

**CERTIFICATE OF APPROPRIATENESS**

**Application Date:** March 4, 2015

**Applicant:** John DeMerrit, SPI 420E 20<sup>th</sup> LLC

**Property:** 420 E 20<sup>th</sup> Street, Lot 1 & 2 and Tract 3A, Block 107, Houston Heights Subdivision. The property includes a noncontributing 5,200 square foot brick clad one-story commercial storefront structure situated on a 17,820 square foot (132' x 135') corner lot.

**Significance:** Noncontributing commercial storefront structure, constructed circa 1955, located in the Houston Heights Historic District East.

**Proposal:** Alteration – Alter the existing noncontributing storefront building. The alterations will not expand the existing footprint of the building and will include the following work:

- Install new awnings with store signage
- Replace the existing glass storefront system with a new glass storefront system

See enclosed application materials and detailed project description on p. 4-17 for further details.

**Public Comment:** One in support and one with no objection. See Attachment A.

**Civic Association:** No comment received.

**Recommendation:** Approval

**HAHC Action:** Approved

*All materials in exterior walls, including windows, siding, framing lumber, and interior shiplap must be retained except where removal or replacement has been explicitly approved by HAHC. Shiplap is an integral structural component of the exterior wall assembly in balloon framed structures and its removal can cause torqueing, twisting and collapse of exterior walls. Shiplap may be carefully shored and removed in small portions to insulate, run wire or plumbing, and should be replaced when the work is complete. Maintenance and minor in-kind repairs of exterior materials may be undertaken without HAHC approval, but if extensive damage of any exterior wall element is encountered during construction, contact staff before removing or replacing the materials. A revised COA may be required.*

**CERTIFICATE OF APPROPRIATENESS**

**Basis for Issuance:** HAHC Approval

**Effective:** March 26, 2015



**PLANNING & DEVELOPMENT DEPARTMENT**

COA valid for one year from effective date. COA is in addition to any other permits or approvals required by municipal, state and federal law. Permit plans must be stamped by Planning & Development Department for COA compliance prior to submitting for building or sign permits. Any revisions to the approved project scope may require a new COA.

**APPROVAL CRITERIA**

**ALTERATIONS TO NONCONTRIBUTING STRUCTURES**

Sec. 33-241(c): HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of any **noncontributing structure in an historic district** upon finding that the application satisfies the following criteria, as applicable:

**S D NA**

**S - satisfies D - does not satisfy NA - not applicable**

- (1) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance
- (2) For an addition to a noncontributing structure:
  - (a) The setback of the addition is no closer to the public right-of-way than the typical setback of existing contributing structures in the historic district;
  - (b) The height of the eaves of the addition to a noncontributing structure used or intended for use for residential purposes is not taller than the typical height of the eaves of existing contributing structures used for residential purposes in the historic district; and
  - (c) The height of an addition to a noncontributing structure used or intended for use for commercial purposes is not taller than the height of the existing structure.



PROPERTY LOCATION  
HOUSTON HEIGHTS HISTORIC DISTRICT EAST

Building Classification

Contributing

Non-Contributing



420 E 20<sup>th</sup>

INVENTORY PHOTO



CURRENT PHOTO



ADDITIONAL PHOTOS



East Elevation (Facing Columbia St)



West Elevation (Facing Alley)



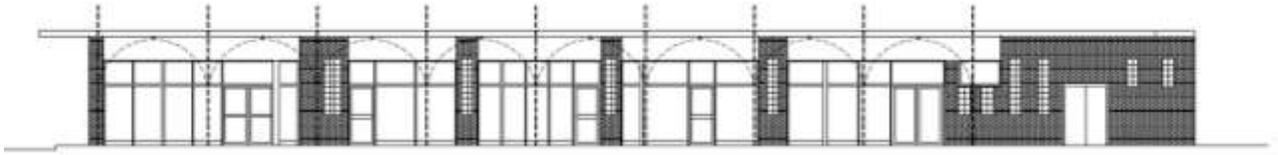
South Elevation (rear)



North Elevation (front)

