

CERTIFICATE OF APPROPRIATENESS

Application Date: May 27, 2015

Applicant: Suzanne Labarthe, Rogers & Labarthe for Lowell Bezanis & Maria Gomez, owners

Property: 201 w 15TH Street, Tracts 10, 11, & 12, Block 142, Houston Heights Subdivision. The property includes a historic 4,606 square foot, two-story wood frame single-family residence and detached garage situated on a 13,200 square foot corner lot.

Significance: Contributing Queen Anne residence, constructed circa 1902, located in the Houston Heights Historic District West.

Proposal: Alteration – Construct a rear two-story addition to a two-story residence. The addition will infill the rear northwest corner and will measure 4’-6” wide, 15’-1” deep, and 23’-11” in height.

- Install three single lite windows, two casements and one fixed, in three existing window openings located in the gables.
- Relocate a ribbon of 3 existing non-original wood 1-over-1 sash windows on the east elevation 1’-9” to the north.
- Relocate a wood 1-over-1 sash window on the second floor of the rear elevation 1’-6” to the east.

See enclosed application materials and detailed project description on p. 6-22 for further details.

Public Comment: One in favor. See Attachment A, p. 23.

Civic Association: No comment received.

Recommendation: Approval

HAHC Action: Approved

All materials in exterior walls, including windows, siding, framing lumber, and interior shiplap must be retained except where removal or replacement has been explicitly approved by HAHC. Shiplap is an integral structural component of the exterior wall assembly in balloon framed structures and its removal can cause torqueing, twisting and collapse of exterior walls. Shiplap may be carefully shored and removed in small portions to insulate, run wire or plumbing, and should be replaced when the work is complete. Maintenance and minor in-kind repairs of exterior materials may be undertaken without HAHC approval, but if extensive damage of any exterior wall element is encountered during construction, contact staff before removing or replacing the materials. A revised COA may be required.

CERTIFICATE OF APPROPRIATENESS

Basis for Issuance: HAHC Approval

Effective: June 18, 2015



PLANNING & DEVELOPMENT DEPARTMENT

COA valid for one year from effective date. COA is in addition to any other permits or approvals required by municipal, state and federal law. Permit plans must be stamped by Planning & Development Department for COA compliance prior to submitting for building or sign permits. Any revisions to the approved project scope may require a new COA.

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241(a): HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark or protected landmark, (ii) any building, structure or object that is contributing to an historic district, or (iii) any building, structure or object that is part of an archaeological site, upon finding that the application satisfies the following criteria, as applicable:

- | S | D | NA | |
|-------------------------------------|--------------------------|-------------------------------------|---|
| | | | S - satisfies D - does not satisfy NA - not applicable |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (1) The proposed activity must retain and preserve the historical character of the property; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (2) The proposed activity must contribute to the continued availability of the property for a contemporary use; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale; |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | (7) The proposed replacement of missing exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural or cultural material and must be compatible with the size, scale, material and character of the property and the area in which it is located; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (10) The setback of any proposed construction or alteration must be compatible with existing setbacks along the blockface and facing blockface(s); |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (11) The proposed activity will comply with any applicable deed restrictions. |



PROPERTY LOCATION
HOUSTON HEIGHTS HISTORIC DISTRICT WEST

Building Classification

- Contributing
- Non-Contributing
- Park



201 W 15th St

INVENTORY PHOTO



NEIGHBORING PROPERTIES



205 W 15th Street – Contributing – 1920 (neighbor)



1502 Allston Street – Noncontributing – 1985 (blockface)



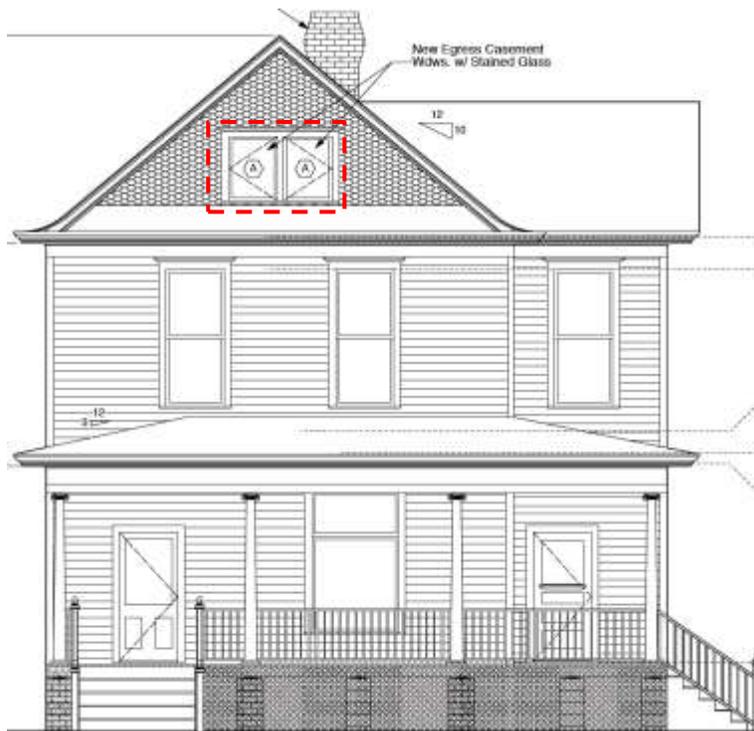
218 W 15th Street– Contributing – 1960 (across street)

