

**CERTIFICATE OF APPROPRIATENESS**

**Application Date:** September 30, 2015

**Applicant:** Ben Dockrill & Oonagh Ryan, owners

**Property:** 415 E 9<sup>th</sup> Street, Tracts 13A & 14A, Block 227, Houston Heights Subdivision. The property includes a 2,712 square foot, two-story wood frame noncontributing single-family residence situated on a 6,600 square foot (66' x 100') interior lot.

**Significance:** Noncontributing new residence, constructed circa 2003, located in the Houston Heights Historic District South.

**Proposal:** Alteration – Construct a rear second story addition over an attached alley loading one-story garage on a two-story noncontributing residence.

- The addition will begin at the rear wall on the second floor and will measure 22' wide, 26' deep, 22'-11" to the eave, and 29'-1" to the ridge.
- Install three 1-over-1 vinyl sash windows and a single lite fixed vinyl window on the second floor east elevation of the existing residence.

See enclosed application materials and detailed project description on p. 5-13 for further details.

**Public Comment:** One who has expressed no objection. See Attachment A, pg.14.

**Civic Association:** No comment received.

**Recommendation:** Approval

**HAHC Action:** Approved

**CERTIFICATE OF APPROPRIATENESS**

**Basis for Issuance:** HAHC Approval  
**Effective:** October 22, 2015



**PLANNING &  
DEVELOPMENT  
DEPARTMENT**

COA valid for one year from effective date. COA is in addition to any other permits or approvals required by municipal, state and federal law. Permit plans must be stamped by Planning & Development Department for COA compliance prior to submitting for building or sign permits. Any revisions to the approved project scope may require a new COA.

**APPROVAL CRITERIA**

**ALTERATIONS TO NONCONTRIBUTING STRUCTURES**

Sec. 33-241(c): HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of any **noncontributing structure in an historic district** upon finding that the application satisfies the following criteria, as applicable:

**S D NA**

**S - satisfies D - does not satisfy NA - not applicable**

- (1) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance
- (2) For an addition to a noncontributing structure:
  - (a) The setback of the addition is no closer to the public right-of-way than the typical setback of existing contributing structures in the historic district;
  - (b) The height of the eaves of the addition to a noncontributing structure used or intended for use for residential purposes is not taller than the typical height of the eaves of existing contributing structures used for residential purposes in the historic district; and
  - (c) The height of an addition to a noncontributing structure used or intended for use for commercial purposes is not taller than the height of the existing structure.



