

CERTIFICATE OF APPROPRIATENESS

Application Date: April 29, 2015

Applicant: Brett Zamore, AIA, for Ryan Tan and Gabriela Valles, owners

Property: 1122 Arlington Street, Lot 18, Block 197, Houston Heights Subdivision. The property includes a historic 1,213 square foot one-story, wood frame single-family residence and one-story brick detached garage situated on a 6,600 square foot (50' x 132') interior lot.

Significance: Contributing Bungalow residence, constructed circa 1920, located in the Houston Heights Historic District East.

Proposal: New Construction – Construct a new detached two-story alley-loading garage at the rear of the property.

- The proposed garage will be 20' wide, 28' deep, and 27' tall
- The proposed garage will be set back 97' from the front property line

See enclosed application materials and detailed project description on p. 4-15 for further details.

Public Comment: One in favor and Two who have expressed no objection. See Attachment A.

Civic Association: No comment received.

Recommendation: Approval

HAHC Action: Approved

CERTIFICATE OF APPROPRIATENESS

Basis for Issuance: HAHC Approval

Effective: May 21, 2015



PLANNING & DEVELOPMENT DEPARTMENT

COA valid for one year from effective date. COA is in addition to any other permits or approvals required by municipal, state and federal law. Permit plans must be stamped by Planning & Development Department for COA compliance prior to submitting for building or sign permits. Any revisions to the approved project scope may require a new COA.

APPROVAL CRITERIA

NEW CONSTRUCTION IN A HISTORIC DISTRICT

Sec. 33-242: HAHC shall issue a certificate of appropriateness for new construction in a historic district upon finding that the application satisfies the following criteria:

S D NA

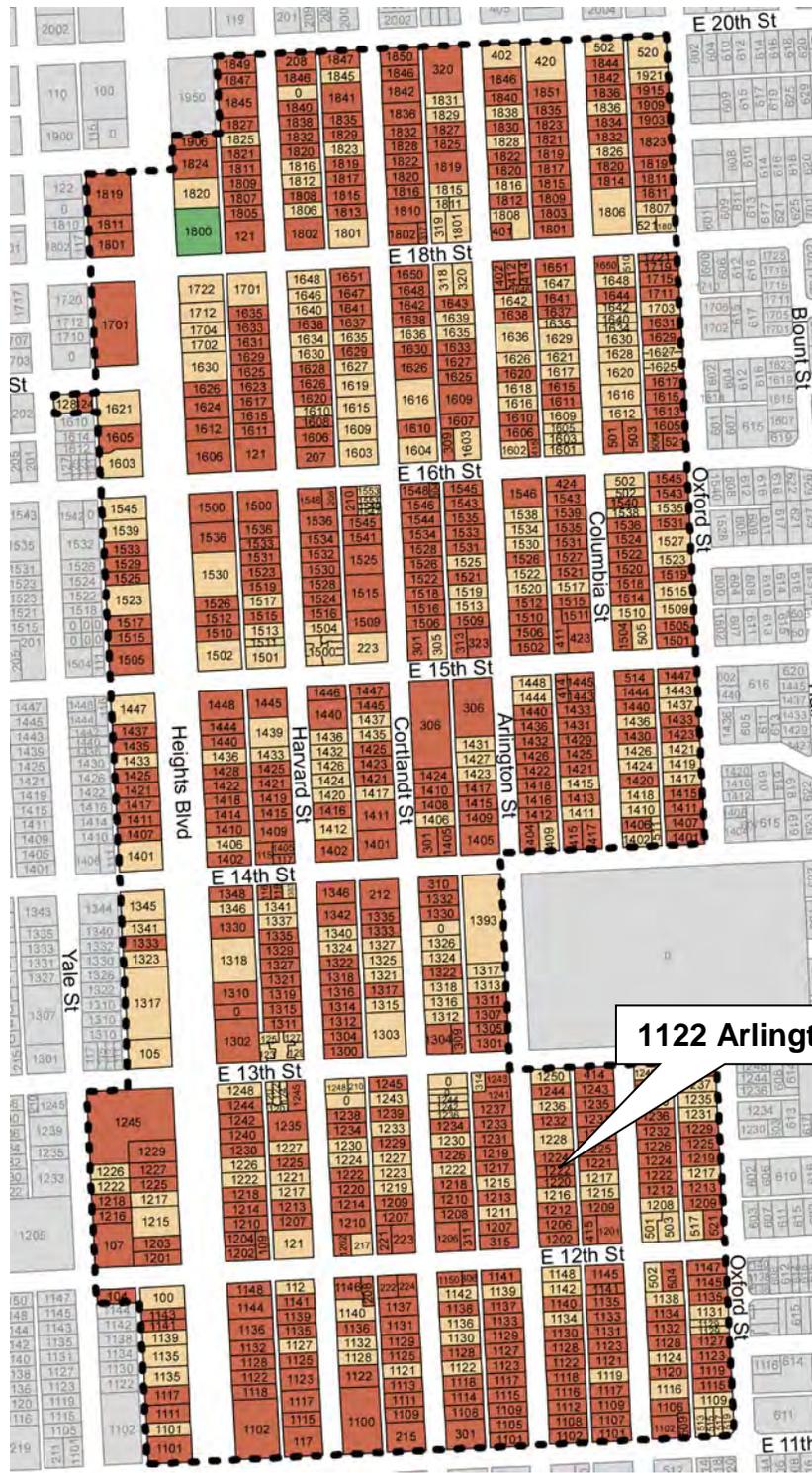
S - satisfies D - does not satisfy NA - not applicable

- (1) The new construction must match the typical setbacks of existing contributing structures in the historic district
- (2) The exterior features of new construction must be compatible with the exterior features of existing contributing structures in the historic district
- (3) The proportions of the new construction, including width and roofline, must be compatible with the typical proportions of existing contributing structures and objects in the historic district
- (4) The height of the eaves of a new construction intended for use for residential purposes must not be taller than the typical height of the eaves of existing contributing structures used for residential purposes in the historic district; and
- (5) The height of new construction intended for use for commercial purposes must not be taller than the typical height of the existing structures used for commercial purposes in the historic district.



