). The porch columns themselves has 3¾" of top trim, 52½" tall tapered column (8" at base 7" at top) with 1" quarter round and a 2" base at the bottom.
- The porch breadboard ceiling was in good condition, showing only portions of degradation where insulation was falling through.
- Contrary to what the owner has asserted, 16 sashes were found in the house with at least an additional three complete windows found in the front yard rubbish pile.
- The owner has replaced all existing windows with 3' x 5' (32" x 27 3/8") flange mounted flush vinyl windows (windows located in the proposed kitchen area were 23" x 21½" (not indicated on the drawings)). These windows do not match the existing window openings or existing sashes.
- Many of the original window openings have been shifted (as evidence in the original framing along the north elevation).
- Two existing window opening have been removed, both on the north elevation (one 1-over-1 double-hung and one horizontal rectangular window)

- The floor plans or elevations did not match existing conditions. Four additional windows (two on the north elevation and two on the south elevation) have been installed. These are not reflected on the submitted drawings.
- The replacement siding has been damaged and is now warped and bulging. The house is not dried-in and secure and historic material along with rubbish is strewn throughout the property.
- A neighbor indicated that pieces of the house have fallen hitting her house and gutters.

May 18, 2015

- Meet with applicant at 611 Walker Street to discuss inconsistencies in submitted drawings and existing conditions at the site.
- Applicant states that he will let the house rot if his project is held up any longer.

May 19, 2015

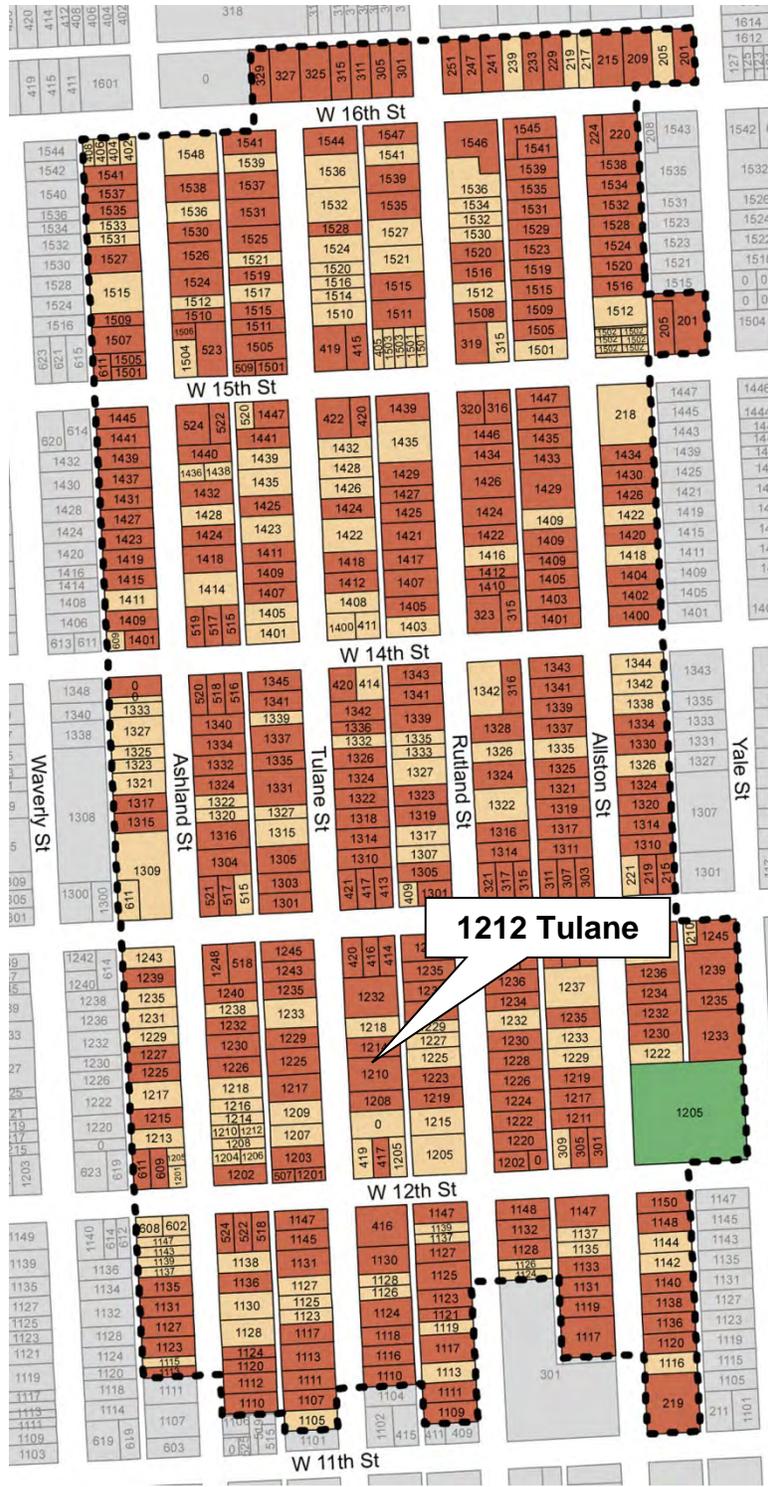
- Visit 1212 Tulane to investigate conditions at the site.
- Historic material and trash remains in pile on front yard. Historic material not salvaged.

June 2, 2015

- Visit 1212 Tulane to investigate conditions at the site.
- Historic material and trash in pile on front yard removed.



**PROPERTY LOCATION**  
**HOUSTON HEIGHTS HISTORIC DISTRICT WEST**



**Building Classification**

- Contributing
- Non-Contributing
- Park

INVENTORY PHOTO



PHOTO FROM LAST COA

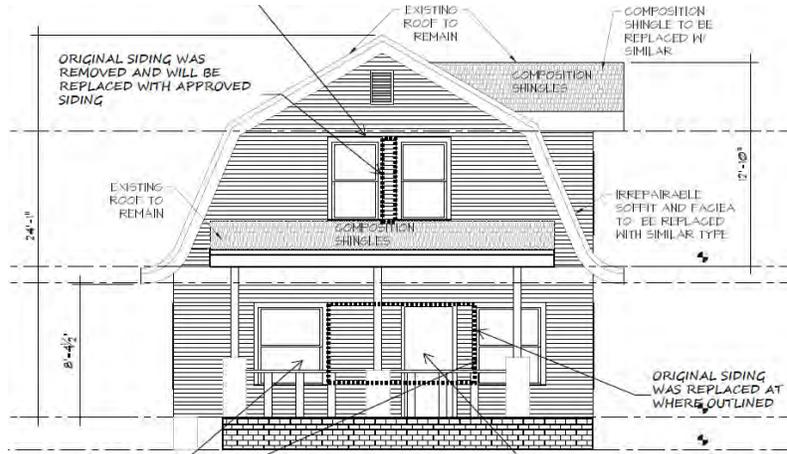


CURRENT PHOTO

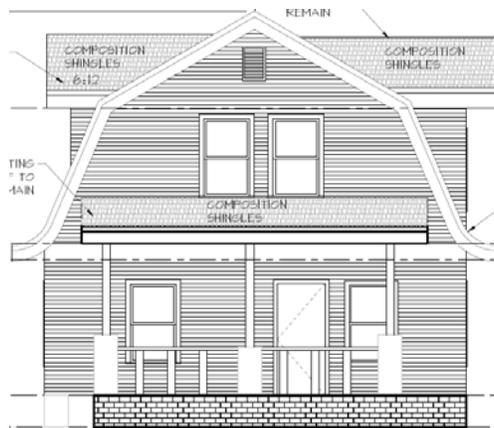


WEST ELEVATION – FRONT FACING TULANE STREET

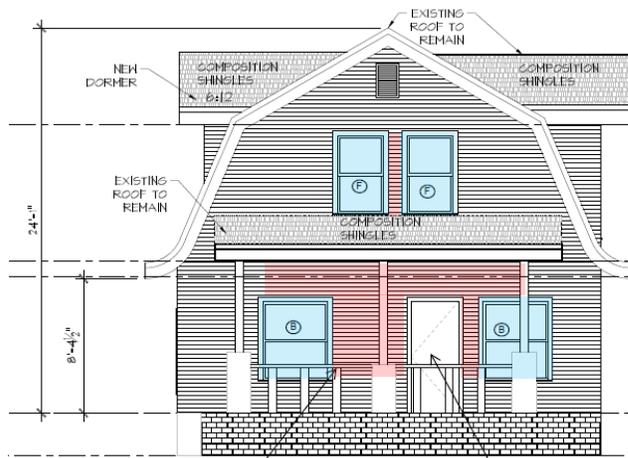
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APPROVED – 1/29/15