SOUTH ELEVATION – FRONT FACING W 15th STREET

EXISTING



PROPOSED

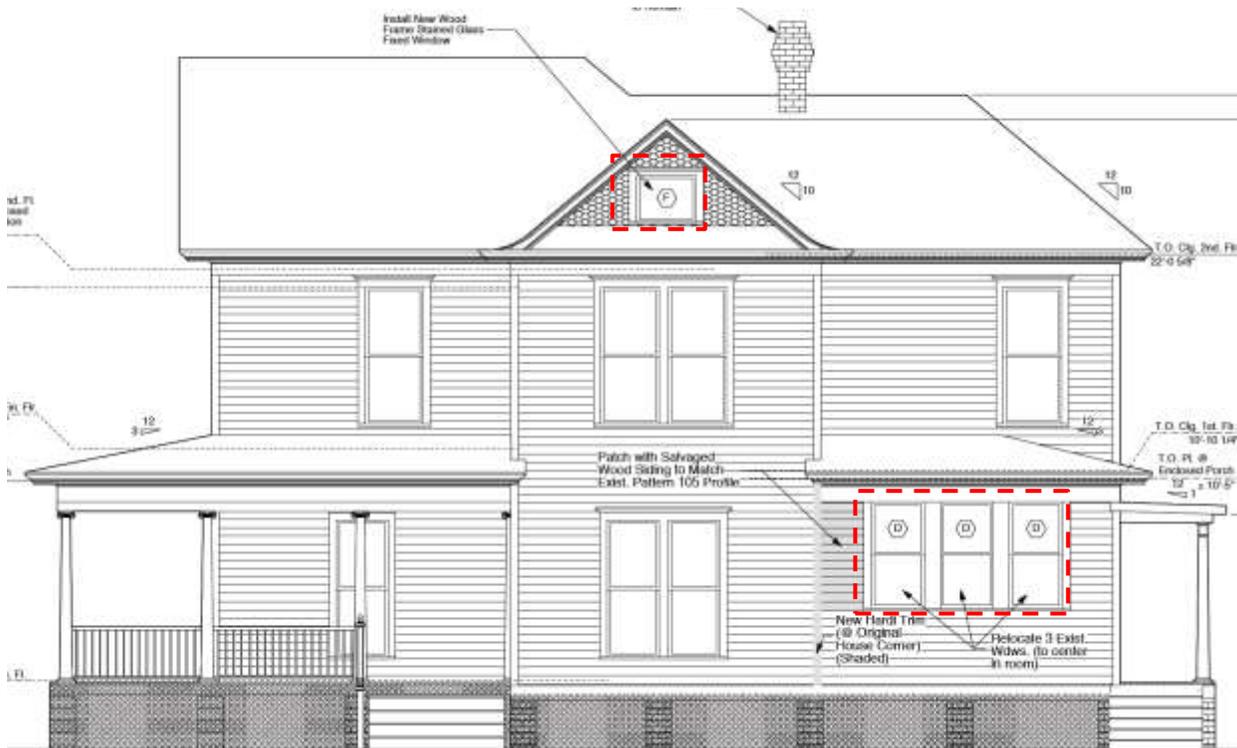