PROPERTY LOCATION

HOUSTON HEIGHTS HISTORIC DISTRICT EAST



1122 Arlington

Building Classification

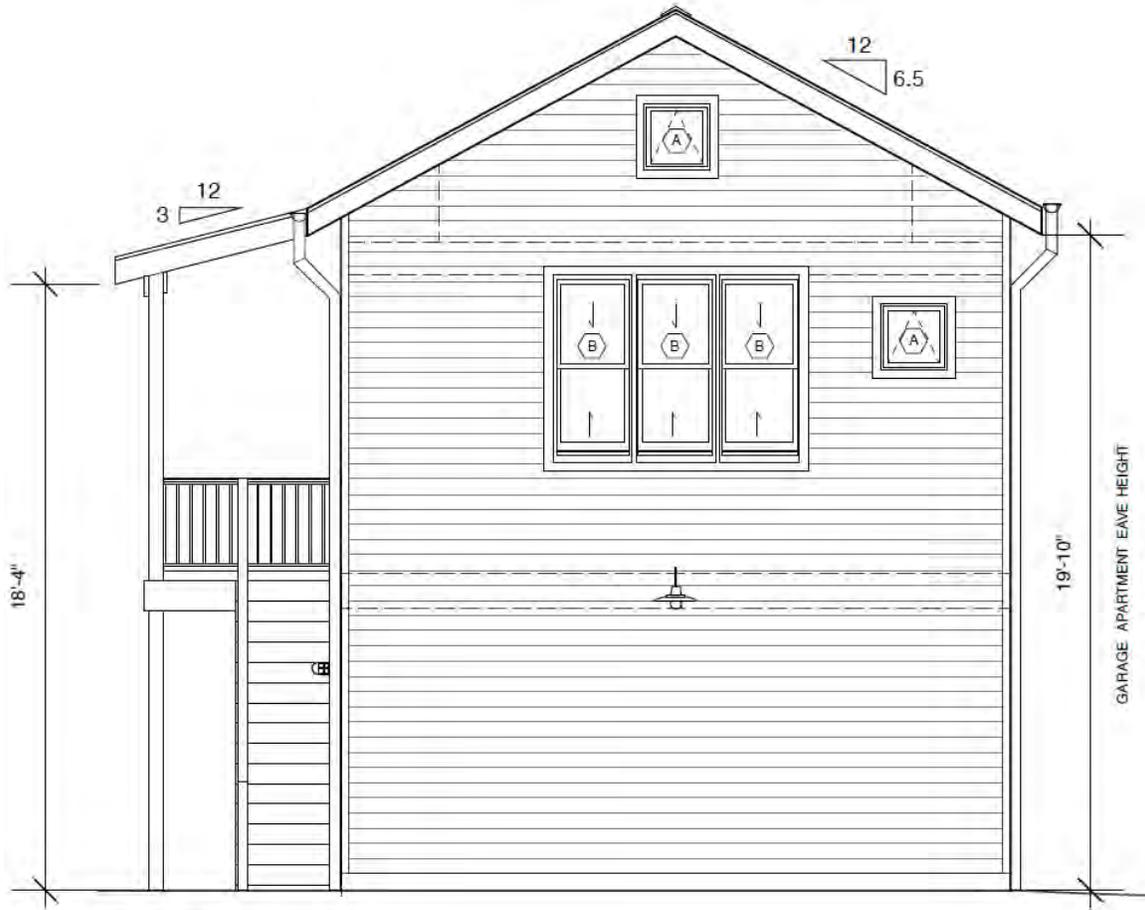
- Contributing
- Non-Contributing
- Park

CURRENT PHOTO



WEST ELEVATION – FRONT FACING ARLINGTON STREET

PROPOSED



WEST ELEVATION – FRONT FACING ARLINGTON STREET
PROPOSED (WITH RESIDENCE)