PROPOSED

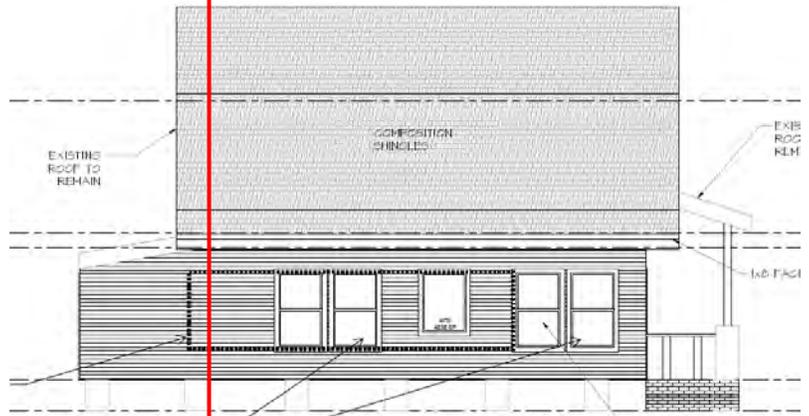


- Removed Siding
- Reinstall Original Windows
- Install Composite Replacements
- Vinyl Windows

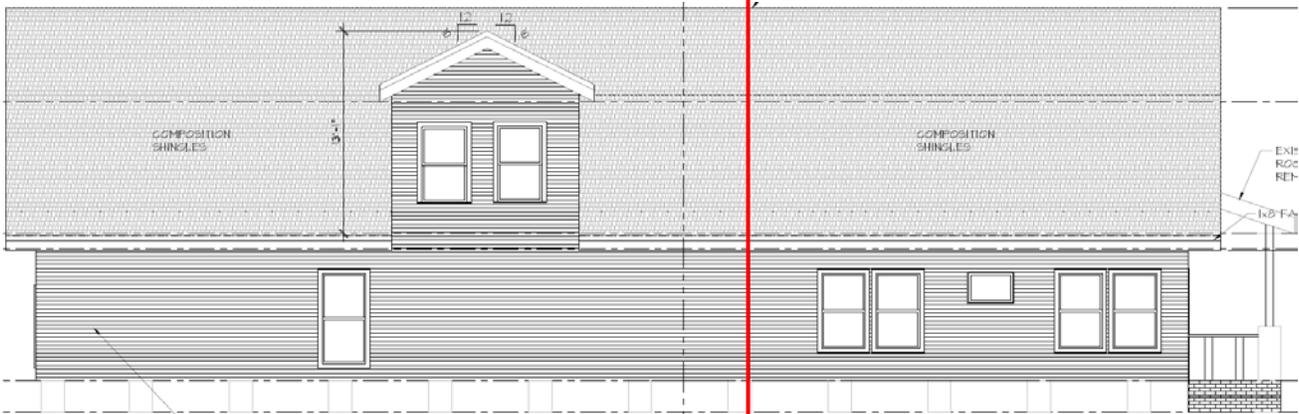
**NORTH SIDE ELEVATION**

EXISTING

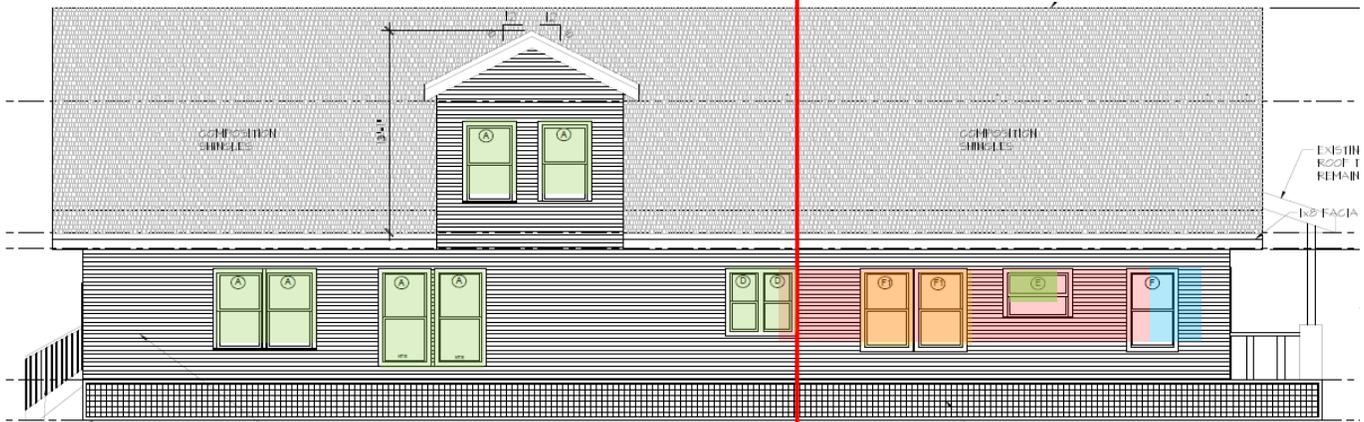
- Removed Siding
- Reinstall Original Windows
- Install Composite Replacements
- Vinyl Windows



APPROVED – 1/29/15



PROPOSED



**SOUTH SIDE ELEVATION**

EXISTING

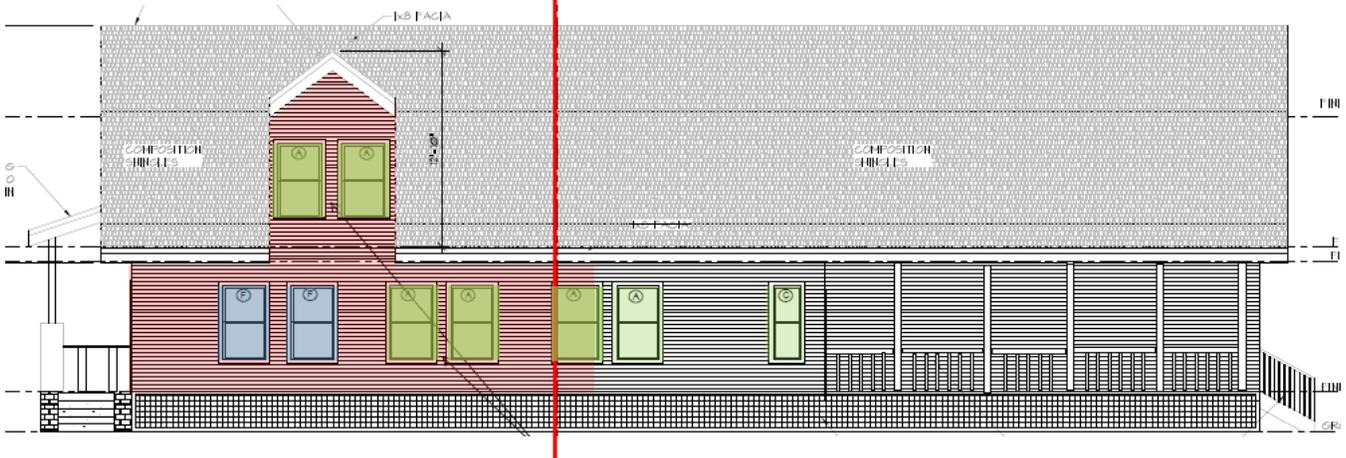


- Removed Siding
- Reinstall Original Windows
- Install Composite Replacements
- Vinyl Windows