EAST SIDE ELEVATION FACING YALE STREET

EXISTING



PROPOSED

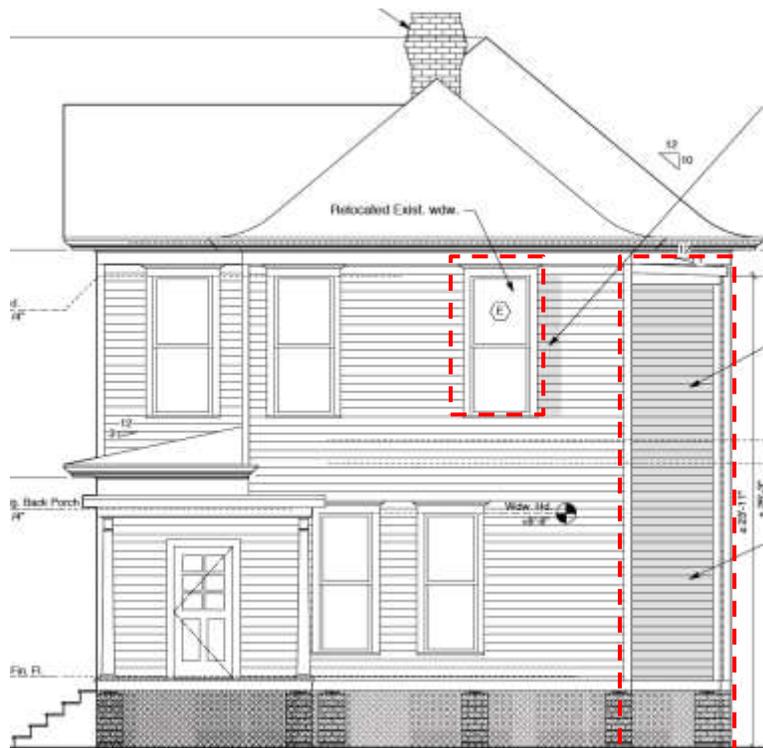


NORTH (REAR) ELEVATION

EXISTING