**NORTH ELEVATION – FRONT FACING E 20<sup>th</sup> Street**

EXISTING

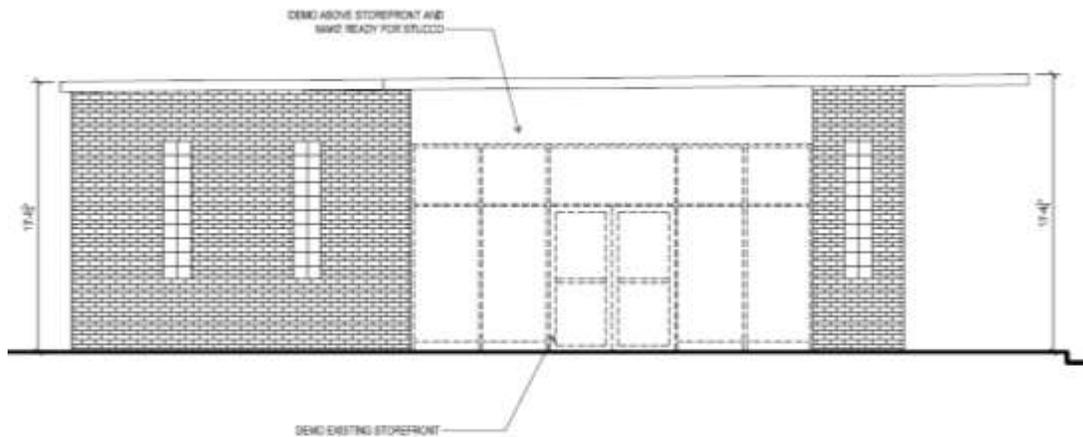


PROPOSED



**EAST SIDE ELEVATION – FACING COLUMBIA STREET**

**EXISTING**



**PROPOSED**

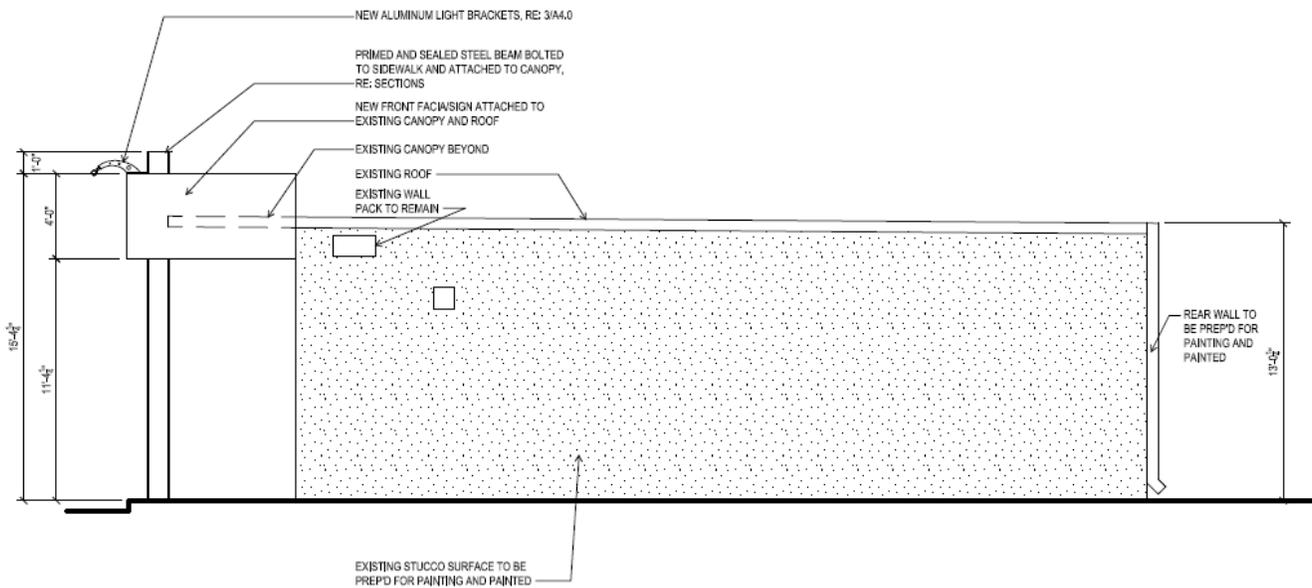