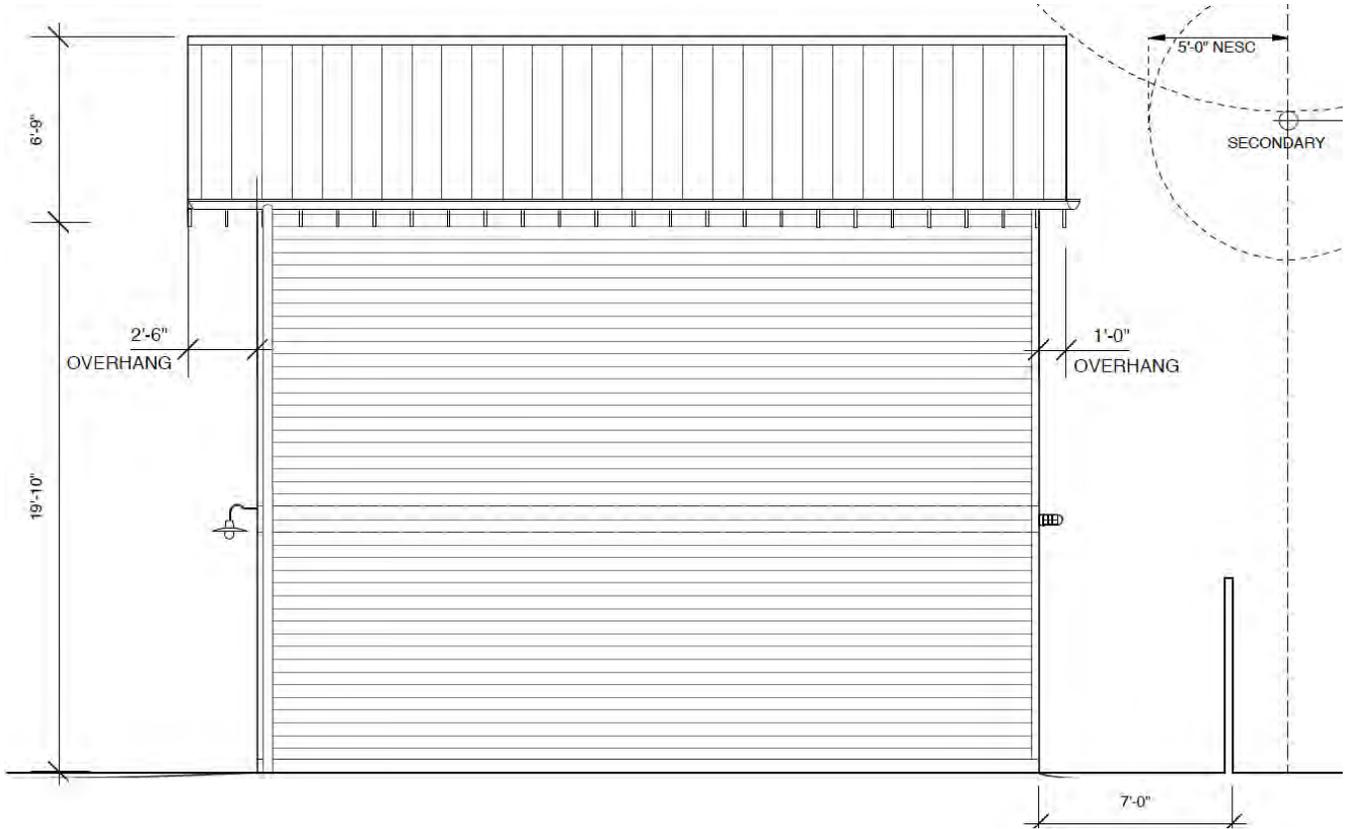


NORTH SIDE ELEVATION

PROPOSED

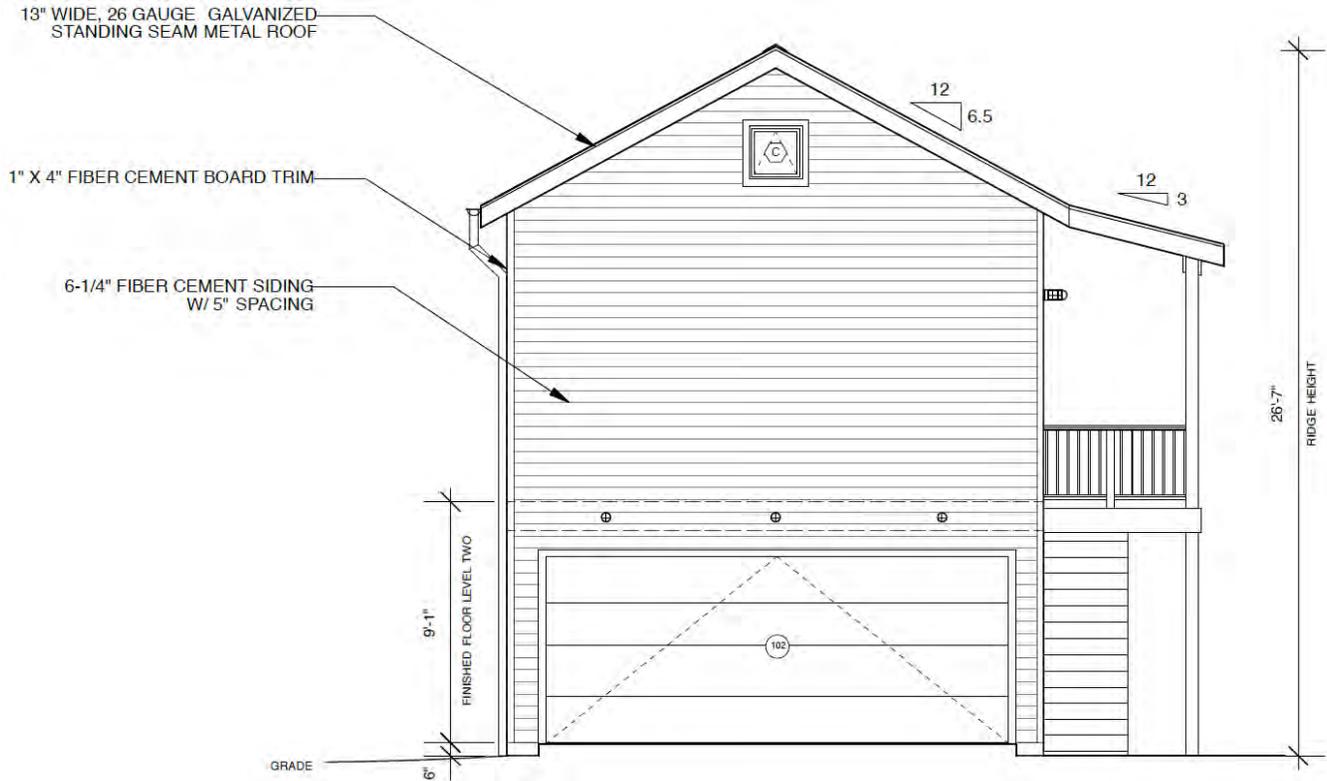


