

**CERTIFICATE OF APPROPRIATENESS**

**Application Date:** March 4, 2015

**Applicant:** Michael Bubblewicz and Alyssa Parrish for Mark Standridge and Rebecca Davis, owner

**Property:** 1515 Oxford Street, Tracts 8 & 9A, Block 136, Houston Heights Subdivision. The property includes a vacant 8,250 square foot (62.50' x 132') interior lot.

**Significance:** Vacant lot located in the Houston Heights Historic District East.

**Proposal:** New Construction – Construct a new two-story 3,768 square foot residence with an 814 square foot attached rear alley-loading garage with garage apartment. The proposed residence will be 32' wide at the front and expand to 37.5' at the rear garage. The residence will have a maximum ridge height of 29'-9" with an eave height of 22'-4".

See enclosed application materials and detailed project description on p. 4-15 for further details.

**Public Comment:** One in support and one with no objection. See Attachment A.

**Civic Association:** No comment received.

**Recommendation:** Approval

**HAHC Action:** Approved

**CERTIFICATE OF APPROPRIATENESS**

**Basis for Issuance:** HAHC Approval  
**Effective:** March 26, 2015



**PLANNING &  
DEVELOPMENT  
DEPARTMENT**

COA valid for one year from effective date. COA is in addition to any other permits or approvals required by municipal, state and federal law. Permit plans must be stamped by Planning & Development Department for COA compliance prior to submitting for building or sign permits. Any revisions to the approved project scope may require a new COA.

**APPROVAL CRITERIA**

**NEW CONSTRUCTION IN A HISTORIC DISTRICT**

Sec. 33-242: HAHC shall issue a certificate of appropriateness for new construction in a historic district upon finding that the application satisfies the following criteria:

**S D NA**

**S - satisfies D - does not satisfy NA - not applicable**

- (1) The new construction must match the typical setbacks of existing contributing structures in the historic district
- (2) The exterior features of new construction must be compatible with the exterior features of existing contributing structures in the historic district
- (3) The proportions of the new construction, including width and roofline, must be compatible with the typical proportions of existing contributing structures and objects in the historic district
- (4) The height of the eaves of a new construction intended for use for residential purposes must not be taller than the typical height of the eaves of existing contributing structures used for residential purposes in the historic district; and
- (5) The height of new construction intended for use for commercial purposes must not be taller than the typical height of the existing structures used for commercial purposes in the historic district.



PROPERTY LOCATION

HOUSTON HEIGHTS HISTORIC DISTRICT EAST



1515 Oxford

- Building Classification**
- Contributing
  - Non-Contributing
  - Park

**CURRENT PHOTO**



**NEIGHBORING PROPERTIES**



1509 Oxford – Noncontributing – 1993 (neighbor)



1519 Oxford – Contributing – 1920 (neighbor)



1505 Oxford – Contributing – 1915



1523 Oxford – Noncontributing – 2007



1501 Oxford – Contributing – 1920



1525 Oxford – Noncontributing – 2007

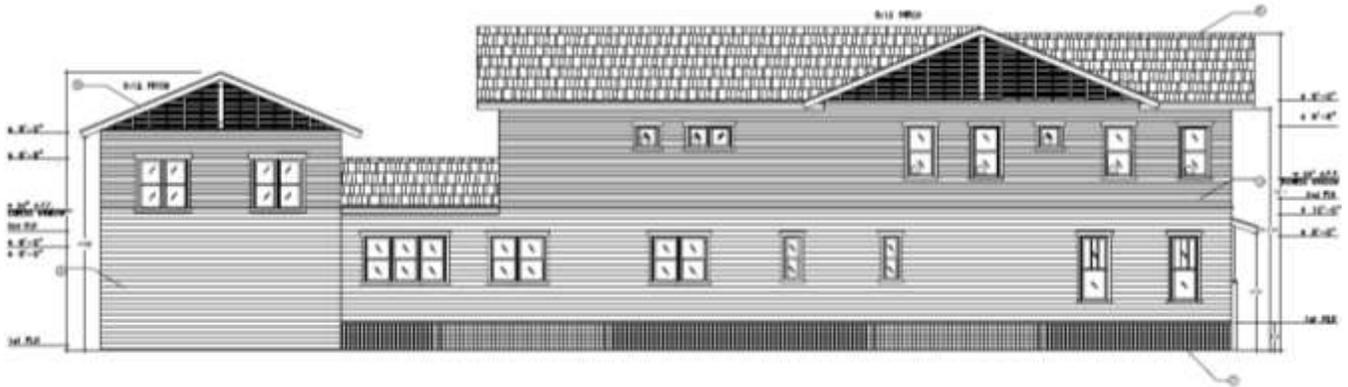
**EAST ELEVATION – FRONT FACING OXFORD STREET**