WEST SIDE ELEVATION

EXISTING



PROPOSED



**SOUTH SIDE ELEVATION**

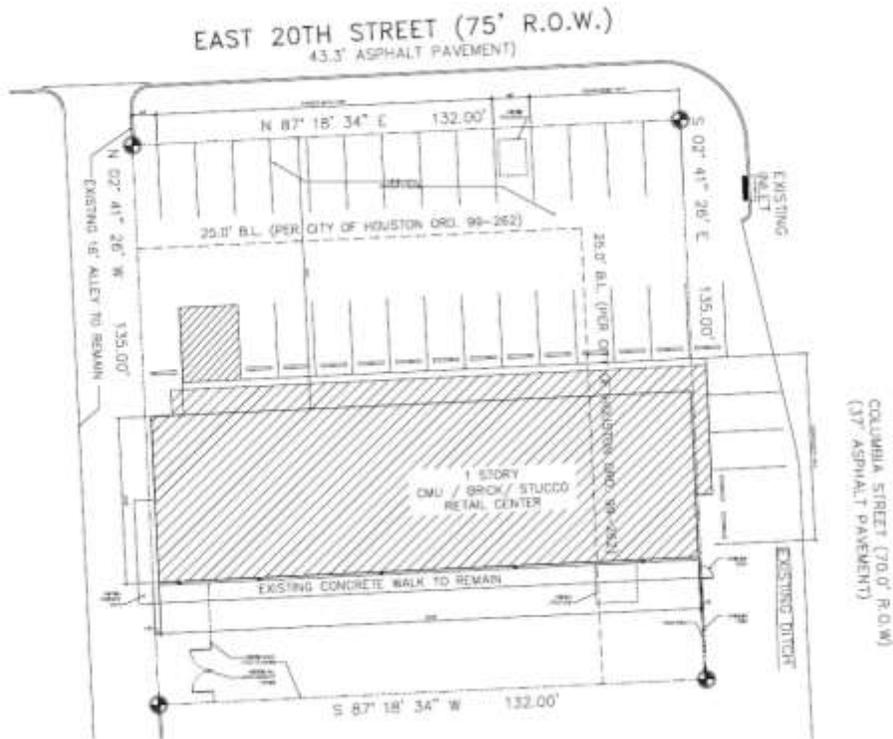
EXISTING



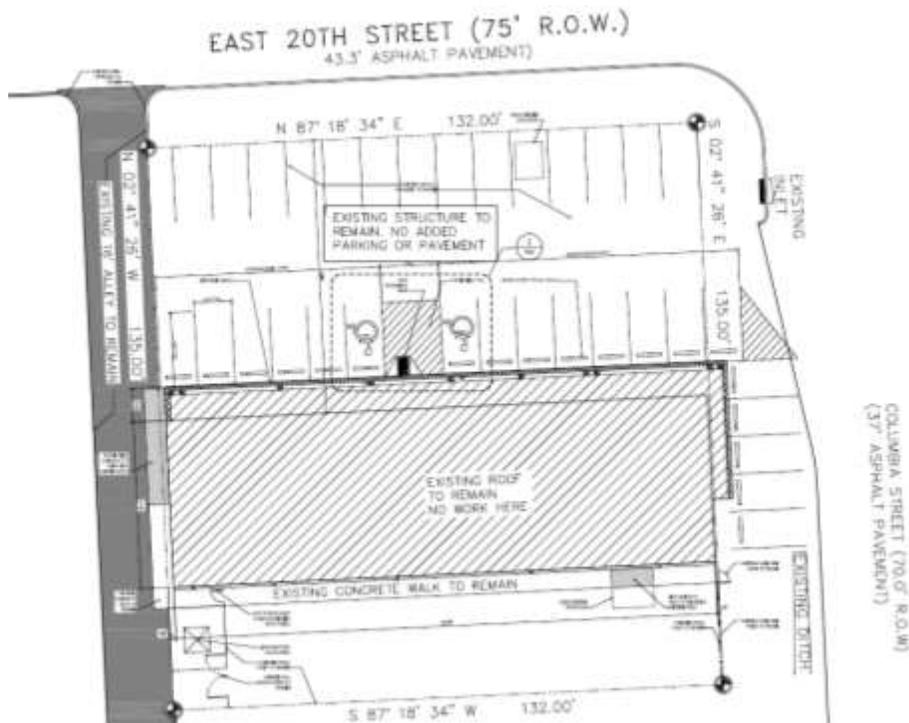


**SITE PLAN**

**EXISTING**



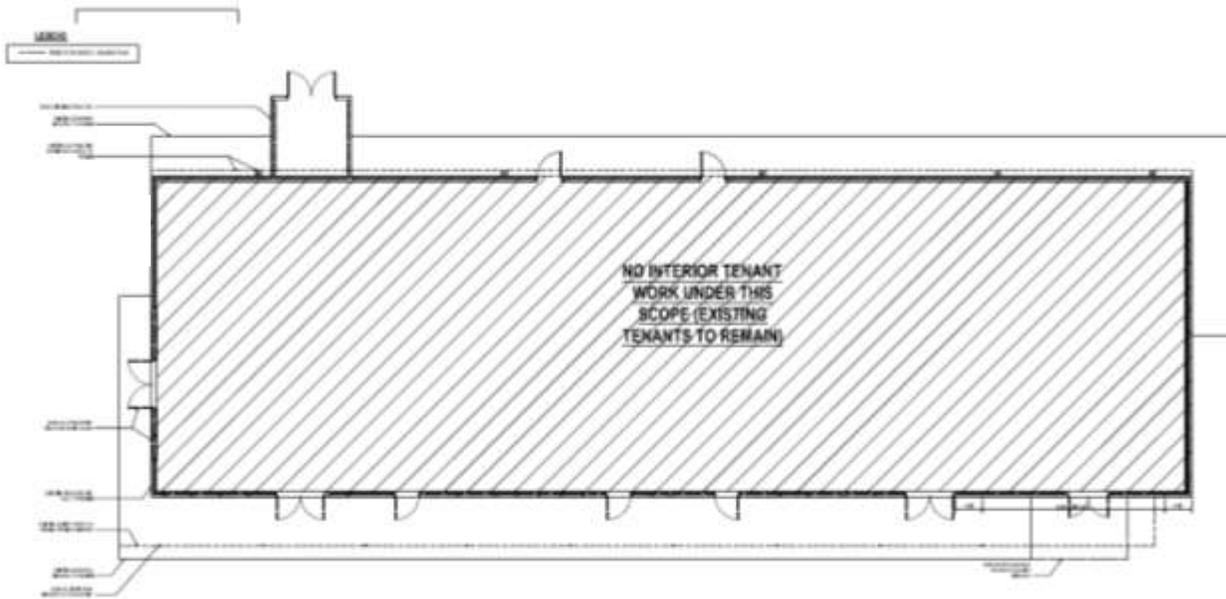