SOUTH SIDE ELEVATION
PROPOSED



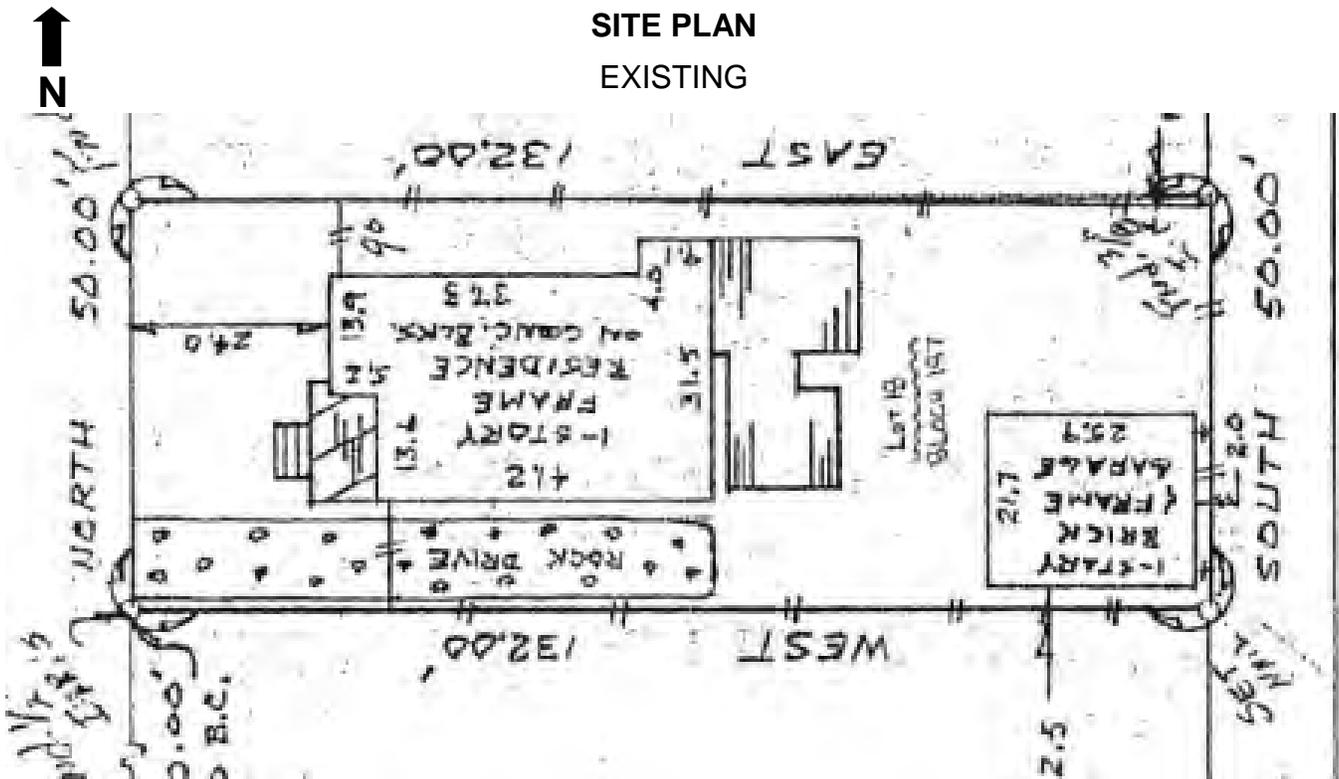
EAST (REAR) ELEVATION

PROPOSED