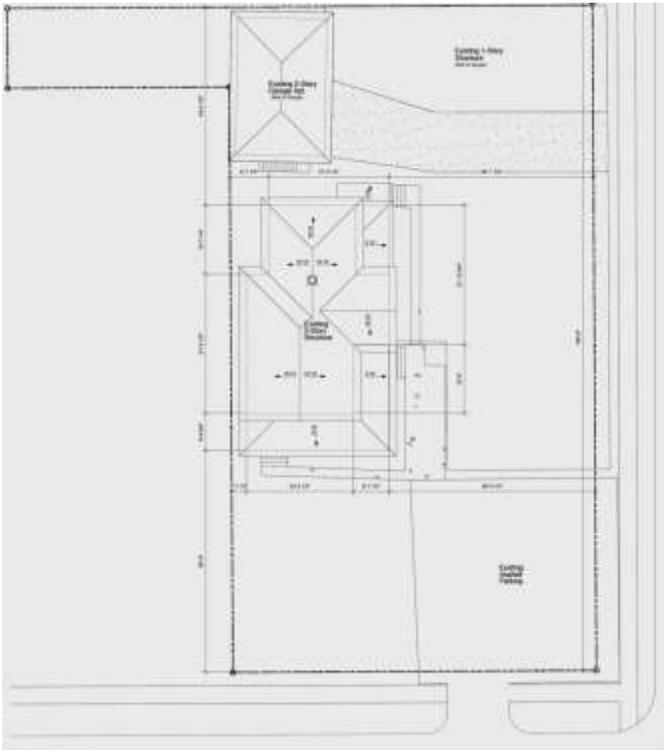
PROPOSED



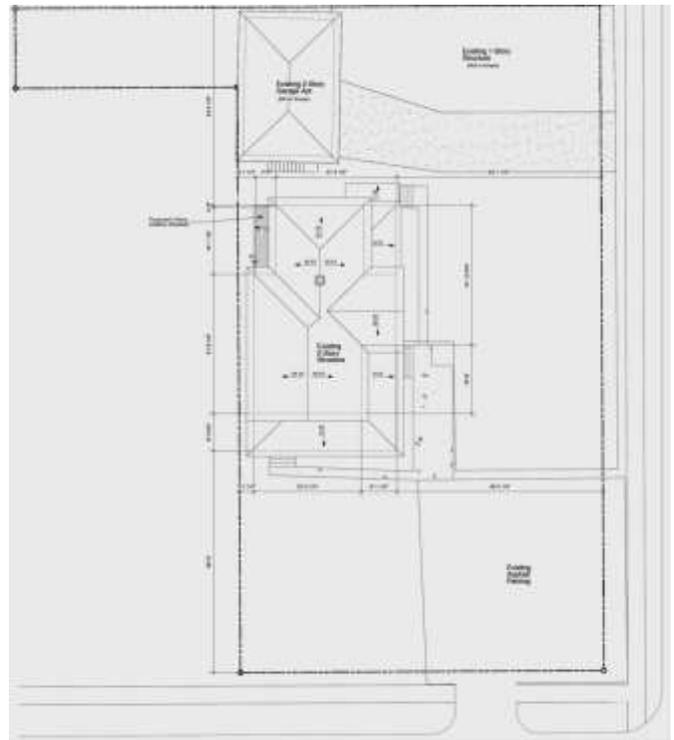


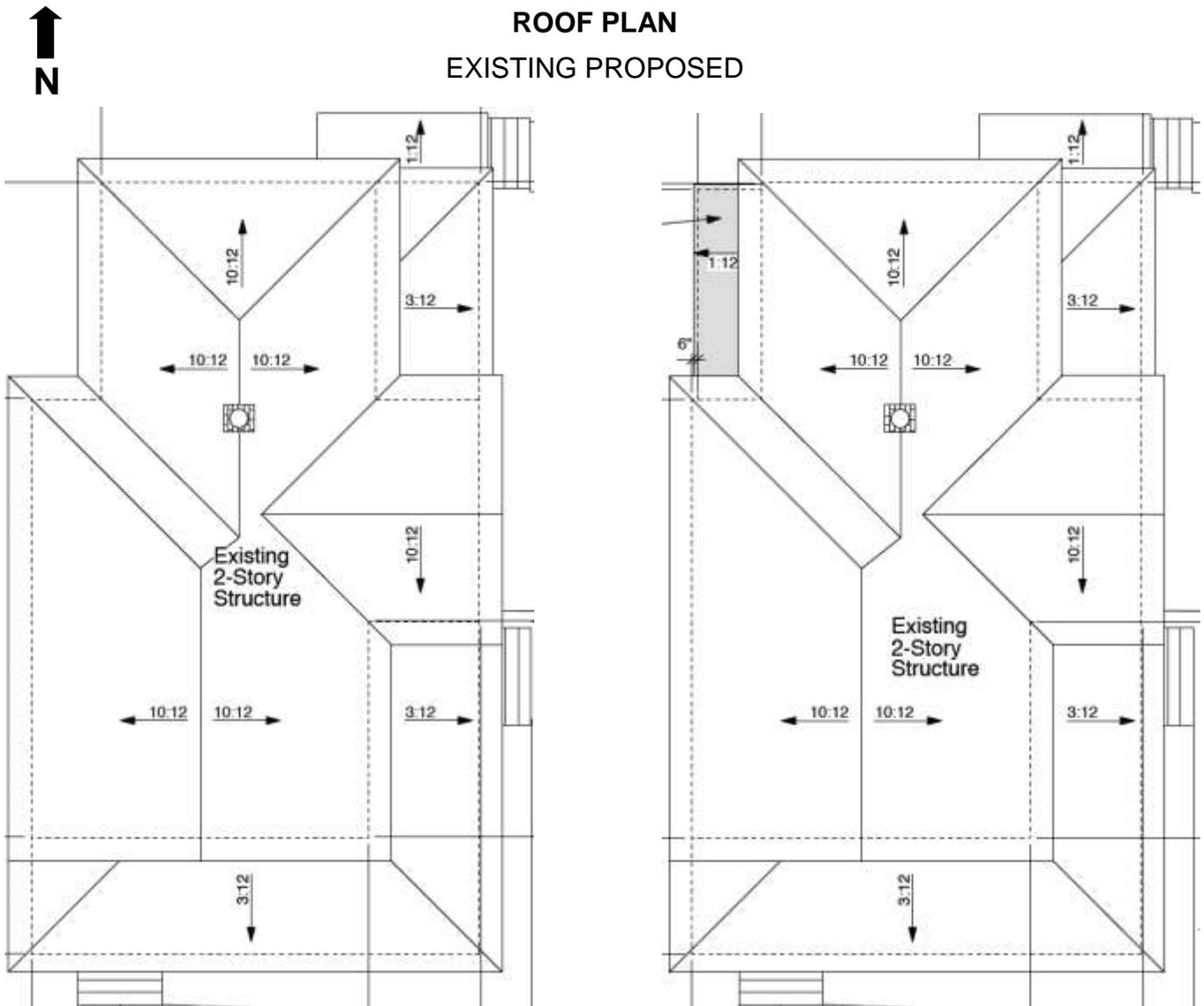