APPROVED – 1/29/15

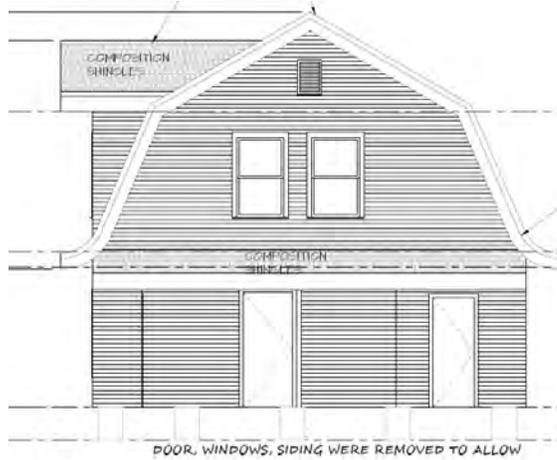


PROPOSED



**EAST (REAR) ELEVATION**

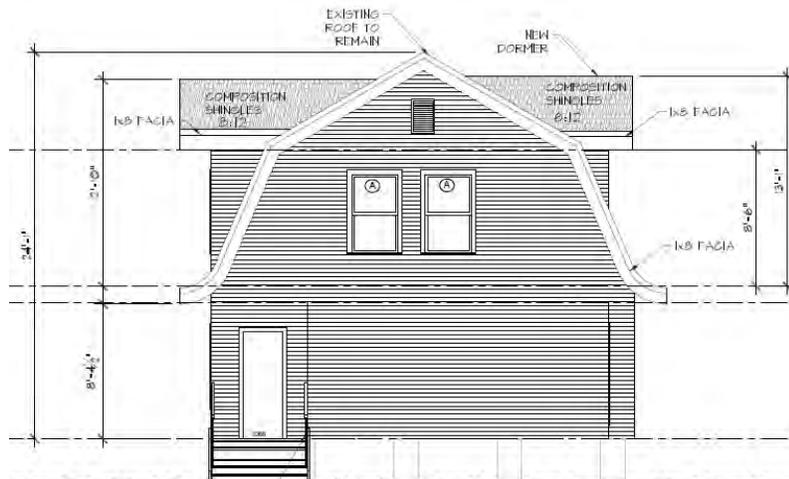
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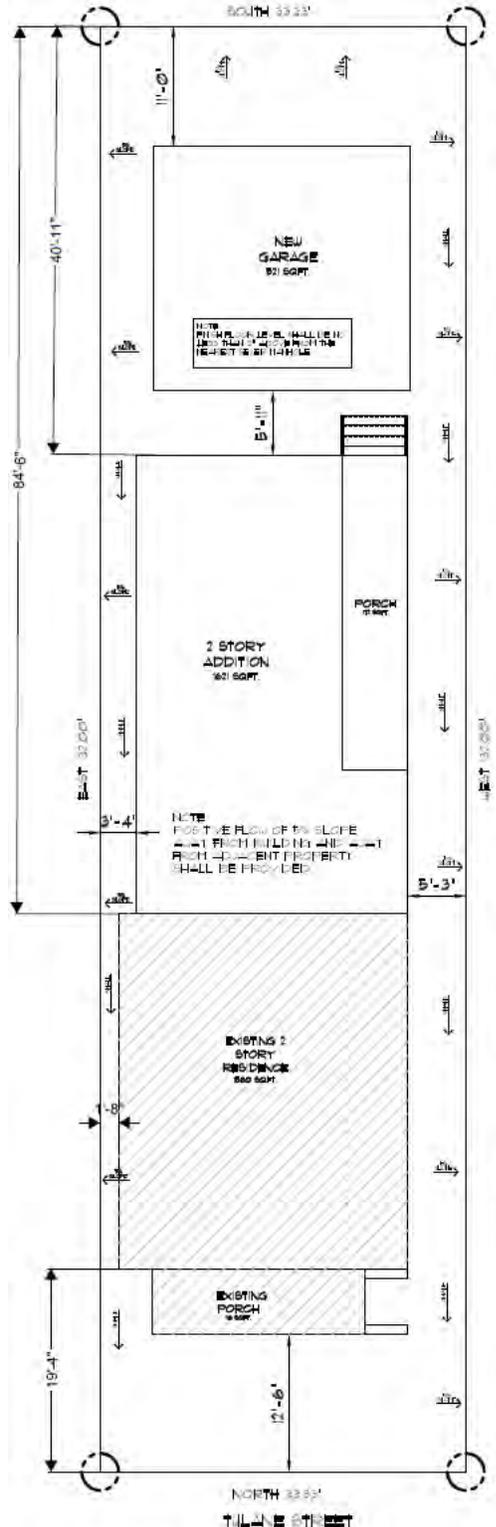
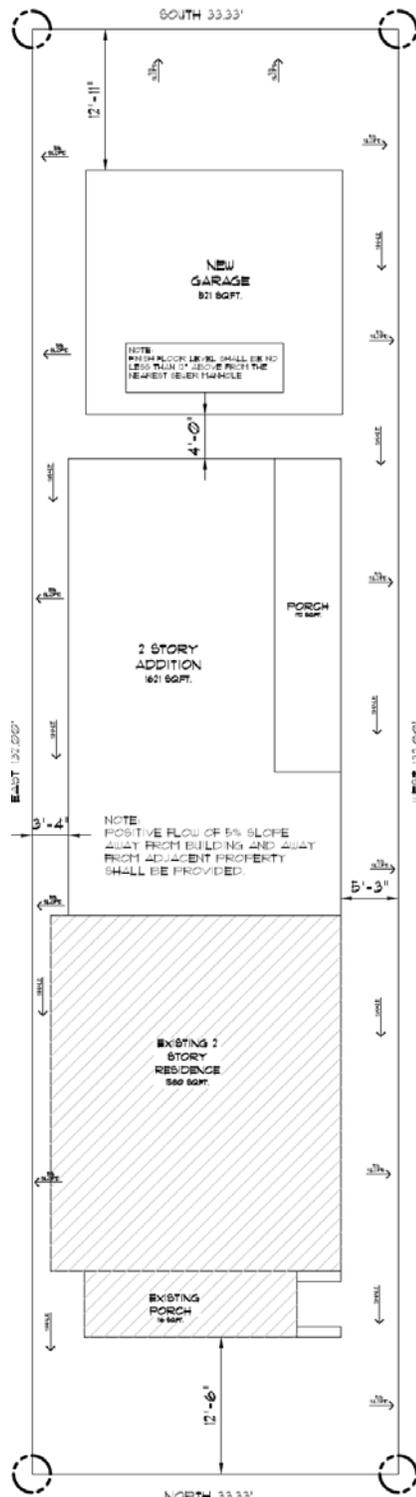
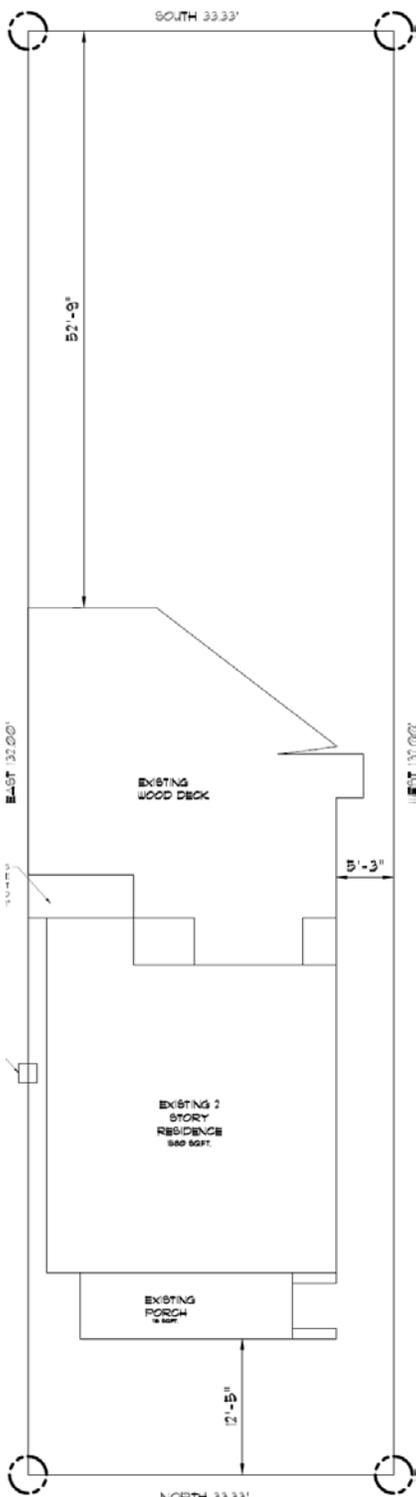
**APPROVED – 1/29/15**