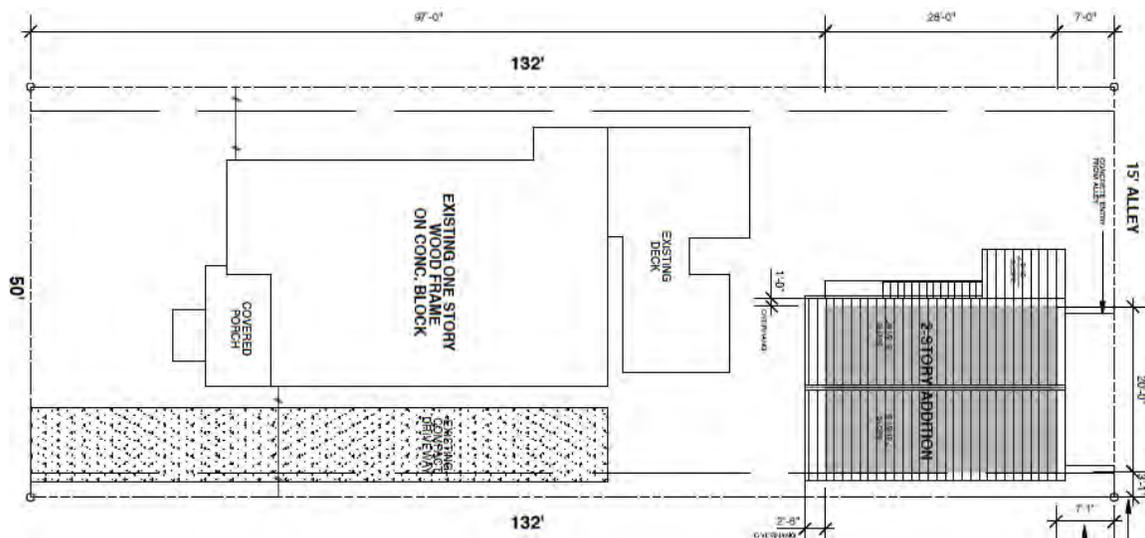


SITE PLAN

EXISTING



PROPOSED

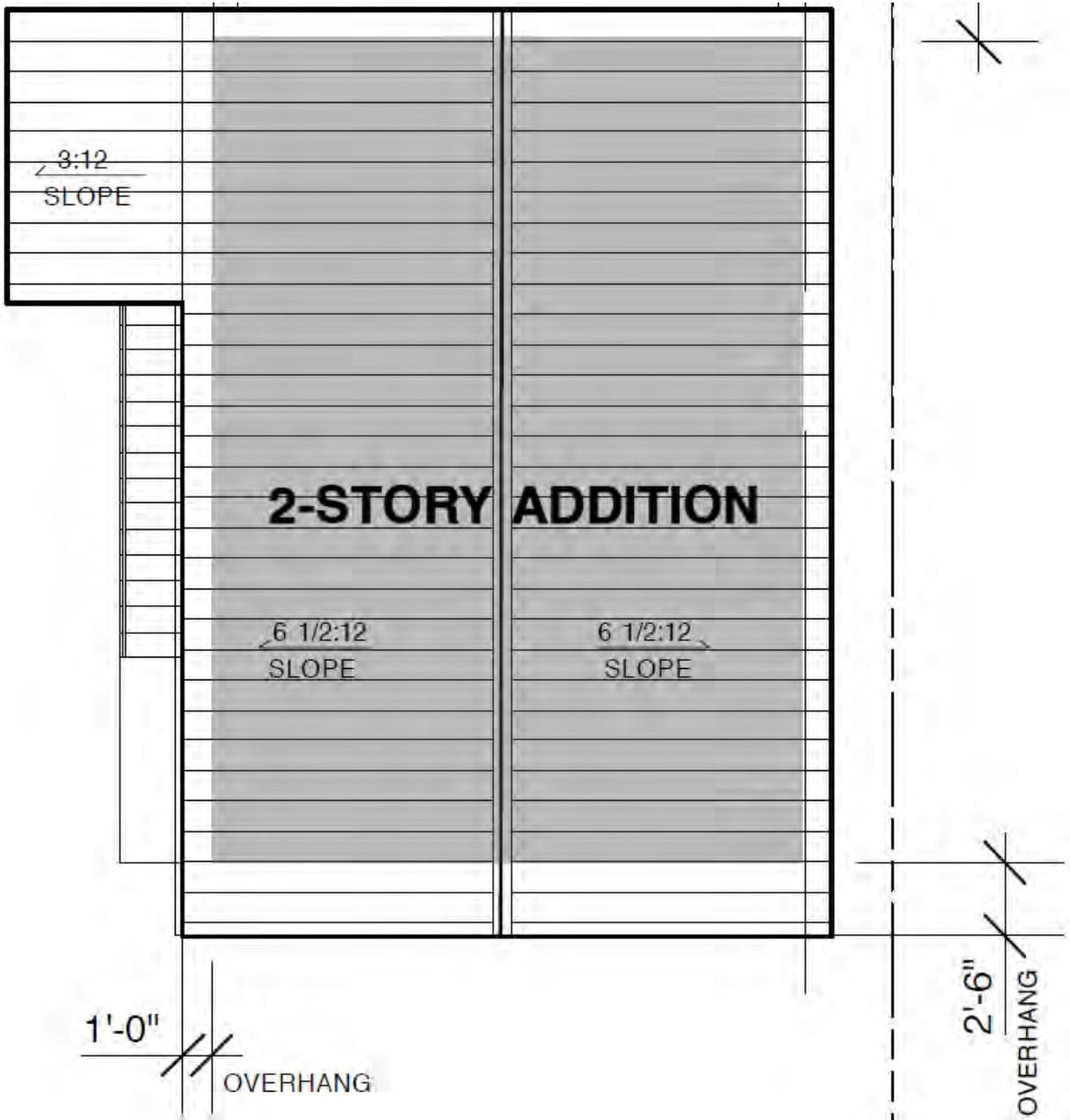