**PROPOSED**



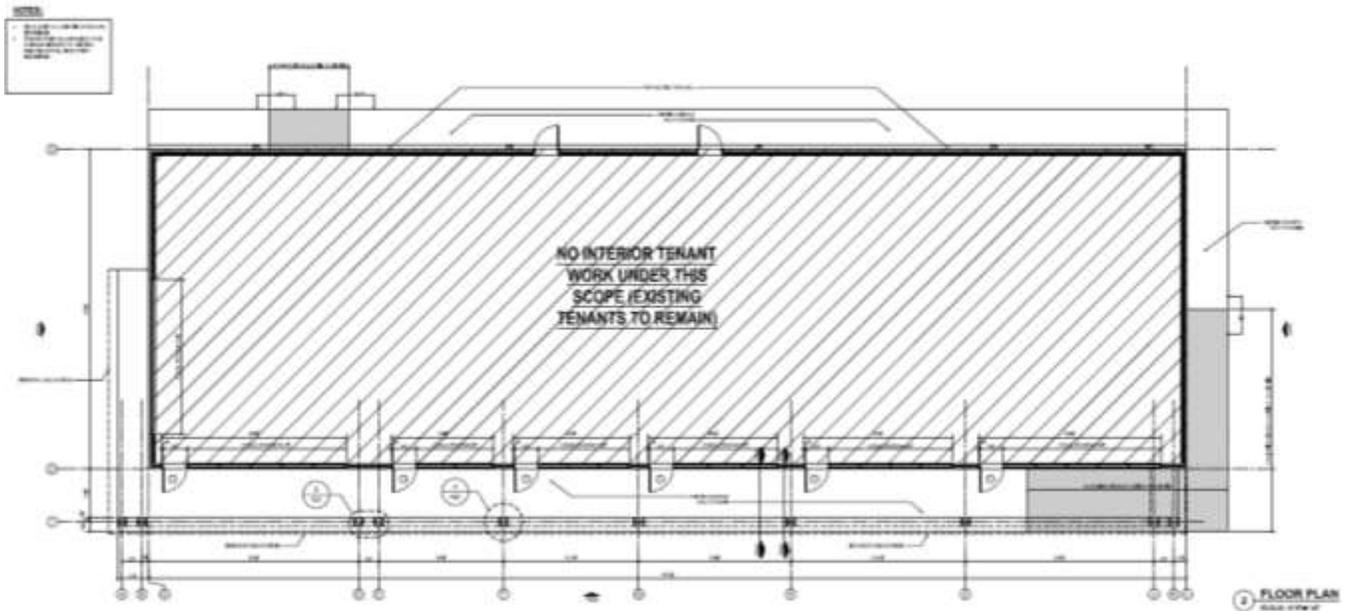


FIRST FLOOR PLAN

EXISTING

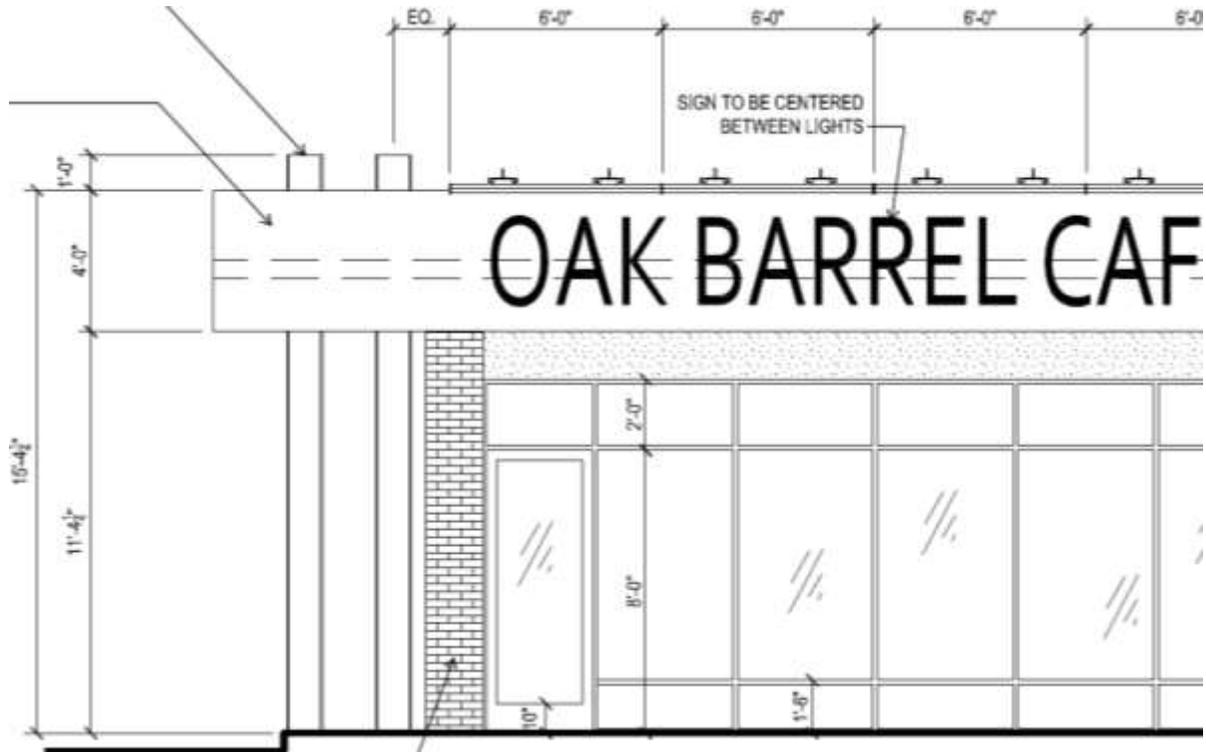


PROPOSED



WINDOW / DOOR SCHEDULE / AWNING DETAIL

Proposed Storefront



PROPOSED DOOR