**PROPOSED**

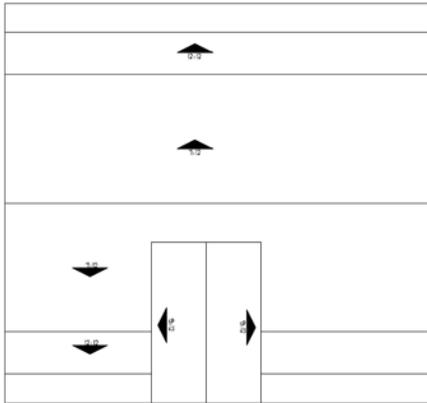


SITE PLAN

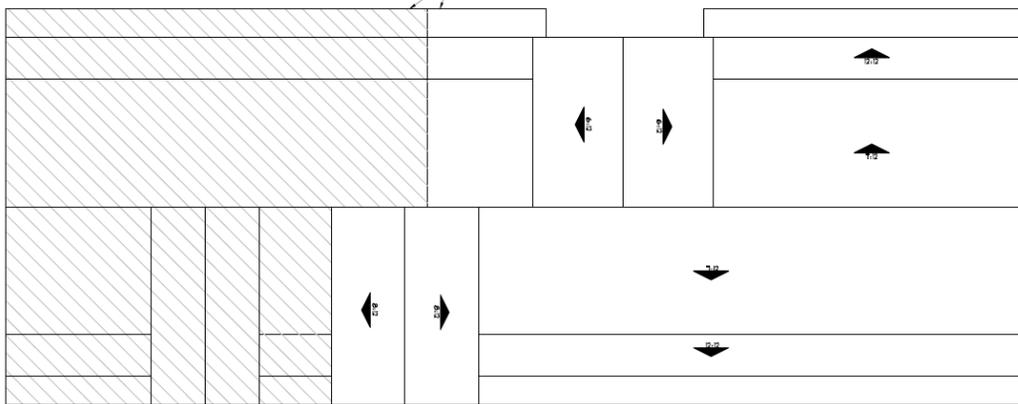




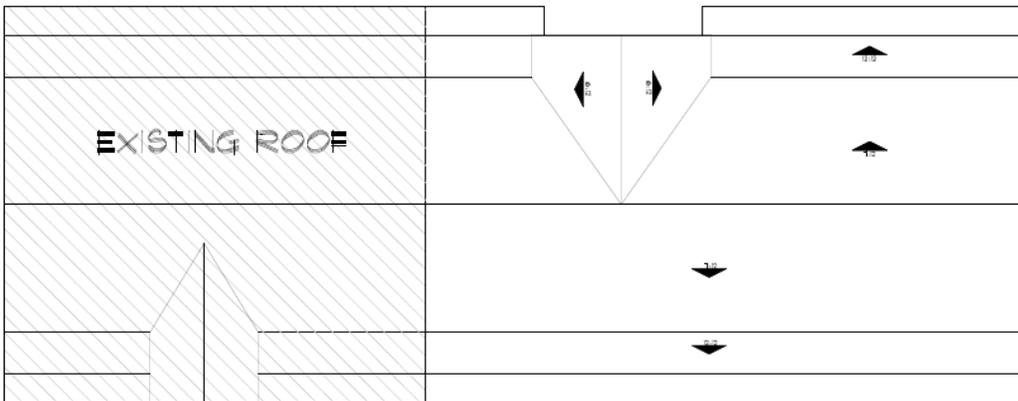
**ROOF PLAN**  
EXISTING



APPROVED – 1/29/15

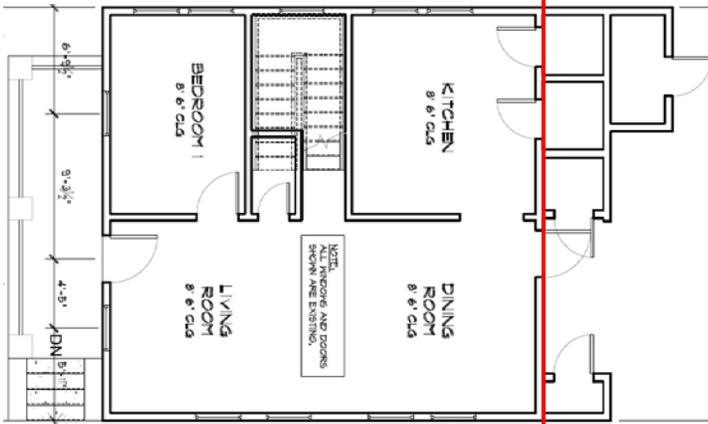


**PROPOSED**

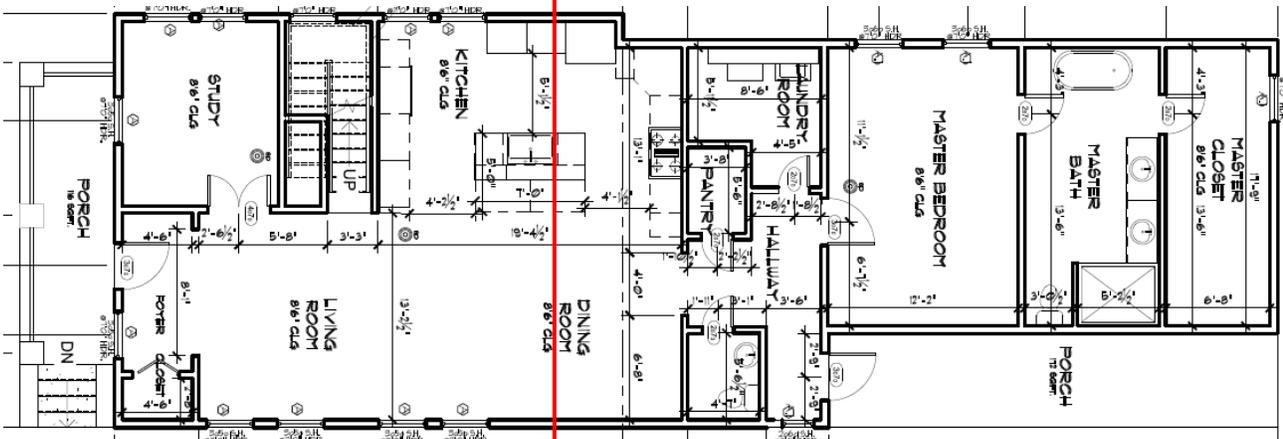


FIRST FLOOR PLAN

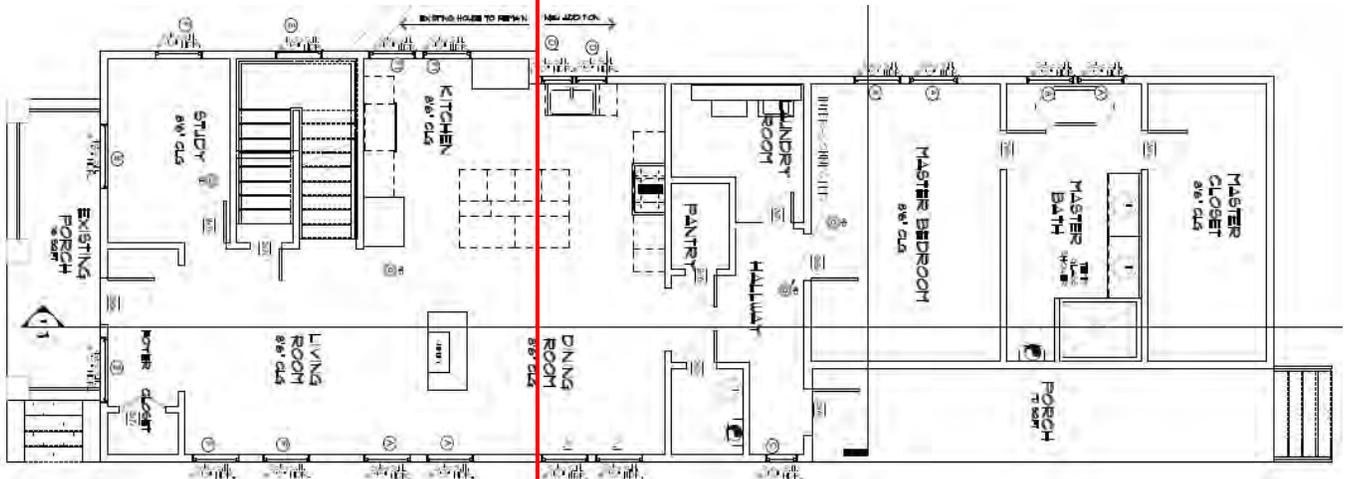
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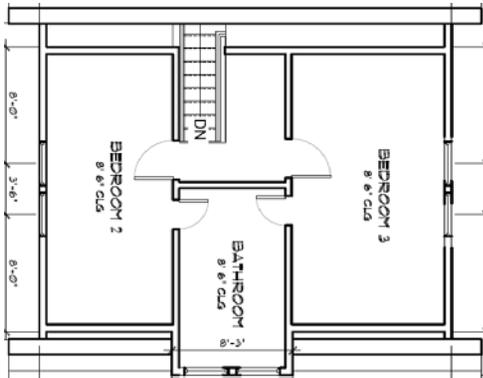


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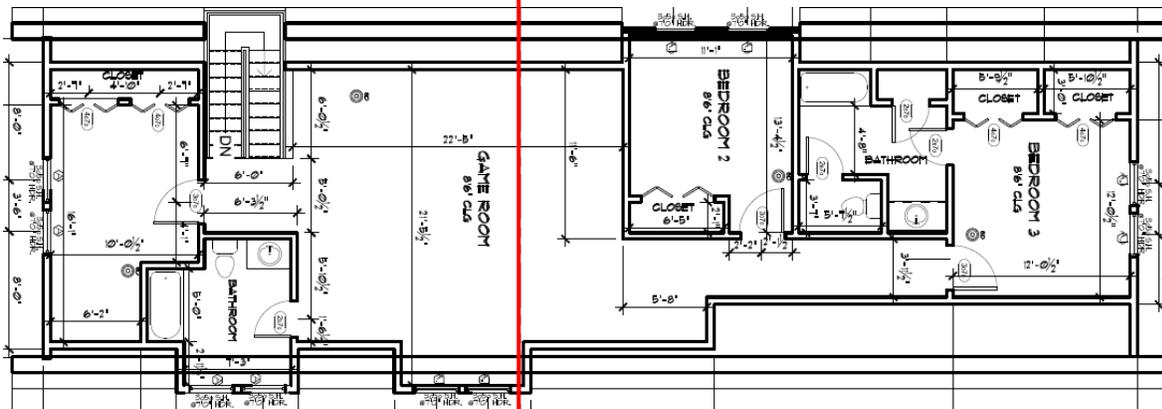


SECOND FLOOR PLAN

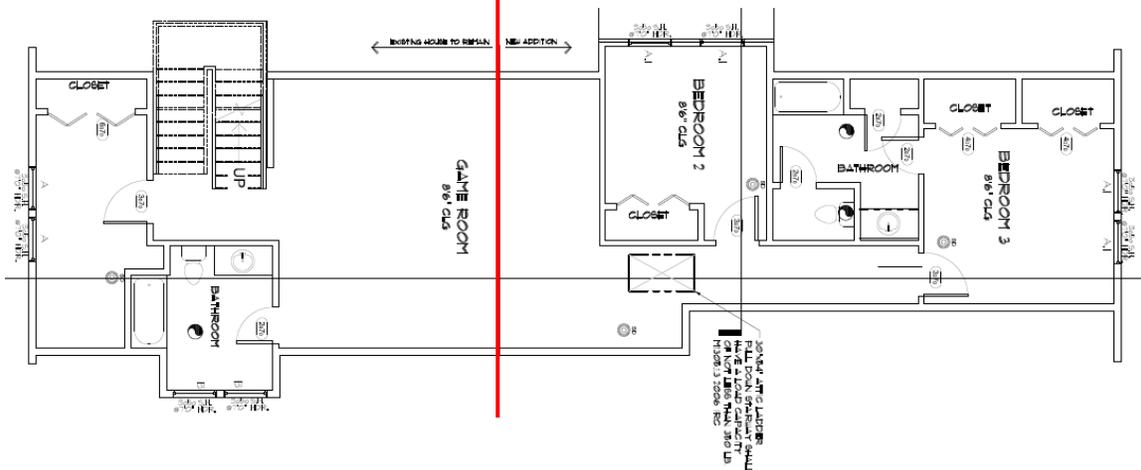
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APPROVED - 1/29/15



PROPOSED



WINDOW SCHEDULE

WINDOW SCHEDULE				
TYPE	SIZE (RO)	FRAME		GLAZING TYPE
		MAT	FIN	
A	3' 0" x 5' 0"	Vinyl	White	DBL Pane E
B	3' 6" x 5' 0"	Wood	White	DbI Pane Original
C	2' 0 x 5' 0"	Vinyl	White	DBL Pane
D	2' 0 x 4' 0"	Vinyl	White	DBL Pane
E	4' 0" x 3' 0"	Wood	White	DBL Pane- Tempered