FOUNDATION FOOTPRINT



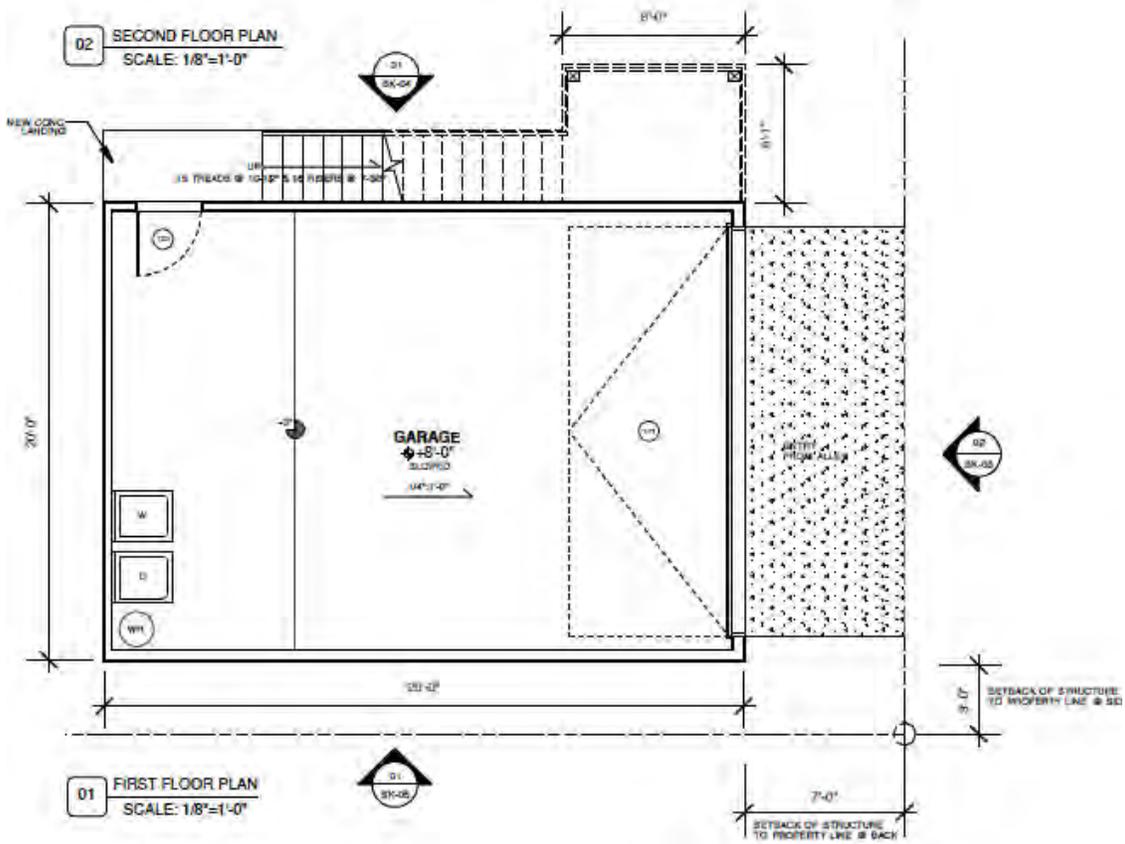
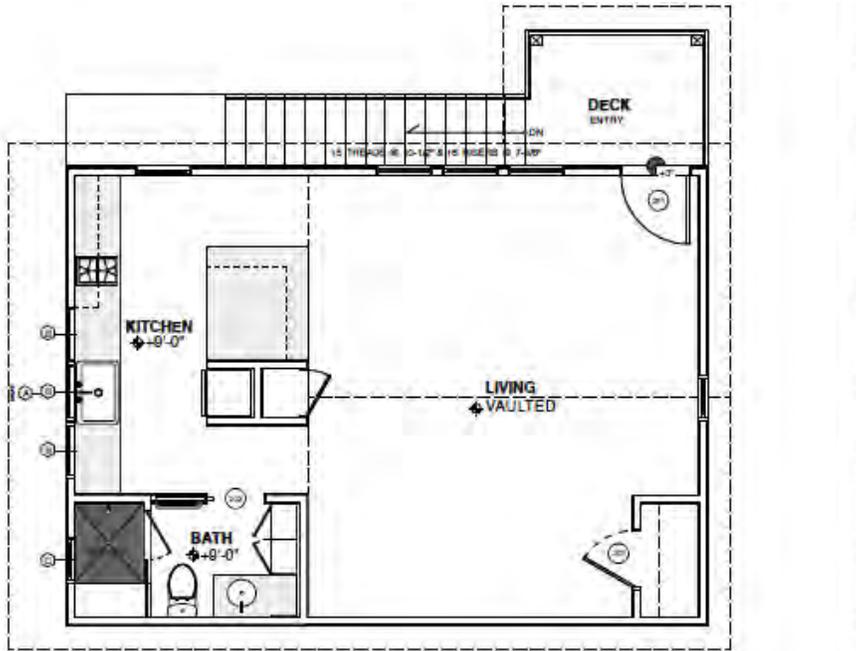
ROOF PLAN