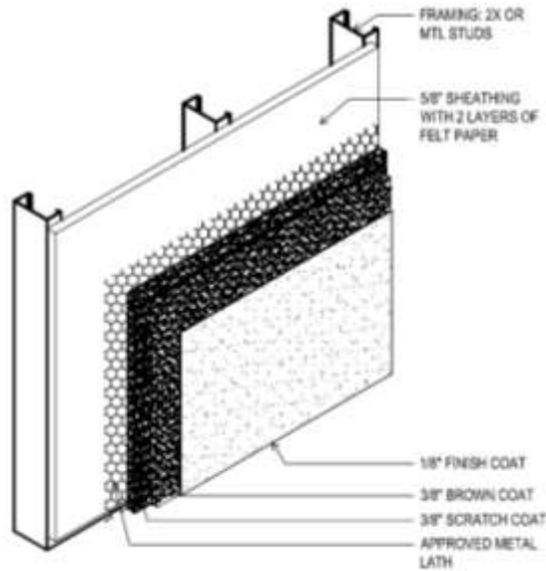


STOREFRONT DOOR. CLEAR ANODIZED ALUMINUM WITH TEMPERED TINTED GLASS. USE STOREFRONT HARDWARE: CLOSER, WEATHER STRIPPING, THRESHOLD, LEVER LATCH SET, LOCK BOLT. ALL HARDWARE TO BE ADA COMPLIANT