F	3' 0" x 5' 0"	Composite	White	*DbI Pane Original Sashes or Approved Replacement

\*F1 Window to be approved Replacement

NOTE:

- 1 EXISTING WINDOWS SHALL BE REPAIRED UNLESS MISSING OR DAMAGE IS IRREPAIRABLE. IF DAMAGE ON WINDOWS ARE IRREPAIRABLE, IT SHALL BE REPLACED W/ APPROVED WINDOW MANUFACTURED BY GULF COAST WINDOWS (SAME SIZE WINDOW)
- 2 ALL EXTERIOR TRIM, WITH THE EXCEPTION OF THE FRONT PORCH TRIM, WAS REMOVED AND WILL BE REPLACED WITH SAME DESIGN TYPE USING WOOD MATERIAL. PORCH TRIM IS TO BE REPAIRED.

**EXISTING WINDOWS / OPENINGS**



**EXISTING WINDOWS / OPENINGS**



**REPLACEMENT WINDOW DETAIL**  
(ORIGINAL STRUCTURE)

**Gulf Coast Windows**

**Pocket Replacement Window**

**Vantage**

**Adding elegant beauty and energy efficiency without the maintenance that comes with wood**

The Vantage® Series windows from Gulf Coast Windows® brings you elegant beauty and energy efficiency in your home without the maintenance that comes with wood.