PROPOSED



**SOUTH SIDE ELEVATION**

PROPOSED

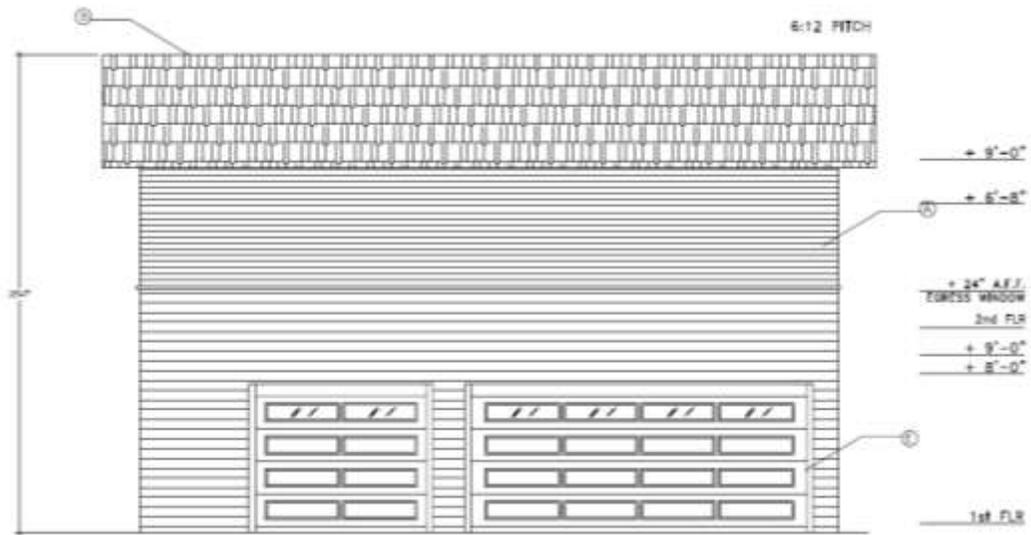


**NORTH SIDE ELEVATION**

PROPOSED

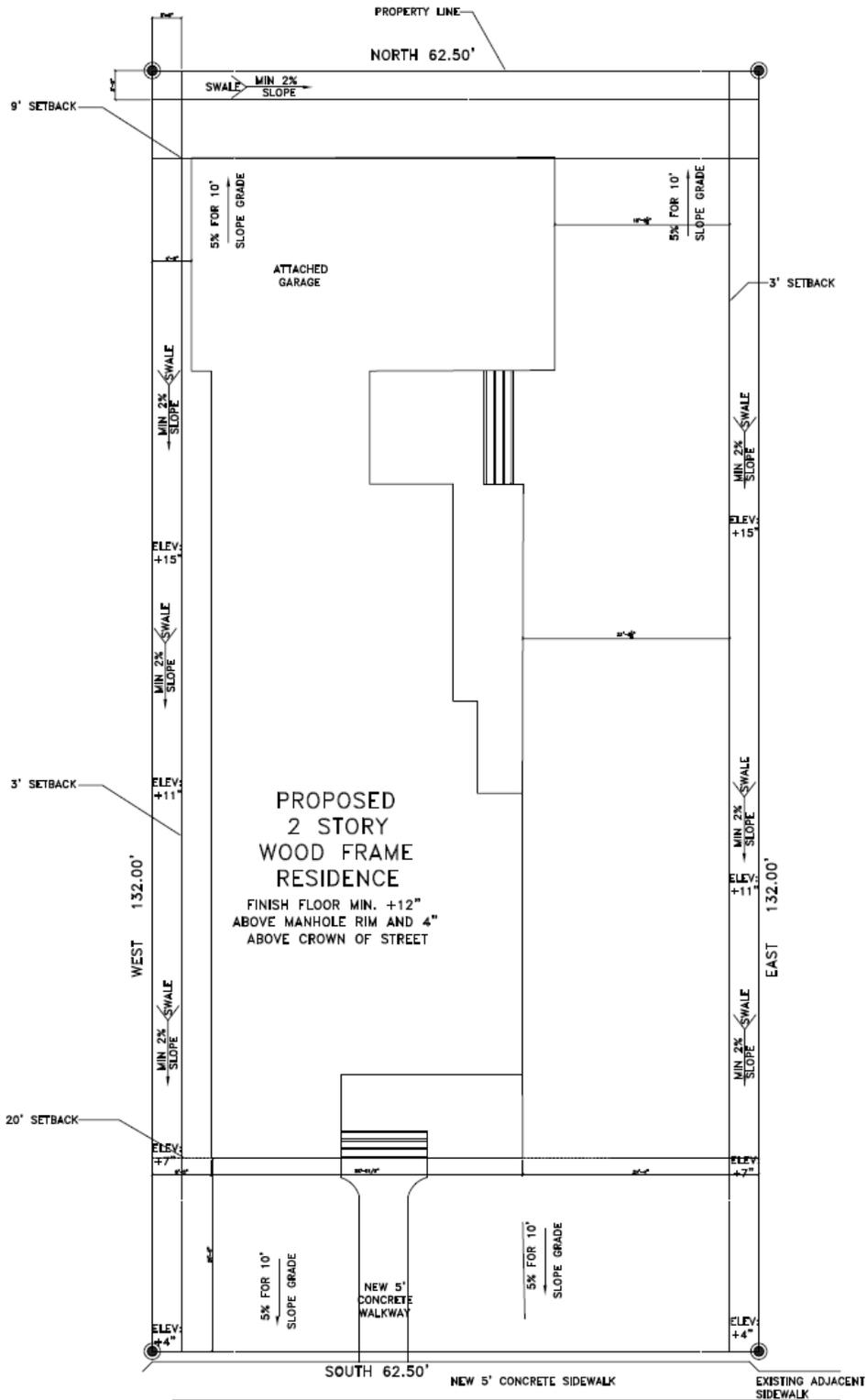


**WEST (REAR) ELEVATION**  
**PROPOSED**



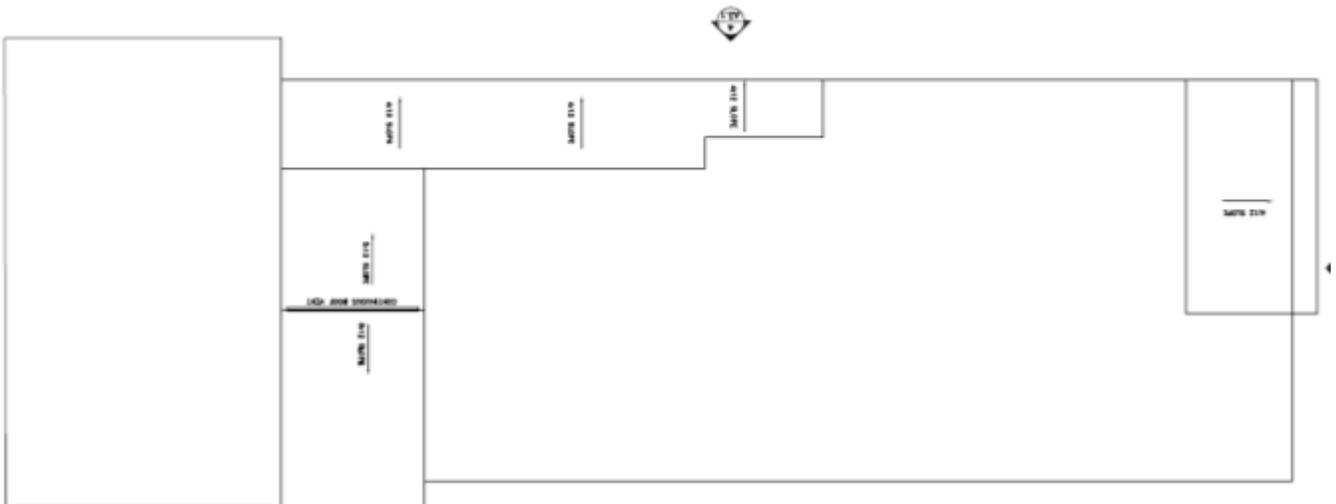