PROPERTY LOCATION  
HOUSTON HEIGHTS HISTORIC DISTRICT SOUTH

**Building Classification**

- Contributing
- Non-Contributing
- Park



INVENTORY PHOTO



**SOUTH ELEVATION – FRONT FACING E 9<sup>TH</sup> STREET**

EXISTING

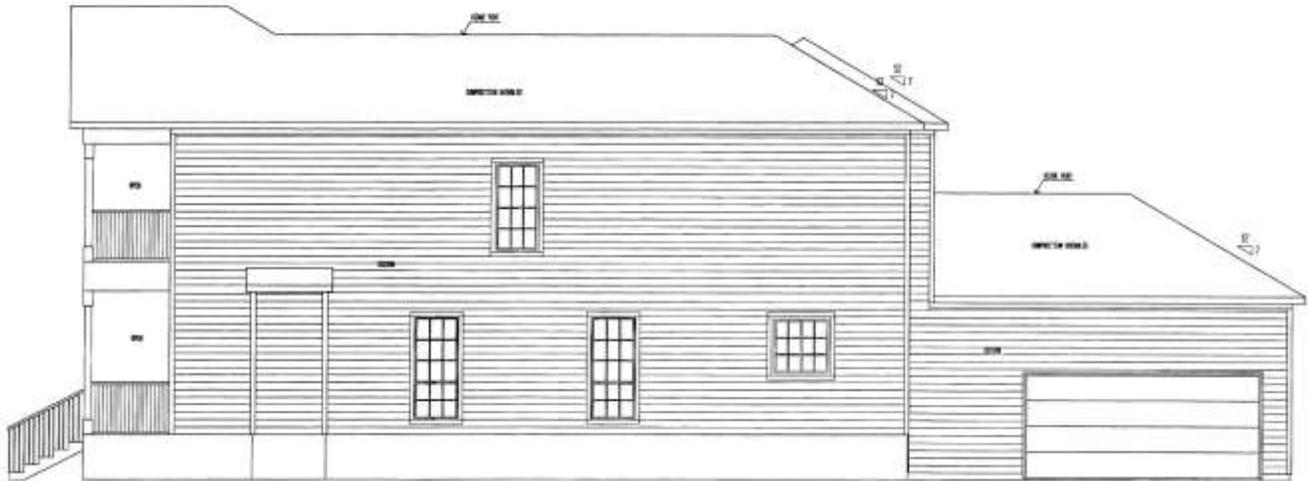


PROPOSED

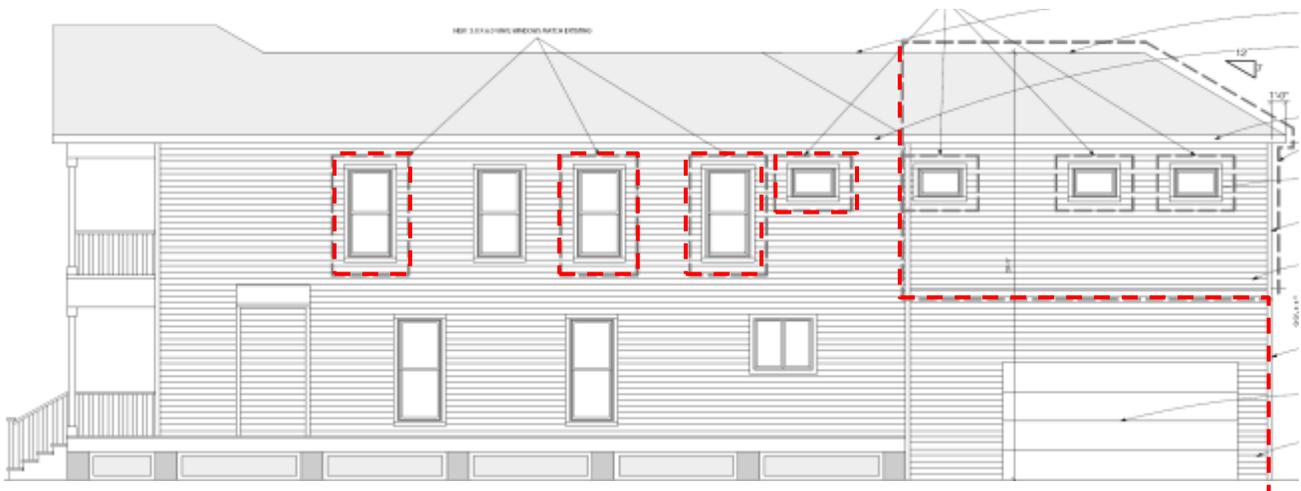


**EAST SIDE ELEVATION**

EXISTING



PROPOSED



WEST SIDE ELEVATION

EXISTING