The new Vantage Series pocket window is the perfect solution for replacement windows with its 3-1/4" frame width. It is designed for installation into the pocket of an existing window frame opening with minimal disruption to interior trim or existing casing. The pocket-style frame allows homeowners to upgrade the performance of their old windows without sacrificing the aesthetics and architecture of their original windows and trim work.

**Features and Benefits**

- ▶ **Styles include** double hung tilt, casement, fixed casement, awning and direct set picture window
- ▶ **Custom sizing** to the nearest 1/8 inch increment for a perfect fit
- ▶ **3-1/4 inch frame** width is ideal for replacement applications designed to fit into existing window frame openings
- ▶ **Equal life sash** on the double hung creates appealing sight lines and tilt in for easy cleaning
- ▶ **Sloped sill** design in the double hung offers an excellent fit, replicating the original appearance of the home's old window
- ▶ **Color matched hardware** comes standard or choose optional plated hardware in four popular finishes
- ▶ **Multiple grid options** include flat, sculptured and simulated divided lite (SDL) profiles that can add architectural interest to your home
- ▶ **CôzE™ performance glass** protects your home from temperature extremes. Select from CôzE (standard), CôzE Tint and CôzE HV
- ▶ **Dual-pane or triple-pane** IG units with argon gas fill option provides increased energy efficiency for your home

**Energy Efficiency**  
New triple-pane glazing option provides maximum thermal performance with U-values as low as 0.18

**Available Colors**

White   Almond   Taupe   Bronze\*   Evergreen\*   Autumn Red\*   Ponderosa Pine\*  
\*Pine interior only

## REPLACEMENT WINDOW DETAIL (ORIGINAL STRUCTURE)

Quality Construction. Superior Aesthetic Design.

**Frame Size**

Solid 4 9/16 inch frame provides strength and durability. (Extension for 6 9/16 inch jamb available)

**Lasting Color and Wood Veneer Options**

The smooth finish of the composite material takes on the look of finely painted millwork that won't peel, fade or chalk like paint. Choose from six charming colors. And, if you prefer the look of wood, a pine veneer interior is also available that can easily be stained or painted to meet your décor needs

**Hardware**

Color matching hardware is used for our interior finishes and complementary hardware can be selected for pine interior options.

**The Best in Glass Options**

From mild climates to demanding weather conditions, we have the glass options to meet your needs with our CozE line of performance glass options.

**Resin Composite**

The composite material used in Renaissance windows is a mix of thermoplastic resins and manufactured to look as good as wood without the maintenance—all encapsulated with our SuperCapSR® technology.



**SuperCapSR Finish**

Encapsulated with an acrylic-based capstock, the composite material won't peel, fade or warp, resists scratching and can be easily cleaned with just soap and water.

**Warm Edge Technology**

7/8 inch or optional 1 inch warm edge spacer system in dual- or triple-pane IG units, reduces condensation and provides energy efficiency.

**Wood Joinery Techniques**

Wood joinery techniques can be found in all Renaissance Series windows, providing attractive tongue and groove frame corners and mortise and tenon sash corners for superior structural strength.

**Custom Sizing**

All Renaissance Series windows can be custom-sized to the nearest 1/8 inch increment to fit any architectural style and meet your customized window replacement needs.

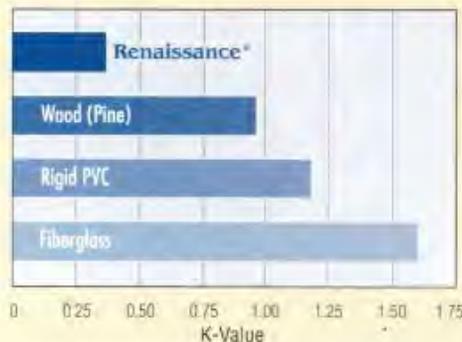
**Muntins/Grids**

Choose from several muntins/grid styles and patterns to customize the look of your home with grids between the glass or surface-applied, simulated divided lite grids.

### The Ultimate in Energy-Efficiency and High-Technology Glass.

**Superior Thermal Performance of the Composite Frame**

Much of the heat a home loses can be through the frame of the windows, not just the glass. Renaissance composite windows, made of a solid composite material, perform even better than the already efficient vinyl and wood windows when it comes to K-Values, or the amount of heat going in and out of a home through the frame. The lower the K-Value, the less heat is transferred, and the Renaissance composite outperforms the other more commonly used frame materials, making your home even more energy efficient.



\*Source: Mirror Industries (NFRC accredited lab)

**Warm Edge Spacer**

Warm edge technology uses state-of-the-art materials to eliminate contact between inside and outside window components. This advanced insulation technique increases overall thermal efficiency and decreases condensation.

**Safety Glass Capability**

Because we're one of the few manufacturers with our own on-site tempering furnace, we can maintain our own high quality control standards for our safety glass, as well as avoid unnecessary delays. It all adds up to better safety glass, quicker delivery and higher customer satisfaction.

REPLACEMENT WINDOW DETAIL

(ADDITION)



1500 Single Hung Windows

When you build a lot of homes, you expect a lot from your windows. Quality. Performance. Value. A company you can count on. Our new 1500 vinyl windows offer all that and more, including a full range of options to meet your every need.

Frame Options



Brickmould

Beveled

Flat

Window Anatomy



1500 VINYL COLLECTION

Upgrade your view

- High performance in a builder's window
- Traditional or contemporary frame design
- SDL or GBG grilles
- Sizes to meet your need
- Egress Size: 3050SH, 4040SL
- Limited Lifetime Warranty

Color options \*New exterior colors are on brickmould and flat casing only



Grille types \*Also available with no grille



Glass options Compare U-Values ratings

Visit [1500vinylcollection.com](http://1500vinylcollection.com) for more detailed information

Low-E	U-Value	SHGC
3/4" Low-E	.35	SHGC .29
One film of Low-E		
3/4" Low-E <sup>HC</sup>	.35	SHGC .22
One film of solar coating Low-E		
3/4" Low-E2+	.30	SHGC .28
One film of Low-E and one film of thermal Surface Low-E		
Low-E with Argon	U-Value	SHGC
3/4" HP	.32	SHGC .28
One film of Low-E with argon		
3/4" HP1C	.32	SHGC .22
One film of solar coating Low-E with argon		
3/4" HP2+	.28	SHGC .28
One film of Low-E and one film of thermal Surface Low-E with argon		
Triple-Glazed	U-Value	SHGC
3/4" HP2 <sub>max</sub>	.25	SHGC .25
Two films of Low-E with two chambers of argon		
3/4" HP3 <sub>max</sub>	.23	SHGC .22
Two films of Low-E, two chambers of argon, and film of thermal Surface Low-E		
1" HP3 <sub>max</sub>	.22	SHGC .22
Two films of Low-E, two chambers of argon, and film of thermal Surface Low-E		

U-Value and SHGC are calculated on standard insulated glass units with 200 g/m² film. See page 2.