SITE PLAN

EXISTING



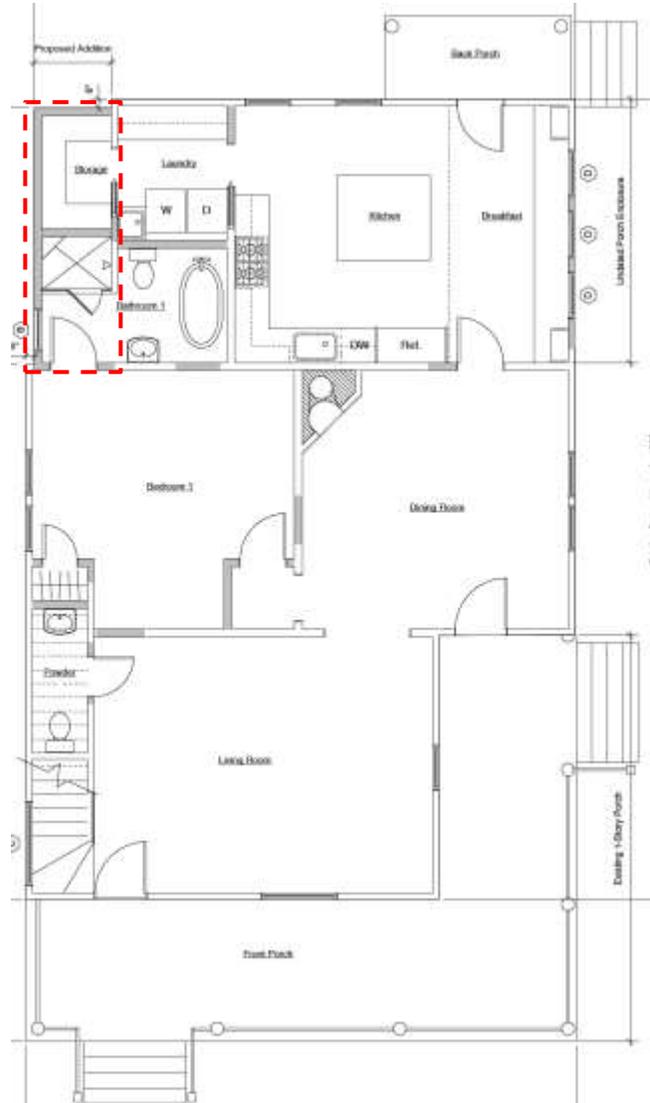
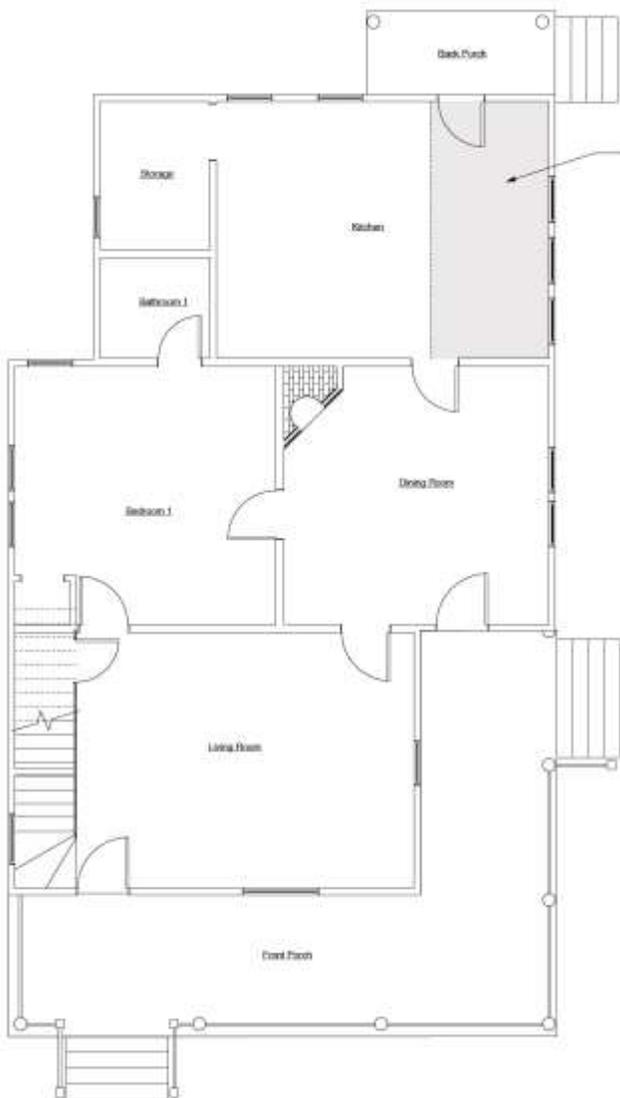
PROPOSED