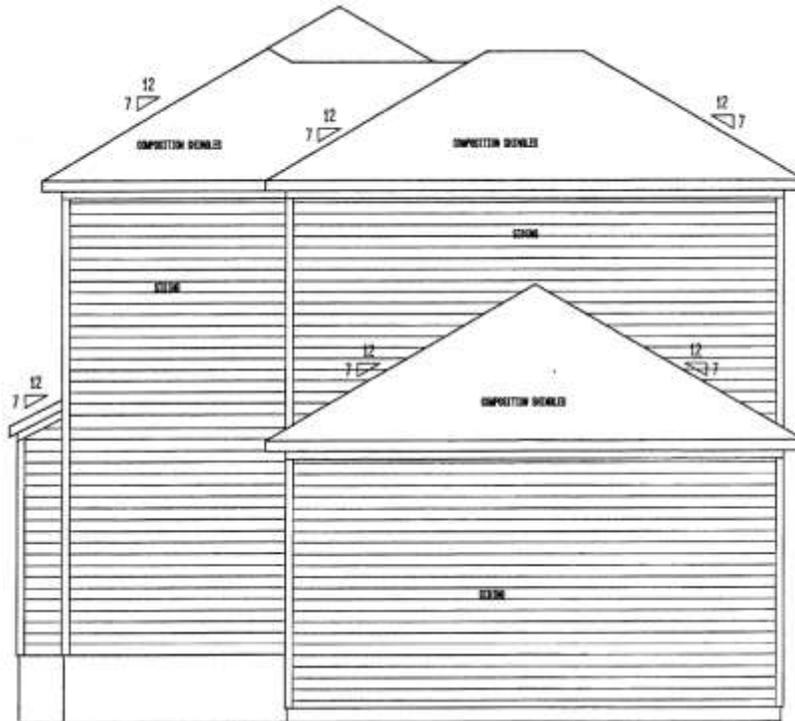


PROPOSED

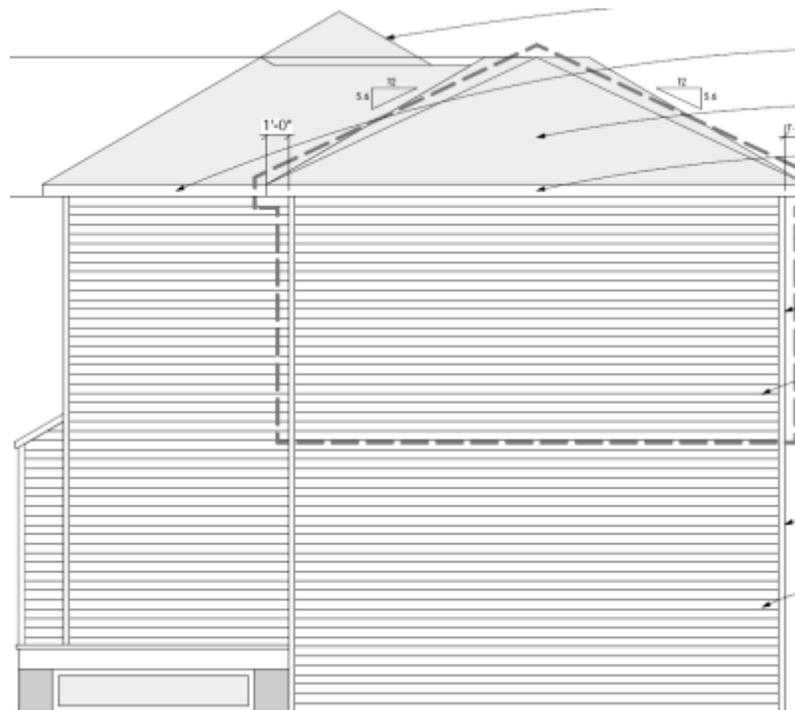


**NORTH (REAR) ELEVATION**

EXISTING



PROPOSED

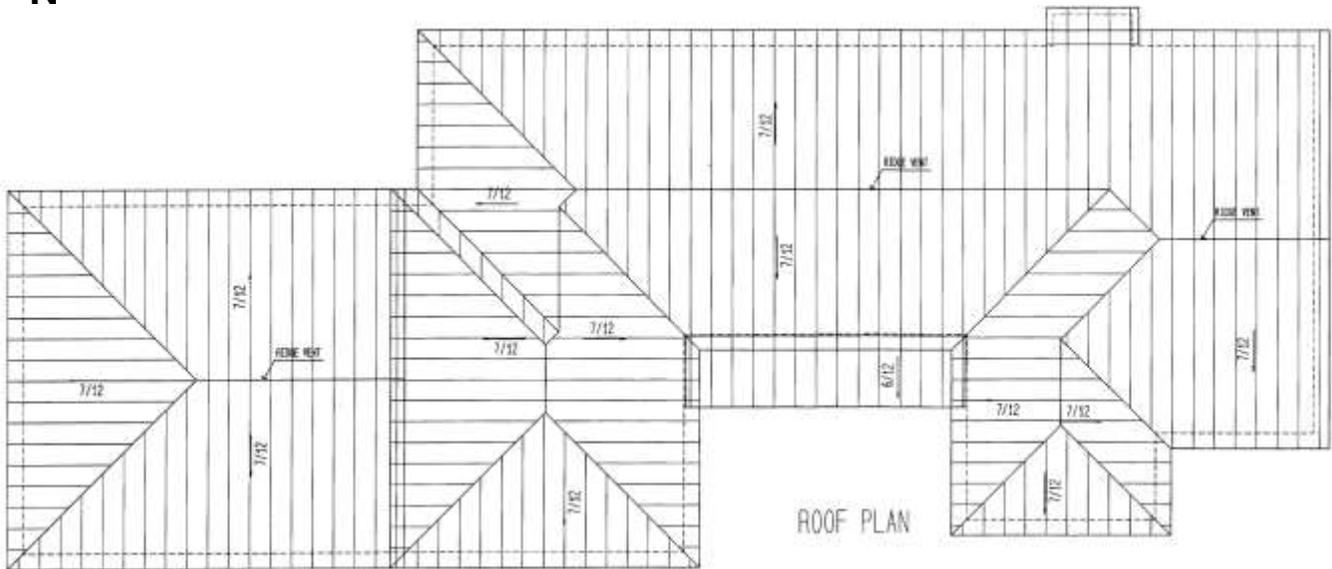