WINDOW SCHEDULE

(ADDITION)



WindowSpecs

FRAME

3 1/2" dual wall brickmould frame depth  
2 1/4" beveled frame depth  
1 1/4" integral nail fin set back  
Optional 1/2" flush flange for block installs  
Optional 3 1/2" flat casing  
Optional double utility trim simplifies siding installation  
Custom and traditional sizing to meet your needs  
Integral J-pocket simplifies siding installations  
Interior/exterior accessory grooves  
Sloped sill for water management  
Screen clip PP#: 61738783  
Mixed operating and fixed integral mulls PP#: 61820033

SASH

Interior glazed top glass  
Exterior glazed bottom glass  
Interlocking sash with dual pile weatherstripping  
Inverted block & tackle or constant force coil balances  
Recessed tilt-latch locks under load PP#: 61746222  
Dual lift rails for easy operation  
Easy to remove meeting rail PP#: 61746220  
Half screens (shipped separately or installed)

GLASS

Double: Low-E, Low-E<sup>+</sup>, Low-E2<sup>+</sup>, Low-E2<sup>+</sup>, HP, HP<sup>+</sup>, HP2<sup>+</sup>, HP2<sup>+</sup><sup>+</sup>  
Triple: HP2<sup>MAX</sup>, HP2<sup>MAX</sup><sup>+</sup>, HP3<sup>MAX</sup>, HP3<sup>MAX</sup><sup>+</sup>  
Optional Warm Edge+ spacers  
Configurable STC values up to 33  
Impact, tempered, obscure and rain options  
EZ Clean option

GRILLES

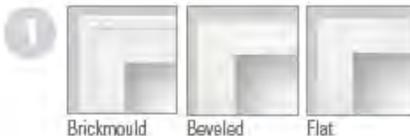
GBG (Grilles Between Glass) 3/4", Flat, 1/4" or 1" Sculptured  
SDL (Simulated Divided Lite) 3/4" or 1 1/4" with Shadow Bar  
Colonial, Plaza, Prairie, Diamond, Gothic patterns available

LOCKS

Standard forced entry resistant cam lock  
Self-latching forced entry resistant auto-lock option  
ADA forced entry resistant auto-lock option

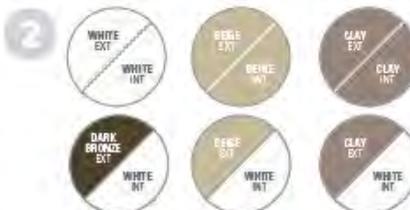
PERFORMANCE CERTIFICATIONS

- FLORIDA APPROVED FL16103  
For a list of Ply Gem's Florida approved products visit [floridabuilding.org](http://floridabuilding.org).
- CANADIAN STANDARDS ASSOCIATION CERTIFIED
- TEXAS DEPARTMENT OF INSURANCE  
WIN1769 non-impact, WIN1771 impact



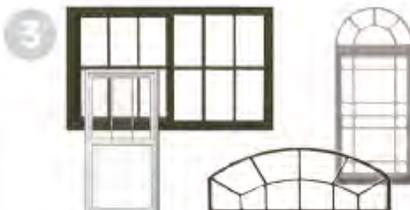
Select a frame profile

We offer different profiles to complement different architectural styles.



Select colors

We provide several color options to suit your home's unique style.  
*(New exterior colors are on brickmould and flat casing only and are not available on beveled.)*



Add character with grilles and shapes.

Choose from a variety of distinctive looks.



Multiply the effect.

Combine fixed and operating windows to make a dramatic statement.

Enjoy the view.



For more information, call 888-9PLYGEM.



SIDING WINDOWS DOORS STONE TRIM ROOFING FENCE RAILING



### COMPLIANCE DOCUMENTATION

(552) Correspondence Detail Entry Maintenance: 15035324 (OCC) 311 COMPLAINT: CONSTRUCTION /SCOPE

Additional Functions Toggle Display Enable File Upload Mode

**Address**

No.	Fraction	Direct	Street Name	Street Type	Unit	Zip Code
1212			TULANE	STREET		77008 0000

**Address Search**

**Project No.** 15035324 (OCC) 311 COMPLAINT: CONSTRUCTION /SCOPE

**Document #** 00221515 Recorded 278 04/03/2015 08:25:40 Date 04/03/2015

**Description**

Application # [ ] Log Number [ ? ]

**Retrieve & Display Document** 1212 Tulane St. 1st notice.pdf

Upload Complete **Update**  Web Access  Supervisor Only

ENTRY-...	Document-...	Document...	Description	File-Reference
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0002	00224929	04/16/2015		1212 Tulane St 2nd notice.pdf
0003	00230008	05/08/2015		1212 Tulane St. 3rd notice.pdf

**Refresh**



PHOTOS

PHOTOS FROM PREVIOUS COA



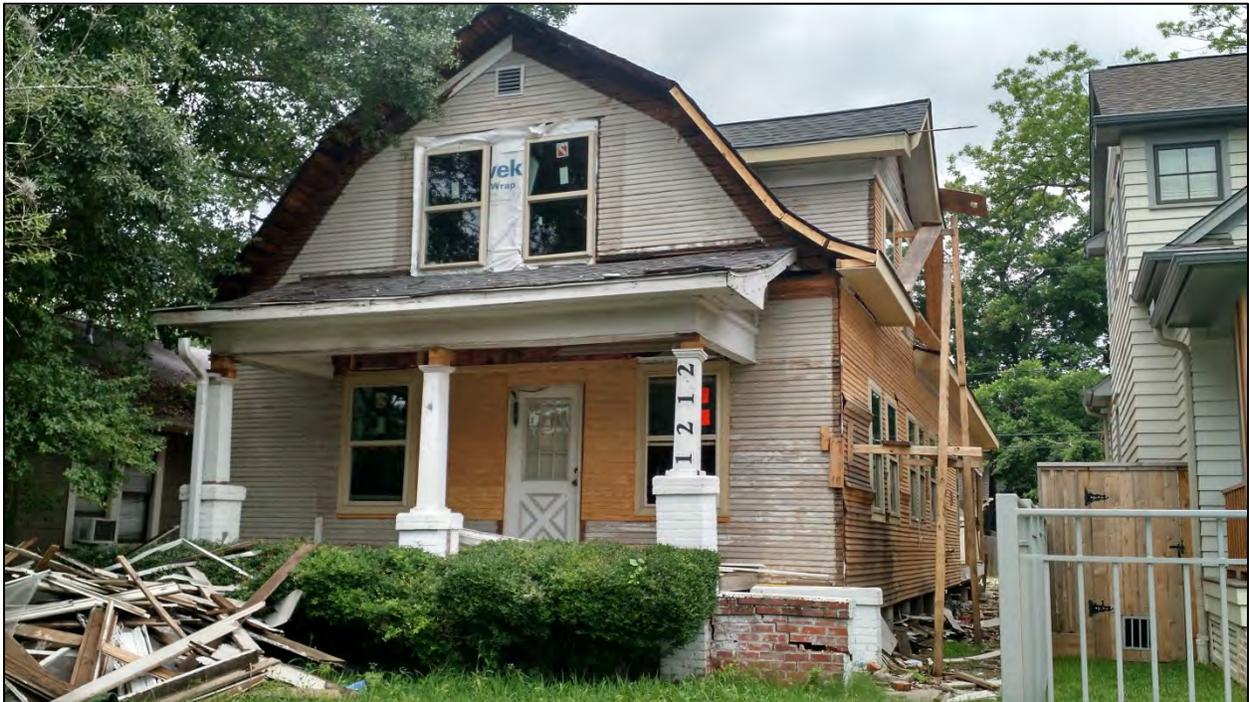
PHOTOS

CURRENT PHOTOS OF UNPERMITTED WORK



PHOTOS

CURRENT PHOTOS OF UNPERMITTED WORK



PHOTOS

CURRENT PHOTOS OF UNPERMITTED WORK



**PHOTOS**

**CURRENT PHOTOS OF UNPERMITTED WORK**



PHOTOS

CURRENT PHOTOS OF UNPERMITTED WORK



PHOTOS

CURRENT PHOTOS OF UNPERMITTED WORK



PHOTOS

CURRENT PHOTOS OF UNPERMITTED WORK



**PORCH PHOTOS**



APPLICANT PHOTOS



APPLICANT PHOTOS



TEL. (8



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**PROJECT DETAILS**

**Shape/Mass:** Prior to unpermitted work: The existing residence measures 26'-3" wide, 36'-5" deep, and 26'-1" to the ridge. The front porch has a depth of 6'-10".

Approved January 2015: The addition will begin 28'-0" back from the front wall at the original rear wall; a non-original addition measuring 8'-5" deep will be removed. The addition will measure 24'-3" wide, 46'-3½" deep, and 26'-1" to the ridge.