### SITE PLAN PROPOSED

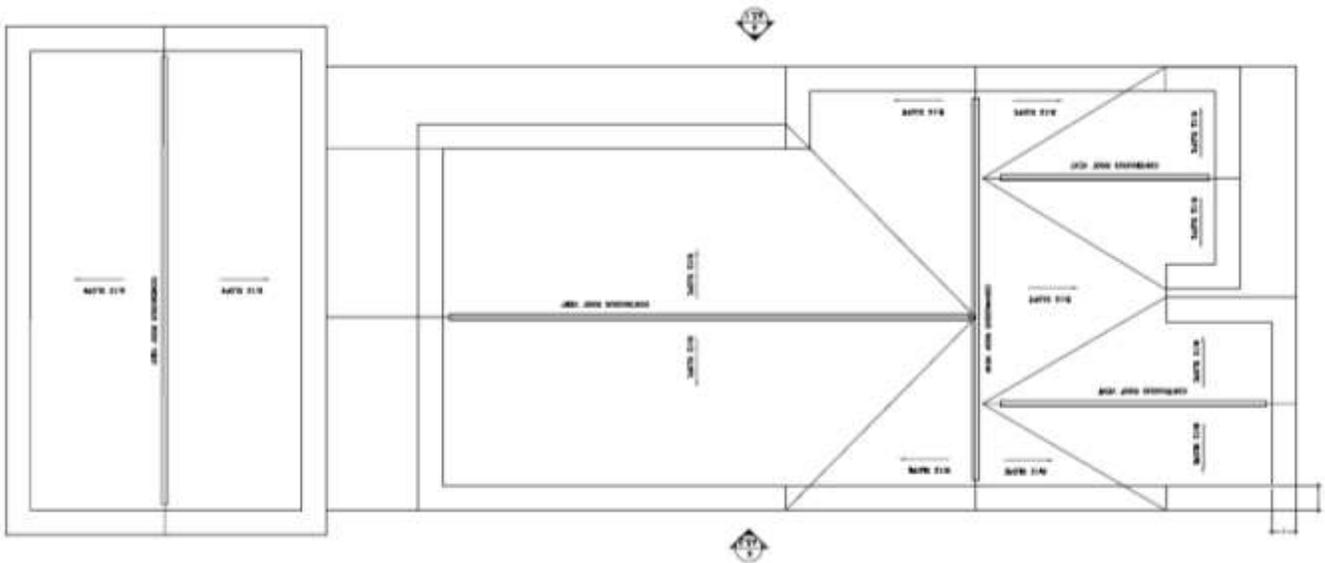




**ROOF PLAN**  
PROPOSED LOWER LEVEL

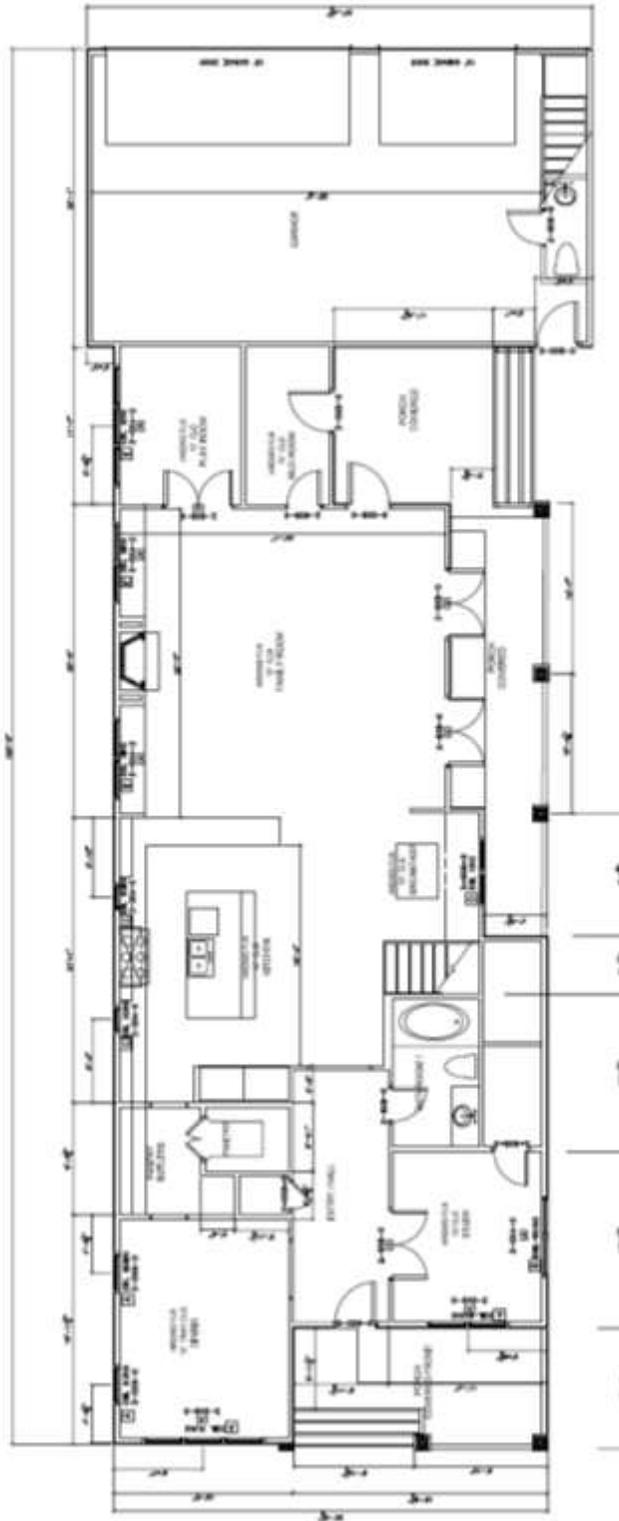


PROPOSED UPPER LEVEL



FIRST FLOOR PLAN

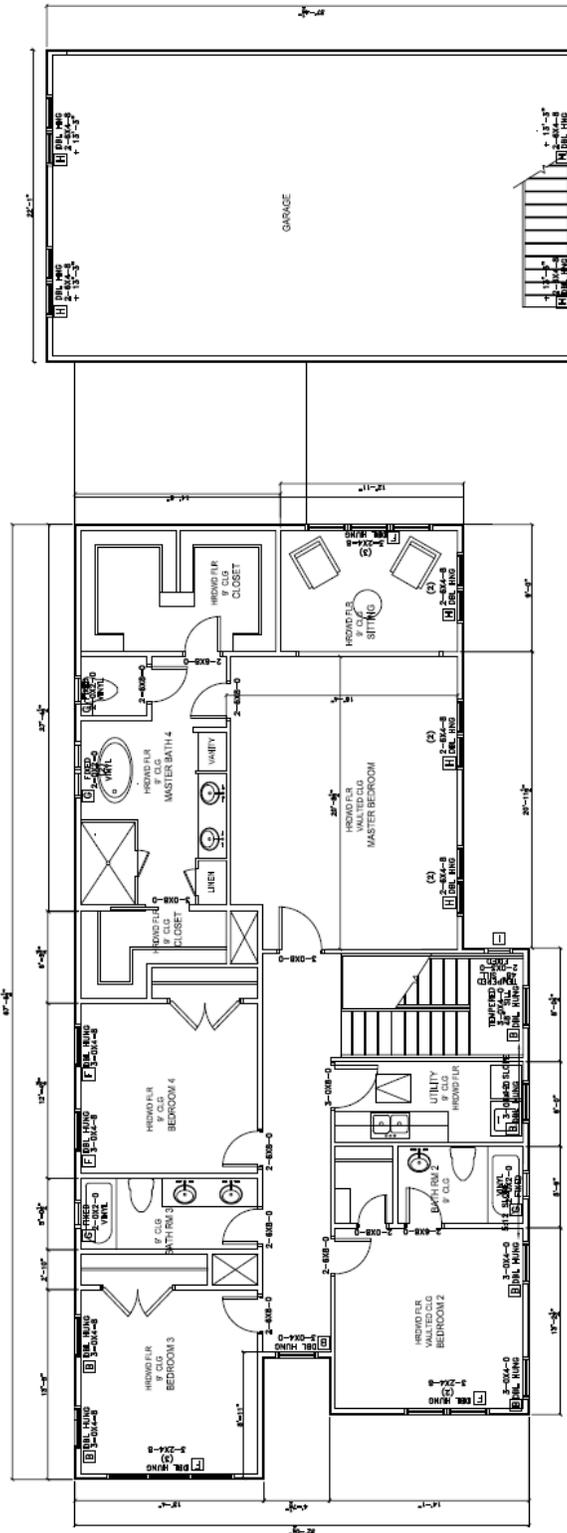
PROPOSED





SECOND FLOOR PLAN

PROPOSED