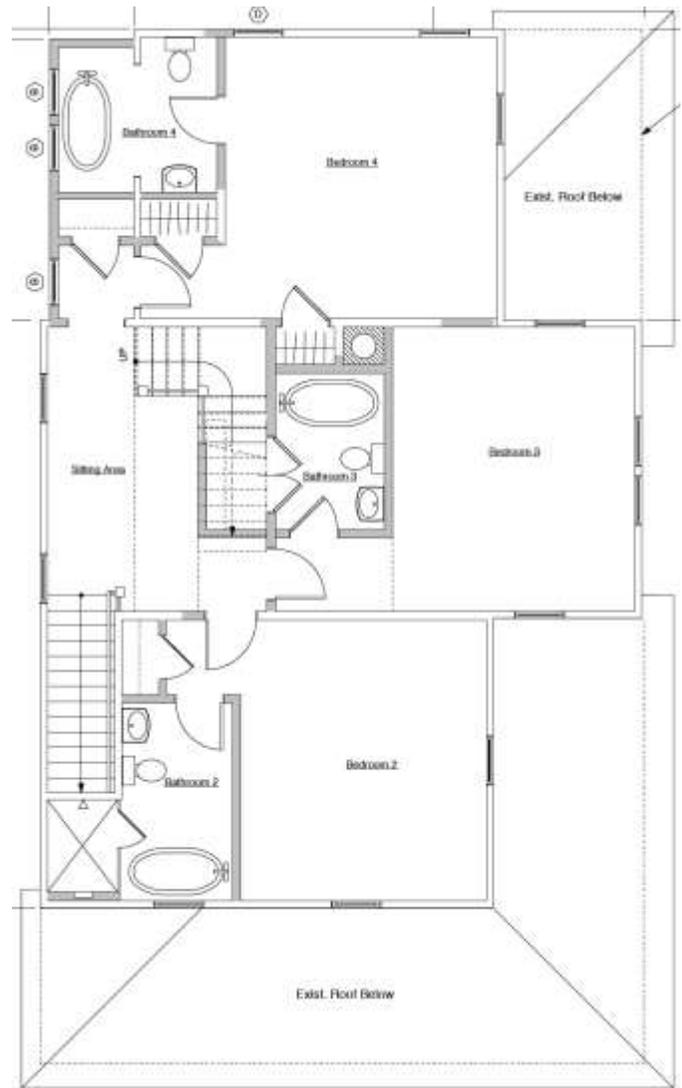
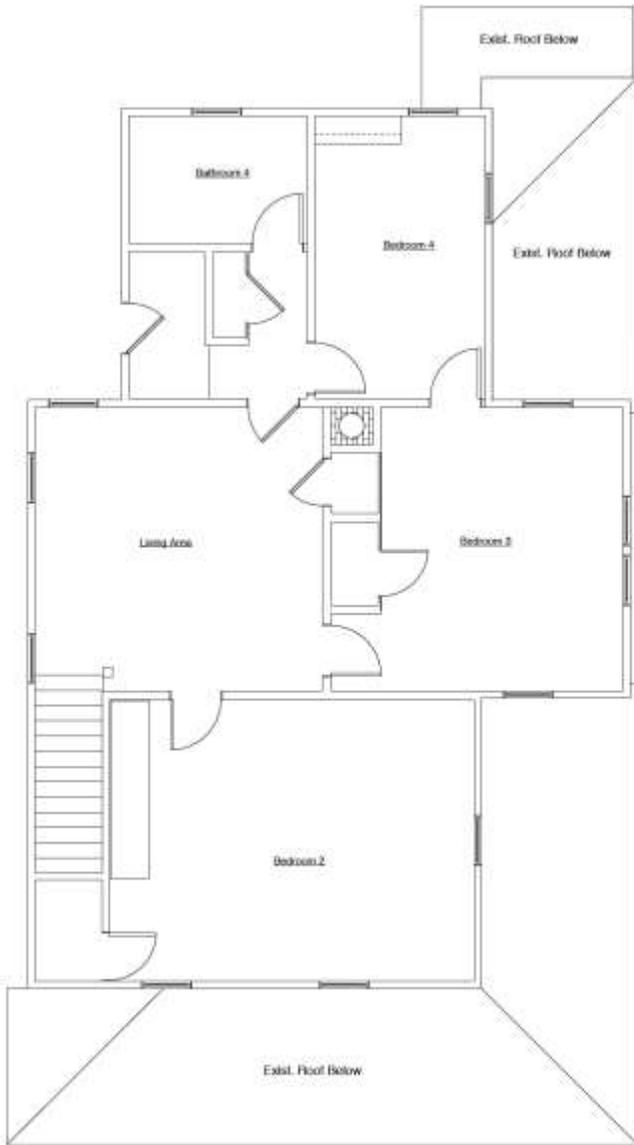
FIRST FLOOR PLAN
EXISTING PROPOSED