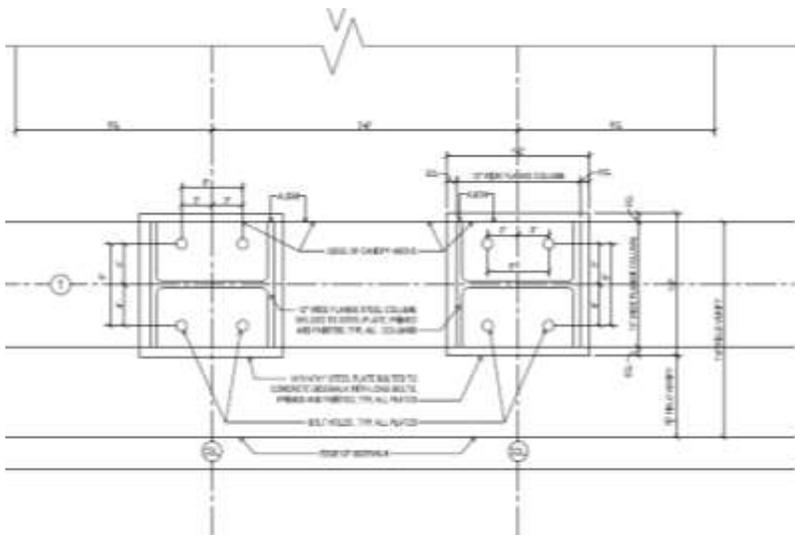


**CLADDING DETAIL**

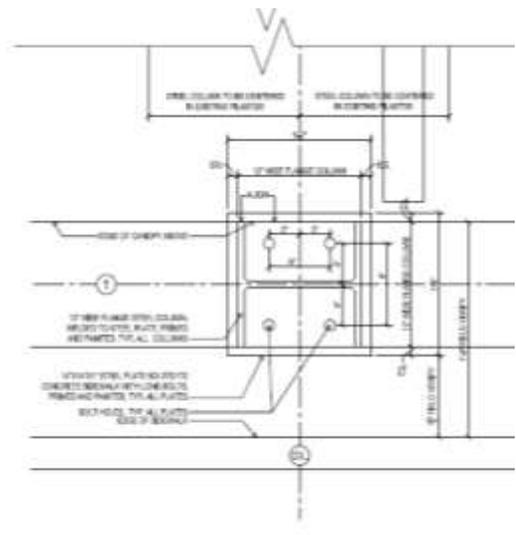
**STUCCO**



**COLUMN DETAIL**

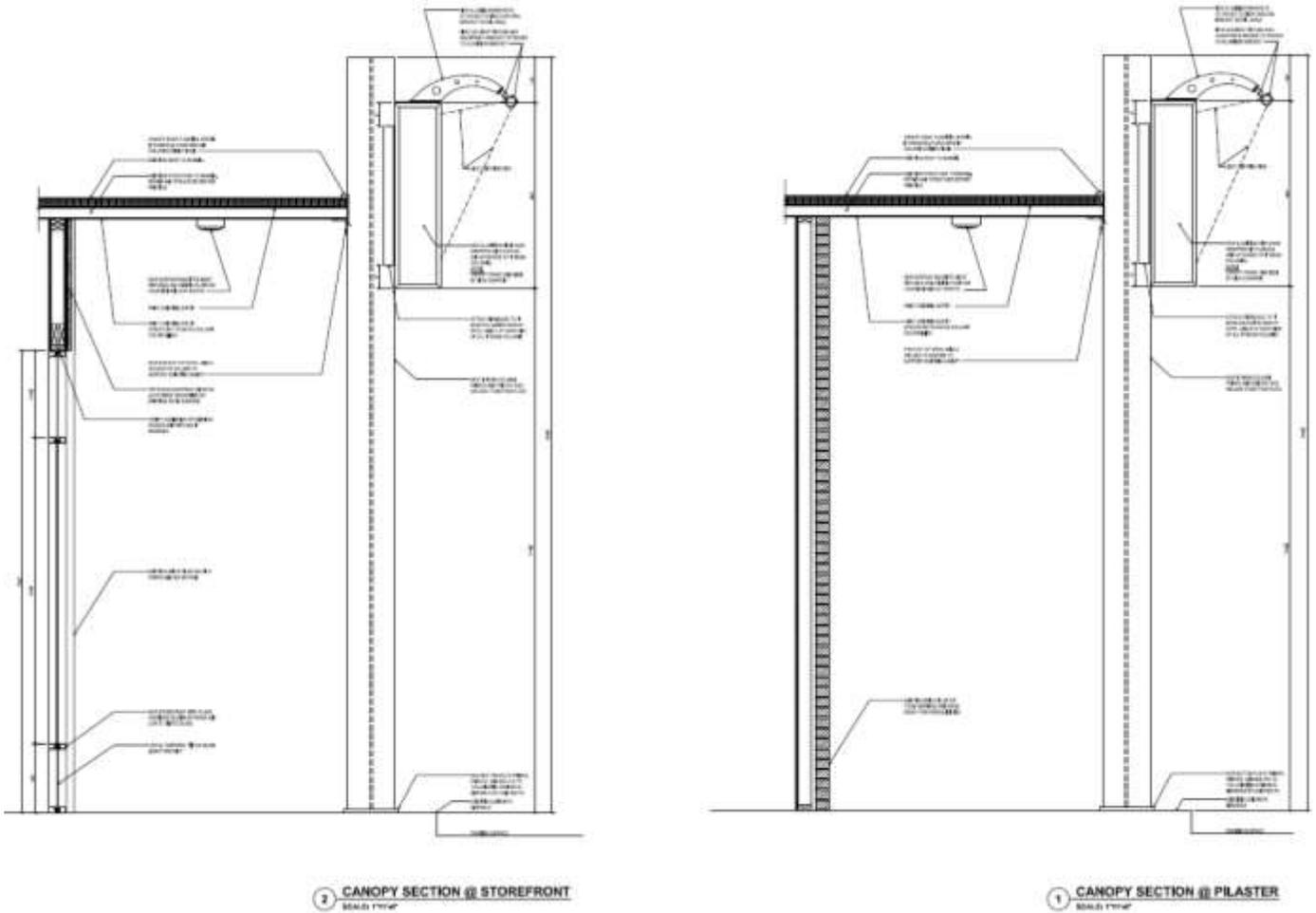


**5 DOUBLE COLUMN DETAIL**  
SCALE: 1/12"=1'-4"

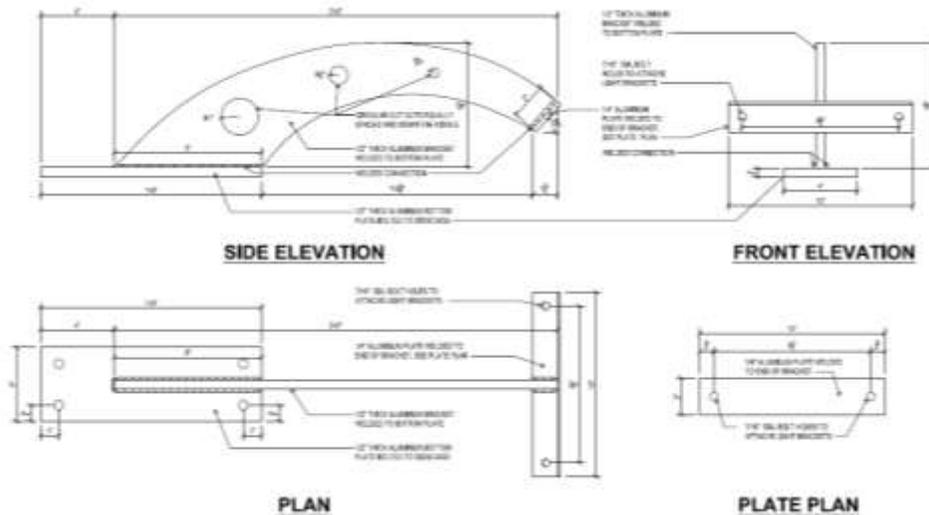


**4 SINGLE COLUMN DETAIL**  
SCALE: 1/12"=1'-4"

### CANOPY SECTION



### ALUMINUM LIGHT BRACKETS



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## PROJECT DETAILS

**Shape/Mass:** The existing storefront commercial building has a maximum width of 130'-0<sup>3</sup>/<sub>4</sub>" and a maximum depth of 40'-0<sup>1</sup>/<sub>4</sub>". The existing structure has a maximum height of 13'-4<sup>1</sup>/<sub>4</sub>". The proposed alterations will not change the existing footprint of the structure. A shed canopy extends 6'-0" over the front of the building and 4' along the 34' of the east elevation. See drawings for more detail.

**Setbacks:** The existing structure has front (north) setback of 65'-6"; a west side setback of 6<sup>1</sup>/<sub>2</sub>"; an east side setback of 1'-4<sup>1</sup>/<sub>4</sub>"; and a rear setback of 29'-3<sup>3</sup>/<sub>4</sub>". The existing setbacks will not be altered. The proposed columns supporting the new awning as well as the new awning itself will encroach beyond the existing lot line along the east elevation (facing Columbia Street). The applicant is aware that it will be necessary to contact Public Works and Development Services in order to get the proposed work permitted. See drawings for more detail.