**WINDOW / DOOR SCHEDULE**

Window and Door Schedule

All will be wood double hung  
(except in wet areas)

First Floor Windows:

- Study: (2) 3-0 x 6-0 = A
- Study: (2) 3-0 x 4-0 = B
- Dining: (5) 3-0 x 6-0 = A
- Kitchen: (2) 2-0 x 4-0 = C
- Breakfast: (2) 2-6 x 6-0 = D
- Family Room: (4) 3-0 x 4-2 = E
- Play Room: (2) 3-0 x 4-2 = E

Second Floor Windows:

- Bedroom 2: (2) 3-2 x 4-8 = F
- Bedroom 2: (2) 3-0 x 4-0 = B
- Hall: (1) 3-0 x 4-0 = B
- Bedroom 3: (3) 3-2 x 4-8 = F
- Bedroom 3: (2) 3-0 x 4-0 = B

- Bath 3: Fixed 2-0 x 2-0 Vinyl =G
- Bedroom 4: (2) 3-2 x 4-8 = F
- Master Bath: (3) Fixed 2-0 x 2-0 Vinyl
- Master Bedroom/sitting room: (6) 2-6 x 4-8 = H
- Master Bedroom/sitting room (3) 3-2 x 4-8 = F
- Staircase: (1) 3-0 x 4-0 (tempered) = B
- Staircase: (1) 2-0 x 3-0 = I
- Utility: (1) 3-0 x 4-0 = B
- Bath 2: (2) Fixed 2-0 x 2-0 Vinyl =G