SECOND FLOOR PLAN

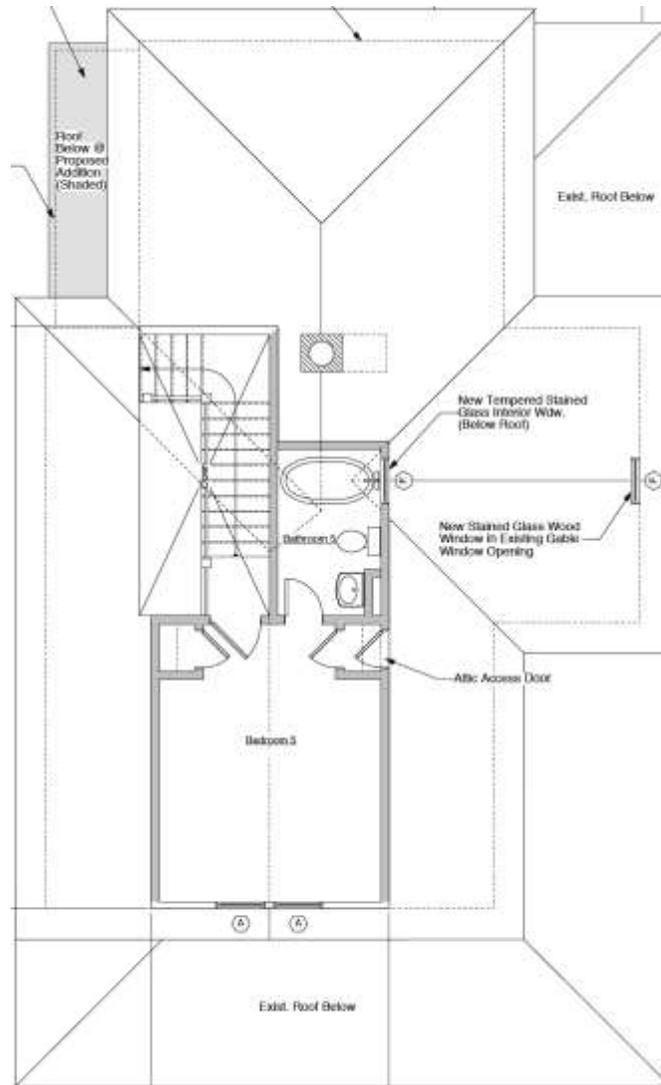
EXISTING PROPOSED





THIRD FLOOR PLAN

PROPOSED



WINDOW / DOOR SCHEDULE

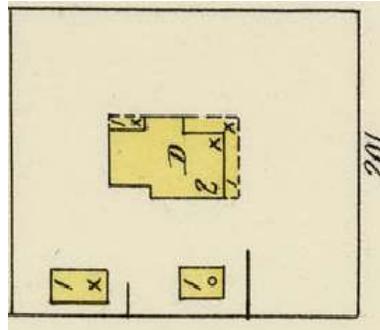
WINDOW SCHEDULE

Window Schedule							
Mark	Frame Size		Sash Operation	Window Data			Comments
	Width	Height		Mfr	Model No.	Series	
A	2'8"	2'4 1/2"	Custom	Jeld-wen		Stainless Wd. Push-out Casement	Open/ Open for Stained Glass Installation/ Include Window Controls.
A	2'8"	3'4 1/2"	Custom	Jeld-wen		Stainless Wd. Push-out Casement	Open/ Open for Stained Glass Installation/ Include Window Controls.
B	2'7"	2'8"	Double Hung	Jeld-wen	SWD 2144	Stainless Wd. Double Hung	
B	2'7"	2'8"	Double Hung	Jeld-wen	SWD 2144	Stainless Wd. Double Hung	
B	2'7"	2'8"	Double Hung	Jeld-wen	SWD 2144	Stainless Wd. Double Hung	Tempered Glass Window
B	2'7"	2'8"	Double Hung	Jeld-wen	SWD 2144	Stainless Wd. Double Hung	Tempered Glass Window
C	5'0"	3'0"	Custom	Jeld-wen		Stainless Wd. Custom Fixed Awning	Open for Stained Glass Installation (Tempered Glass Wdw.)
D	2'8"	5'0"	Double Hung	Existing			Remove and Relocate Existing Wdw.
D	2'8"	5'0"	Double Hung	Existing			Remove and Relocate Existing Wdw.
D	2'8"	5'0"	Double Hung	Existing			Remove and Relocate Existing Wdw.
F	3'1"	2'5"	Custom	Jeld-wen		Stainless Wd. Custom Fixed Awning	Open for Stained Glass Installation
G	2'8"	6'0"	Double Hung	Existing			Remove and Relocate Existing Wdw.