June 2015: As constructed, the addition begins 28'-0" back from the front wall at the original rear wall and extends 47'-3½" towards the rear. The addition will measure 24'-3" wide and 26'-1" to the ridge. This is an increase of 1' in additional depth. See drawings for more detail.

**Setbacks:** Prior to unpermitted work: The residence is setback 12'-5" from the front property line (front porch) 19'-4" (front wall), 1'-8" from the north property line; 5'-3" from the south property line; and 84'-6" from the rear property line.

Approved January 2015: The addition will be setback 47'-6" from the front property line; 3'-4" from the north property line; 5'-3" from the south property line; and 39'-3" from the rear property line.

June 2015: The original structure will retain its existing setbacks of 2'-5" from the front property line (front porch) 19'-4" (front wall); 1'-8" from the north property line; and 5'-3" from the south property line. The addition will be setback 47'-6" from the front property line; 3'-4" from the north property line; 5'-3" from the south property line; and 40'-11" from the rear property line. See drawings for more detail.

**Foundation:** Prior to unpermitted work: The residence is built on a pier and beam foundation with a 2'-0" foundation height.

Approved January 2015: The addition will be built on a pier and beam foundation with a 2'-0" foundation height to match existing.

June 2015: The existing house was raised 8" with the addition constructed to the same 2'-8" finished floor height. Due to the house being raised, there is a gap between the front porch columns and the porch roof, currently filled by wood blocking. The applicant proposes that the columns be reconstructed to properly support loads of porch and to fit within the expanded height. See photos for more detail.

**Windows/Doors:** Prior to unpermitted work: The residence features wood 1-over-1 sash windows, a single lite fixed window, and a single lite wood paneled entry door; the windows will be retained and repaired.

Approved January 2015: The addition will feature 1-over-1 sash windows and an entry door (to be located at the rear).

June 2015: All historic windows have been removed and replaced with flush mount vinyl windows. Additionally, all historic window openings have all been reframed, with the two front windows on the first story reduced in width by half a foot. On the north elevation, one window has been shifted 1'-7" to the east, one window has been eliminated, and the window located at the stairs has been altered. Altogether, 13 original wood windows were removed, along with two non-original aluminum windows. The applicant proposes to reinstall 7 of the original wood windows that have been found on site. The remaining original windows have been destroyed. For the balance of the existing window openings, five new composite windows are to be installed and one window will be eliminated. The two non-original windows will be replaced with vinyl windows. Seven additional windows have been installed in the addition. The addition will retain the vinyl windows already installed. The existing door will be retained and repaired. See drawings, window/door schedule, and photos for more detail.

**Exterior Materials:** Prior to unpermitted work: The residence is clad with wood 117 siding; the siding will be retained and repaired. The residence features a front porch with concrete steps, brick wing walls, and brick piers topped with square columns.

Approved January 2015: The addition will be clad with wood 117 siding to match the residence.

June 2015: All original siding has been removed on the south elevation along with sections of siding on the first and second stories of the front (west) elevation and sections of the north elevation. New replacement 117 wood siding has been installed. All historic trim has been removed and destroyed. Existing soffit and fascia has been damaged. Removed trim, soffit, and fascia will be replaced with new cementitious material to match the profile of the removed material. Wood lattice skirting will wrap the foundation. See drawings and photos for more detail.

**Roof:** Prior to unpermitted work: The residence features a gambrel roof with a 7:12 pitch and closed soffits and an eave height of 10'-4½". The porch has an eave height of 11'-6". Additionally, the roof features a gable dormer with a 9:12 pitch.

Approved January 2015: The addition will feature a gambrel roof with a 7:12 pitch and closed soffits with an eave height of 10'-4½" (to match existing). The addition will feature two gable dormers with 6:12 (north elevation) and 8:12 (south elevation) pitches.

June 2015: The addition features a gambrel roof with a 7:12 pitch and closed soffits with an eave height of 10'-4½" (to match existing). The porch has an eave height of 12'-2". The addition features a single gable dormer with a pitch of 6:12. The dormer on the south elevation was not constructed. See drawings and photos for more detail.

**Front Elevation:** Existing: The first story of the existing residence features an off center front entry door. A single large wide window is located to either side of the door. The second story is tucked into the front facing gambrel roof. A set of windows is centered in the gable. A side facing gabled dormer extends out to the south. The partial width front porch features three brick pier and topped by tapered columns which supports the shed roof of the porch. The porch is clad in brick skirting. The side profile of the porch steps are hidden behind a brick wing wall to the south.

**(West)**

Approved January 2015: The approved alterations on the front elevation include the addition of a side facing gabled dormer extending out to the south. All other existing exterior features were to remain.

June 2015: The applicant has exceeded the approved scope of work. Significant portions of the original siding have been removed and replaced, especially on the first story. All trim has been removed. All original windows have been removed and replaced with flange mounted vinyl windows. The two front windows were also reduced in width. The original portion of the house was raised 8" separating the porch roof from the columns (which are now topped by blocking). See drawings and photos for more detail.

**Side Elevation: (North)** Existing: The north elevation features the side profile of the front porch to the west. To the east is a pair of windows followed by a single smaller window and a second pair of windows. At the rear is a non-original addition that features no fenestration and is topped by a shed roof. The large gambrel roof envelopes the second story.

Approved January 2015: The proposed addition is to begin at the original rear wall of the existing structure and extend back towards the rear. The addition will be slightly inset. On the first story, a single window will be located towards the center of the addition. The second story will mostly be tucked into the roof. A gabled dormer will be constructed towards the center of the addition. A set of windows will be located in the dormer.

June 2015: The applicant has exceeded the approved scope of work. The original portion of the house was raised 8" separating the porch roof from the columns (which are now topped by blocking). Significant portions of the original siding have been removed and replaced. All original windows have been removed and replaced with flange mounted vinyl windows. The westernmost pair of windows has also been significantly altered. The western window of this pair has been shifted to the west while the eastern window has been removed altogether. The addition now has three pairs of windows, five more windows than originally approved. See drawings and photos for more detail.

**Side Elevation: (South)** Existing: The south elevation features the side profile of the front porch to the west with the entry steps. Four windows are located on the first story. At the rear is a non-original addition that features no fenestration and is topped by a shed roof. A centrally positioned gabled dormer penetrates the large gambrel roof.

Approved January 2015: The proposed addition is to begin at the original rear wall of the existing structure and extend back towards the rear. The addition will be flush with the existing wall, but is inset towards the rear. On the first story, a single centrally located window will be located towards the center of the addition. On the second story, a new gabled dormer will be constructed to the east of the existing dormer. A set of windows will be located in the dormer.

June 2015: The applicant has exceeded the approved scope of work. The original portion of the house was raised 8" separating the porch roof from the columns (which are now topped by blocking). All original siding has been removed and replaced. All original windows have been removed and replaced with flange mounted vinyl windows. The addition now includes two more windows than originally approved. The rear inset portion is now a porch with five columns and a railing system. The proposed additional dormer was never constructed. See drawings and photos for more detail.

**Rear Elevation: (East)** The rear elevation of the residence and addition is not visible from the public Right-of-Way. See drawings for more detail.

**ATTACHMENT A**  
**PUBLIC COMMENT**

Agenda item #25 – 1212 Tulane

I support Staff recommendation of granting approval with all of the conditions stated. Otherwise, this application should be DENIED. I would recommend that the HAHC question the applicant regarding his reasoning for removal of all of the indicated historical material and raising the existing structure. On the surface, it seems that after having been granted a previous Certificate of Appropriateness, the conditions of the approval were essentially disregarded and the applicant proceeded with complete abandonment of the requirements. This kind of activity within an established historic district is exactly the type of “black eye” a district receives when left unchecked and the repercussions should be stiff, including the expense to lower the structure back down to its original height. If I had the ability, I would see that this Applicant would not be able to get any building permit in a historic district in Houston.

June 18, 2015 HAHC Meeting  
Houston Heights West Historic District  
Comments by J. Kent Marsh