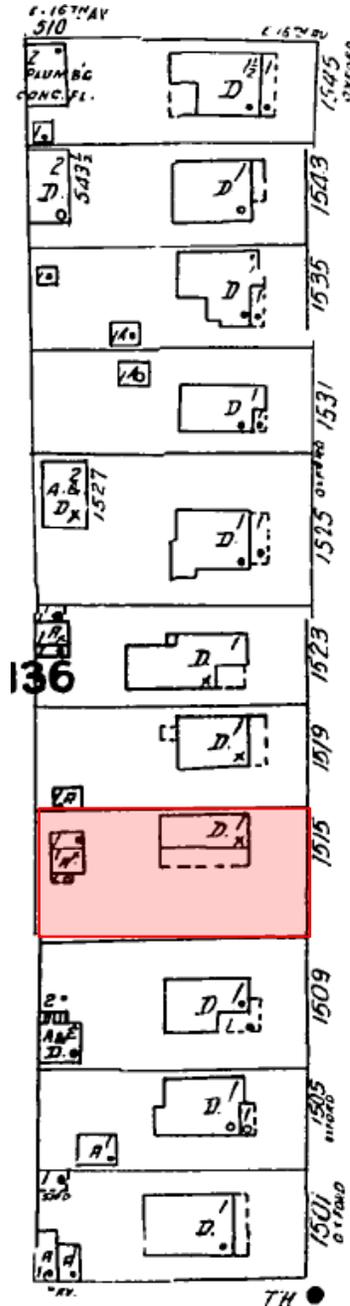
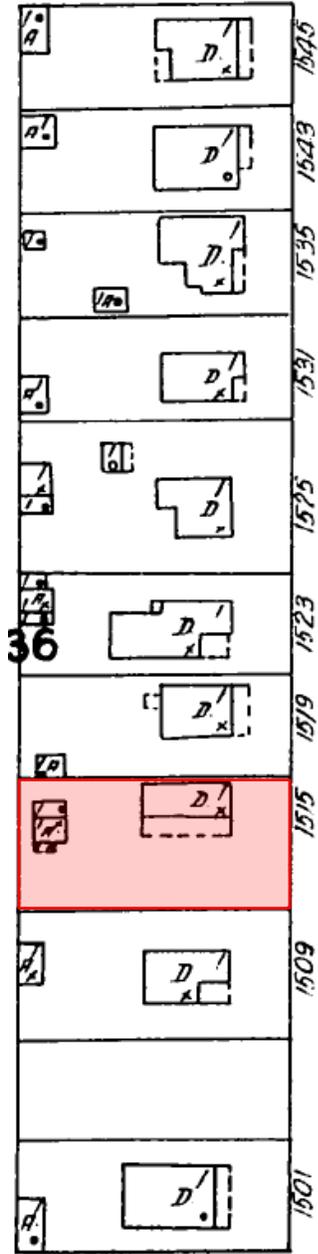
Exterior Doors:

- Front: Double door entry, 4-0 x 8-0
- Family: (2) Double Single lite, 5-0 x 8-0 and (1) 3-0 x 8-0
- Mud: Single lite, 3-0 x 8-0

SANBORN MAP

1924-1950

1924-1951



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**PROJECT DETAILS**

**Shape/Mass:** The proposed residence will have a front width of 32'-0½" and total width 37'-4½" (at the very rear). The attached rear alley loading garage will have a width of 37'-4½" and a depth of 22'-1". The garage will be located 100' from the front property line. The proposed residence and attached garage will have a total depth of 103'-0". The proposed residence will have a maximum ridge height of 29'-8¾" and the double front gables will have a ridge height of 29'-2". The proposed front porch will be 8'-11" deep and 18'-10" wide. See drawings for more detail.

**Setbacks:** The proposed residence and attached garage will have a front (east) setback of 20'-0"; a north side setback of 18'-0½"; a south side setback of 4'-0"; and a rear (west) setback of 9'-0". See drawings for more detail.