PROPOSED





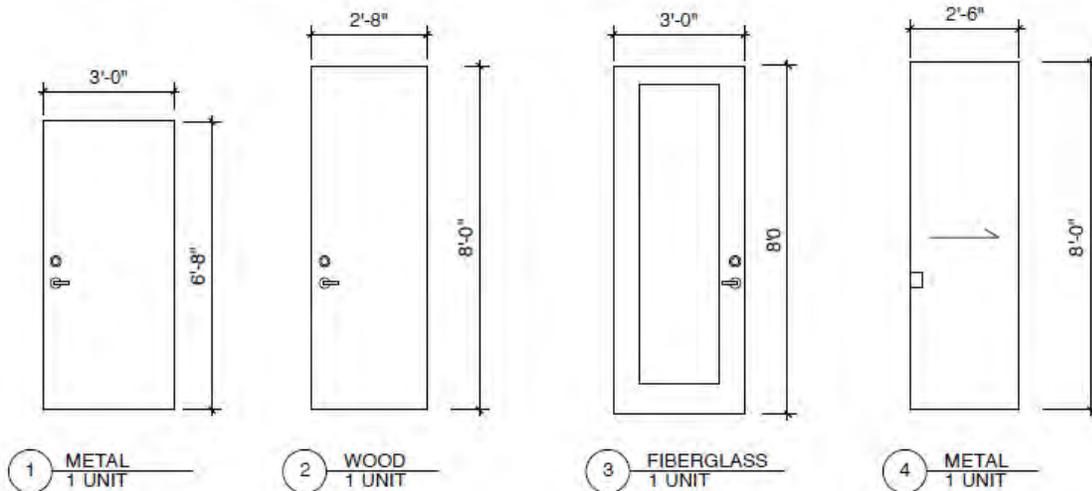
FLOOR PLANS
PROPOSED



WINDOW / DOOR SCHEDULE

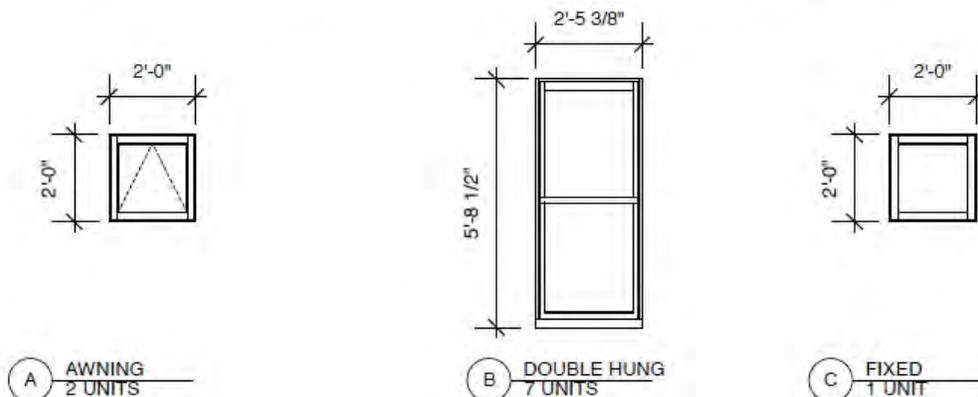
DOOR SCHEDULE

DOOR #	DOORS			SIZE			R.O.	MANUF.	REMARKS
	TYPE	MATRL	FINL	WIDTH	HEIGHT	THICK			
101	-	METAL-INSUL	PAINT	18"0"	70"			AMARR	GARAGE DOOR
102	1	METAL	PAINT	3'0"	6'8"			TBD	METAL
201	3	FIBER GLASS	PAINT	3'0"	8'0"			THERMA TRU	
202	4	WOOD	PAINT	2'6"	8'0"			TBD	POCKET DOOR
203	2	WOOD	PAINT	2'8"	8'0"			TBD	SOLID CORE



WINDOW SCHEDULE

	FRAME SIZE	ROUGH OPENING	TYPE	MATRL.	MFR.	REMARKS
A	2'-0" X 2'-0"	2'-3/4" X 2'-3/4"	AWNING	WOOD	JELD-WEN	TRADITION PLUS WOOD
B	5'-8 1/2" X 2'-5 3/8"	5'-9 1/4" X 2'-6 1/8"	DOUBLE HUNG	WOOD	JELD-WEN	TRADITION PLUS WOOD
C	2'-0" X 2'-0"	2'-3/4" X 2'-3/4"	FIXED	WOOD	JELD-WEN	TRADITION PLUS WOOD



ALLEY ACCESS SETBACK

Brett,

The distance issue is fine, what I need to know more about is the condition of the alley at this home. Is the alley paved all the way to the lot or do you need to provide plans to construct the alley from its current end to the far side of the driveway.

Thanks,

Richard P. Smith, P.E., PTOE, CFM

Managing Engineer - Office of City Engineer Public Works and Engineering | City of Houston

Phone: 832-394-9137 | [REDACTED]

HPC - 1002 Washington Ave., Houston Texas 77002

Matthew,

Alley is not paved. They can not afford this themselves and there hopes is getting the neighbors on board to help pay for this in the coming years. They will park on the existing drive from Arlington as they currently do.

Richard Smith is aware of this and is ok with the garage door facing an unpaved Alley. I have Cc:d Mr.

Smith.

Sincerely,

brettZAMOREDESIGN

Brett Zamore, AIA, LEED@AP | 1137 E 11th Street, Houston TX 77009 | [REDACTED] | 713.623.1926

PROJECT DETAILS

Shape/Mass: The proposed two-story alley loading garage will have 560 square feet of living space and 560 square feet of garage space. The proposed garage will have a width of 20'-0", a depth of 28'-0", and a ridge height of 26'-7". An exterior stairway will be located along the north elevation. A 6'-1" wide and 8'-0" deep landing will be located at the top of the stairs. The existing house is to remain and no alterations are proposed at this time. See drawings

Setbacks: The proposed garage will have a front (west) setback of 97'-0", a south side setback of 3'-1", a north side setback of 26'-11"; and a rear (east) setback of 7'-1". Although a 9'-0" setback would be more typical for an alley loading garage, Public Works does not have an issues with the proposed reduced setback. See drawings for more detail.

Foundation: The proposed garage will have a concrete slab on grade foundation with a 6" finished floor height. See drawings for more detail.

Windows/Doors: The proposed garage will have seven 1-over-1 wood double hung windows, two wood awning windows, and one wood fixed window. The proposed garage will have five doors. See window/door schedule and drawings for more detail.

Exterior Materials: The proposed garage will be clad with cementitious lap siding with a 5" reveal. See drawings for more detail.

Roof: The proposed garage will have a front facing asphalt shingle gable roof with a 6.5:12 pitch. The main structure will have an eave height of 19'-10". The side covered stair landing will have a shed roof with a pitch of 3:12 and an eave height of 18'-4". The front of the structure will have a 2'-6" roof overhang while the rest of the structure will have a 1'-0" roof overhang. See drawings for more detail.

Front Elevation: The proposed two-story alley loading garage will have no fenestration on the first-story. The second-story will have a centered group of three 1-over-1 double-hung windows. A single square awning window will be located to the south. The garage will have a front facing gable with a centered square awning window. To the north of the main garage structure will be a set of stairs leading to a covered landing. See drawings for more detail.