**Windows/Doors:** The existing commercial building has a metal and glass three part storefront system. The existing storefront system will be removed and replaced with a new metal and glass three part storefront system similar to existing. The proposed system will feature a 1'-6" tall bottom window, a 6'-6" tall middle window, and a 2'-0" tall top window. The storefront will be comprised of 27 three part units. The proposed six new entrance doors will be 8'-0" tall by 3'-0" wide and will be constructed from aluminum and glass. A 2'-0" tall window will be installed above the door. See drawings for more detail.

**Exterior Materials:** The existing commercial storefront building is clad in brick with featuring a stacked configuration. Portions of the building feature decorative brickwork on the piers between the bays as well as the east wall (facing Columbia Street). The rest of the building features a metal and glass storefront. The area above the storefronts is currently covered in plywood panels. The north and west elevations feature stucco walls.

The existing brick cladding will be retained along with the decorative brickwork. The storefronts will be replaced with new metal and glass storefronts. The plywood above the storefronts will be replaced with stucco. The stucco walls of the north and west elevations will be repaired.

A new awing system will be installed around the existing canopy. The awning will be canvas stretched over an aluminum square tube frame system. The awning will be comprised of eight 16'-0" wide panels (along the front (north) elevation) and two 17'-0" wide panels (along the east elevation). The panels will be 4'-0" in height. The lettering will be 25" tall. The awning will be approximately 12" deep. The awning will be supported by 12" wide metal flange columns encased in 14" wide steel plates (for a final dimension of 14"x14"). The columns will either be installed singular or in pairs depending on the width of the brick piers separating the bays. There will be three pairs and four single columns. The columns will be 16'-4<sup>1</sup>/<sub>4</sub>" tall. The awning will be attached to the columns 11'-4<sup>1</sup>/<sub>4</sub>" above grade. 1'-0" of the column will extend above the awning. 2'-0" x 7" metal lighting brackets will be installed above the awning. See drawings for more detail.

**Roof:** The existing roof, canopy, and soffits will be retained and repaired if necessary. See drawings for more detail.

**Front Elevation:** The existing brick clad commercial storefront building is comprised of six bays. Each bay is delineated by a brick pier of varying widths. Some of the piers feature decorative brickwork. All of the bays feature glass storefront systems with the exception of the westernmost bay, which features a door but no windows. A shed roof and canopy extended over the front and east portion of the building.

**(North)**

The existing storefronts will be removed and replaced with new storefronts that match the existing design. The westernmost bay will be opened and will now feature a new metal and glass storefront. Columns will be installed to support a new awning that will wrap around the existing canopy. See drawings for more detail.

**Side Elevation:** The existing east elevation consists of two bays. The southern bay features a brick wall with two vertical strips of decorative brickwork. The northern bay features a storefront.

**(East)**

The existing storefronts will be removed and replaced with new storefronts that match the existing design. Columns will be installed to support a new awning that will wrap around the existing canopy. See drawings for more detail.

**Side Elevation:** The west elevation features a solid stucco wall with no fenestration.

**(West)**

The existing stucco wall will be repaired and prepped for painting. See drawings for more detail.

**Rear Elevation:** The rear elevation of the residence and addition is not visible from the public Right-of-Way. See drawings for more detail.

**(South)**

ATTACHMENT A  
PUBLIC COMMENT

B-24 420 E 20<sup>th</sup> Street

I have **NO OBJECTION** to this proposed Certificate of Appropriateness. The proposed modifications to the existing non-contributing commercial structure do not negatively impact the historic character of the District.

J. Kent Marsh, AICP CUD  
1538 Arlington, Houston Heights East Historic District

**From:** Brie Kelman  
**Sent:** Monday, March 23, 2015 4:03 PM  
**To:** Kent Marsh  
**Subject:** Re: March 26 HAHC Meeting Staff Reports are Posted for the HHEHD

- 22. 1115 Arlington St, Alteration-Addition *Resubmittal - Support, but prefer the previous denied plans, which looked better (at least there were windows on the front of the ugly box addition).*
- 23. 1341 Cortlandt St, Alteration-Siding/Trim/Windows - *Support*
- 24. 420 E 20th St, Alteration-Commercial Bldg- *Support*
- 25. 1515 Oxford St, New Construction-Residence/Garage- *Support*
- 26. 1404 Arlington St, Alteration-Garage- *Support*
- 27. 1548 Cortlandt St, Alteration/Relocation-Addition/Foundation/Roof *Resubmittal - Support. I think the proposed modifications are a very thoughtful way to update/expand this house to be more family friendly. Their alterations clearly do not violate the ordinance as the 2nd story starts at the rear of the structure (clearly behind the 50% mark).*