**Foundation:** The proposed residence will have a pier and beam foundation with a 2'-4" finished floor height. The attached rear garage will have a concrete slab foundation. See drawings for more detail.

**Windows/Doors:** The proposed residence will have wood double-hung windows with several vinyl double-hung windows. The front windows, along with two windows on the south elevation, will have a 1-over-3 decorative design while the remaining windows will be 1-over-1 or fixed. See drawings and window schedule for more detail.

**Exterior Materials:** The proposed residence will be clad in smooth cementitious siding. The first story will have a 6" reveal while the second story will have a 4" reveal. See drawings for more detail.

**Roof:** The proposed residence will have a composition shingle multi-gable/cross gable roof with a pitch of 5:12. The porch roofs will be standing seam metal with a pitch of 4:12. The proposed residence will have an eave height of 22'-1¾". The attached garage will have an eave height of 19'-6½". The proposed front porch eave height will be 10'-9". See drawings for more detail.

**Front Elevation:** The front elevation of the proposed residence will feature three bays. The southern bay has a group of three windows on the first story and three windows on the second story. The northern bay has a pair of windows on the first and second stories. The front door is located on the first story of the center bay. The second story of the center bay has a single window. A side gable roof spans the structure, punctuated by two front gables topping the end bays. See drawings for more detail.

**Side Elevation:** The main portion of the house will be two stories followed by a one-story connector attaching to the rear garage. The garage will be lower than the residence. The south elevation of the proposed residence will have four single windows, two pairs, and a group of three windows on the first story and eight windows on the second story. The garage will have two pairs of windows on the second story and no fenestration on the first story. See drawings for more detail.

**Side Elevation:** The main portion of the house will be two stories followed by a one-story connector attaching to the rear garage. A one story covered porch will be located in an inset portion of the main residence. The garage will be lower than the residence. The north elevation of the proposed residence will have two pairs of windows on the first story followed by two sets of French doors and a single door. The second story will have five single windows and three pairs of additional windows. The garage will have two pairs of windows on the second story and no fenestration on the first story. See drawings for more detail.

**Rear Elevation:** The rear elevation of the residence and addition is not visible from the public Right-of-Way. See drawings for more detail.

**ATTACHMENT A**  
**PUBLIC COMMENT**

**B-25 1515 Oxford Street**

I have **NO OBJECTION** to this proposed new construction Certificate of Appropriateness. While the volume is excessive for the District when related to existing contributing structures, at least the site location places the two story wall next to the existing non-contributing structure to the south and the proposed plan indicates a slight sensitivity to the one story structure to the north by providing a small area of one-story porch and a diversity of visual elements on the north side of the proposed structure.

J. Kent Marsh, AICP CUD  
1538 Arlington, Houston Heights East Historic District

**From:** Brie Kelman  
**Sent:** Monday, March 23, 2015 4:03 PM  
**To:** Kent Marsh  
**Subject:** Re: March 26 HAHC Meeting Staff Reports are Posted for the HHEHD

- 22. 1115 Arlington St, Alteration-Addition *Resubmittal - Support, but prefer the previous denied plans, which looked better (at least there were windows on the front of the ugly box addition).*
- 23. 1341 Cortlandt St, Alteration-Siding/Trim/Windows - *Support*
- 24. 420 E 20th St, Alteration-Commercial Bldg- *Support*
- 25. 1515 Oxford St, New Construction-Residence/Garage- *Support*
- 26. 1404 Arlington St, Alteration-Garage- *Support*
- 27. 1548 Cortlandt St, Alteration/Relocation-Addition/Foundation/Roof *Resubmittal - Support. I think the proposed modifications are a very thoughtful way to update/expand this house to be more family friendly. Their alterations clearly do not violate the ordinance as the 2nd story starts at the rear of the structure (clearly behind the 50% mark).*