Side Elevation: The north elevation of the proposed garage will have a single door on the first-story on the western portion. The second-story will have a single double-hung window on the western portion and a group of three double-hung windows to the east. A single door will be located at the covered landing. The stairway will extend up along the north elevation. See drawings for more detail.

Side Elevation: The south elevation of the proposed two-story garage will have no fenestration on the first- or second-stories. See drawings for more detail.

Rear Elevation: The rear elevation of the residence and addition is not visible from the public Right-of-Way. See drawings for more detail.

**ATTACHEMENT A
PUBLIC COMMENT**

Houston Heights East Historic District Development Review Committee (ad-hoc)

Monthly Review Report

The DRC report for Certificate of Appropriateness Applications is as follows:

Month: May-15

Date of Report: 19-May-15

HAHC Action	Site Address	APPLICANT	COMPANY	PROPOSED ACTIVITY	DRC Response	DRC Vote
	1122 Arlington	Brett Zamore, AIA		New Const. - Garage	Support No Object Object	1 2
	1330 Cortlandt	Amanda Simons	Texas Solar Outfitters	New Const -Accessory Structure Rev.	Support No Object Object	1 2
	1330 Cortlandt	Alex Ridgeway/Amanda Simons	Brickmoon Design/ Texas Solar Outfitters	Alteration-Porch/Solar Panels/Columns Rev.	Support No Object Object	1 2
	1812 Harvard	Aaron Mendias	Cusimano Arch.	Alteration - Addition Non-contributing	Support No Object Object	1 2
	1213 Harvard	Nick Eronko	Bungalow Revival	Alteration - Windows Rev.	Support No Object Object	2* 2

*One support was from the owner - Jim Zucker, also a member of the DRC)

See Attached Detailed Response

HHEHD

1122 Arlington – Question use of square windows on street side elevation. Sets up view conflict with existing house. Large volume of proposed 2 story is out of context with the smaller one story existing house. Note 7'-1" garage setback along alley should be verified. 9' is usually required to exit and enter garage on alley.

1213 Harvard – Question replacement of existing single window with new double window. Reduces historical material and context. Recommend a single historical period window be obtained and used to replace the double window installed and matching siding be installed to complete difference in opening area.

1330 Cortlandt – Question need for square column replacement. No evidence that round columns were not original design. Recommend the applicant review offered 12 inch fiberglass round columns (Tuscan style) manufactured by Fiberglass Specialties Inc., P.O. Box 1340, Henderson, Tx 75653 (903) 657-6522. Don't have a problem with fiberglass replacements.

1330 Cortlandt solar panels – no objection when solar panels are placed on the non-contributing portion of the structure

1812 Harvard – House structure is overbuilt on lot. Already over volume. Proposed addition makes the condition worse. Not a typical context in the existing district.

J. Kent Marsh, AICP CUD
Vice President



8955 Katy Freeway, Suite 215
Houston, Texas 77024
tel 713.647.9880, ext. 301 | fax 713.647.6448
cell 832.444.4132

From: Mark R. Williamson [REDACTED]
Sent: Tuesday, May 19, 2015 11:59 AM
To: Kent Marsh
Subject: Re: May HAHC HHEHD applications

1122 Arlington — No Objection — Some concerns with garage towering over house

1330 Cortlandt (solar panels) — No Objection — On non-contributing sections, mostly out of sight

1330 Cortlandt (columns) — Object — Would become “Support” if evidence surfaced supporting original columns were square

1812 Harvard — Object — Already overbuilt for the district

1213 Harvard — Partial — Agree with staff and JKMarsh recommendations (restore the fenestration on the original portion)

On May 17, 2015, at 4:11 PM, Kent Marsh <[REDACTED]> wrote:

The staff reports for the May HHC meeting have been posted. Please review the HHEHD applications and provide your comments to me no later than next Tuesday noon. Thanks. J
Kent Marsh

Sent from my Verizon Wireless 4G LTE DROID

From: Brie Kelman [redacted]
Sent: Monday, May 18, 2015 1:48 PM
To: Kent Marsh
Subject: Re: May HAHC HHEHD applications

Houston Heights East

14. 1122 Arlington St, New Construction-Garage - Support  

15. 1330 Cortlandt St, New Construction-Accessory Structure Revision - Support. *Question: why are they required to get HAHC approval for this? "Roofing" material is clearly omitted from the HAHC jurisdiction. Therefore, solar panels on top of a roof should be as well, right? Also I do not understand why Staff is using the criteria for alterations, since this is clearly a "new construction"*  

16. 1330 Cortlandt St, Alteration-Porch/Solar Panels Revision - Support  

17. 1812 Harvard St, Alteration-Addition Noncontributing - Support  

18. 1213 Harvard St, Alteration-Windows Revision - Support *everything as-is built now (not only partial approval); I live directly next door and am pleased with the alteration/addition. I have been wondering why all the work stopped next door, and I desperately want to get this family back into their house - they have been out for over a year now with 3 very small children! Their youngest daughter has never lived in her family's real home. I respectfully request the Commission grant their approval as-is built now, not causing any further delay for this sweet family. We would like our neighbors back.*  

On Sun, May 17, 2015 at 4:11 PM, Kent Marsh <[redacted]> wrote:
The staff reports for the May HHHC meeting have been posted. Please review the HHEHD applications and provide your comments to me no later than next Tuesday noon. Thanks. J Kent Marsh

Sent from my Verizon Wireless 4G LTE DROID