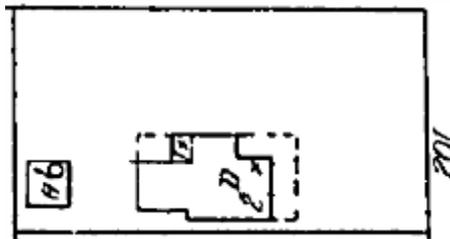
SANBORN FIRE INSURANCE MAPS



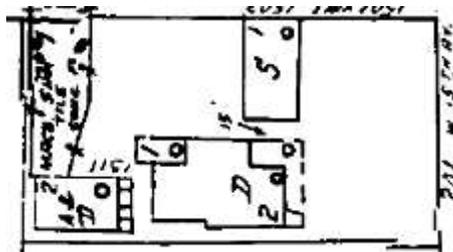
1917



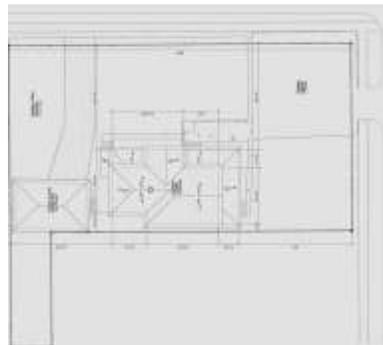
1924-1950



1924-1951



CURRENT SITE PLAN



PHOTOS SUBMITTED BY APPLICANT

SOUTHEAST CORNER



EAST ELEVATION



NORTHEAST CORNER



ACCESSORY STRUCTURE AND DETACHED GARAGE FACING YALE STREET



SOUTH (FRONT) ELEVATION



SOUTHWEST CORNER



NORTHEAST CORNER



NORTHWEST CORNER- PROPOSED AREA OF WORK



BRICK PIER AT NORTHWEST CORNER



PROJECT DETAILS

Shape/Mass: The residence measures 32'-3 ½" wide, 47'-4 ¾" deep, 25'-3" to the eave, and 36'-1" to the top ridge. The proposed 2-story addition will fill in the rear northwest corner. The addition will begin 31'-9 ½" back from the front wall and will measure 4'-6" wide, 15'-1¼' deep, and will have a height of 23'-11".

Setbacks: The residence is setback 50' from the front property line, 46'-0 ¼" from the side, east property line, 3'-7 ¼" from the side, west property line, and 44'-2 ½" from the rear property line. The addition will be setback 4'-1 ¼" from the side, west property line and 44'-8 ½" from the rear property line.

Foundation: The residence is built on a pier and beam foundation with a height of 3'-7". The rear addition will be constructed on a pier and beam foundation with a height of 3'-7".

Windows/Doors: The residence features original wood 1-over-1 sash windows, three non-original sash windows, a non-original single lite fixed window, two single lite wood paneled entry doors, and divided lite entry door. The original windows will be retained with the exception of three windows located on the northwest corner, which will be removed due to the two-story addition. The residence features three original window openings in the gable. The non-original single lite fixed window on the west elevation will be replaced with a single lite fixed tempered glass window. A ribbon of 3 non-original 1-over-1 sash windows, located on a porch that was enclosed, on the east elevation will be relocated 1'-9" to the north. A 1-over-1 sash window on the second floor of the rear elevation will be relocated 1'-6" to the east. The openings around the relocated windows will be infilled with salvaged 105 wood siding. Three single lite windows, two casements and one fixed will be installed in the three gable window openings. The addition will feature wood 1-over-1 sash windows.

Exterior Materials: The residence is clad with wood 105 horizontal lap siding. The existing wood 105 siding will be retained and repaired. The front and rear porch feature round wood columns and concrete steps. The front porch feature wood handrail and guardrails. All porch elements will be retained. The addition will be clad with smooth finish cementitious horizontal lap siding with a 5" reveal.

Roof: The residence features a cross gable on hip roof with a 10/12 pitch. The roof features flared eaves and is clad with composite shingles. The two-story addition will feature a 1/12 shed roof. The roof will be clad with composite shingles.

Front Elevation: Please see elevation drawings on pg. 6
(South)

Side Elevation: Please see elevation drawings on pg. 7
(East)

Side Elevation: Please see elevation drawings on pg. 8
(West)

Rear Elevation: Please see elevation drawings on pg. 9
(North)

ATTACHMENT A
PUBLIC COMMENT

June 18, 2015 HAHC Meeting
Houston Heights West Historic District
Comments by J. Kent Marsh

Agenda item #28 – 201 W 15th

I SUPPORT the granting of a Certificate of Appropriateness for this application with the understanding that the window relocation proposed on the east elevation is in an area that is not part of the original structure (an enclosed porch) and therefore, the existing window location is not historic. The proposed addition on the west elevation is acceptable as it is located at the rear of the existing structure, not visible from a street and is intended to solve a doorway to nowhere issue.

J. Kent Marsh, AICP CUD