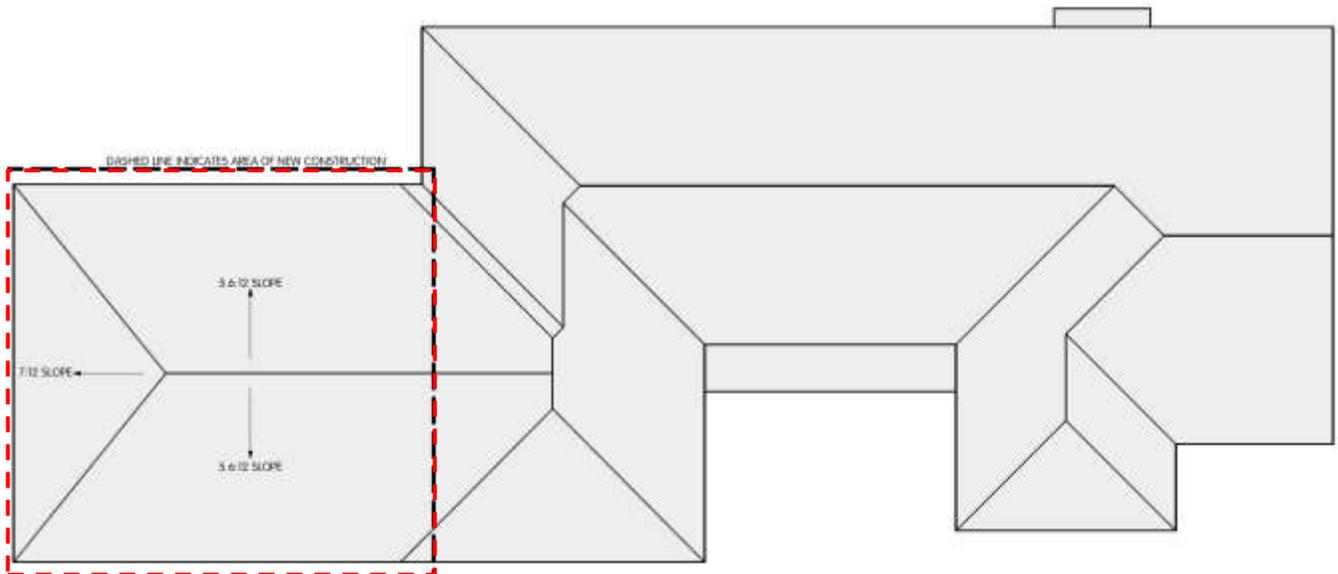


ROOF PLAN

EXISTING

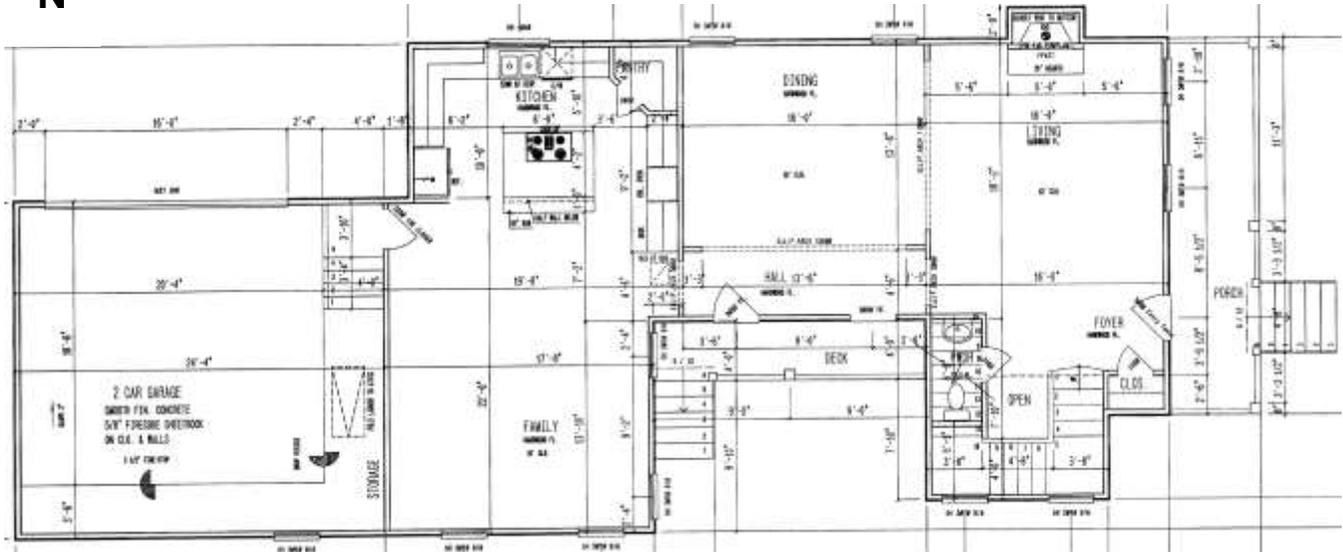


PROPOSED





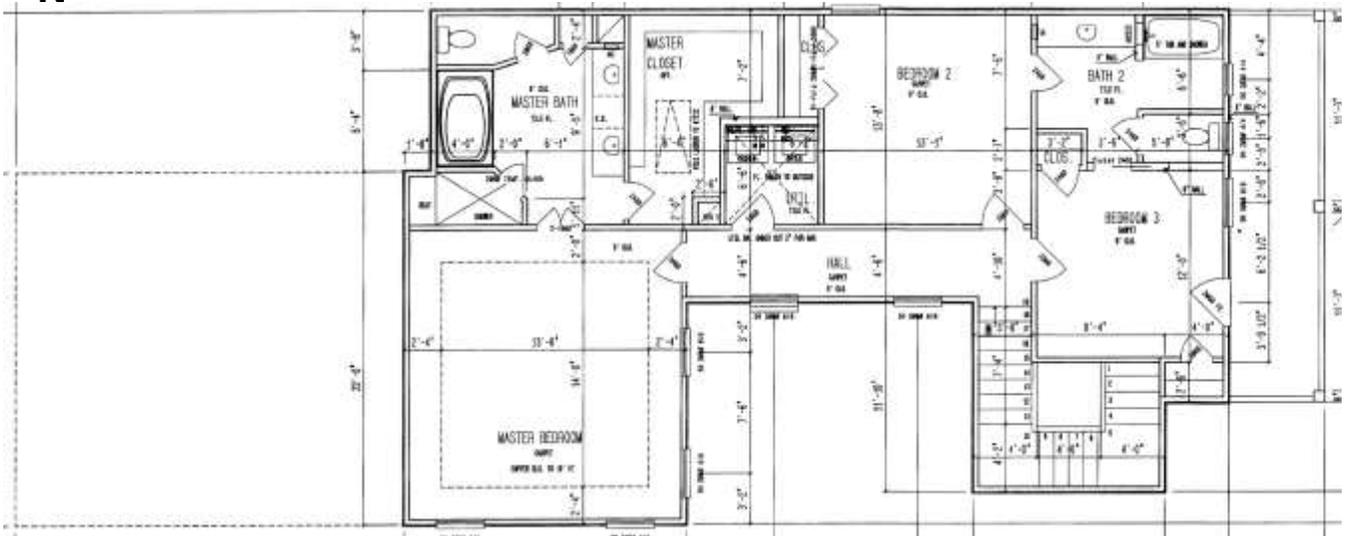
**FIRST FLOOR PLAN**  
*EXISTING – NO PROPOSED CHANGES*



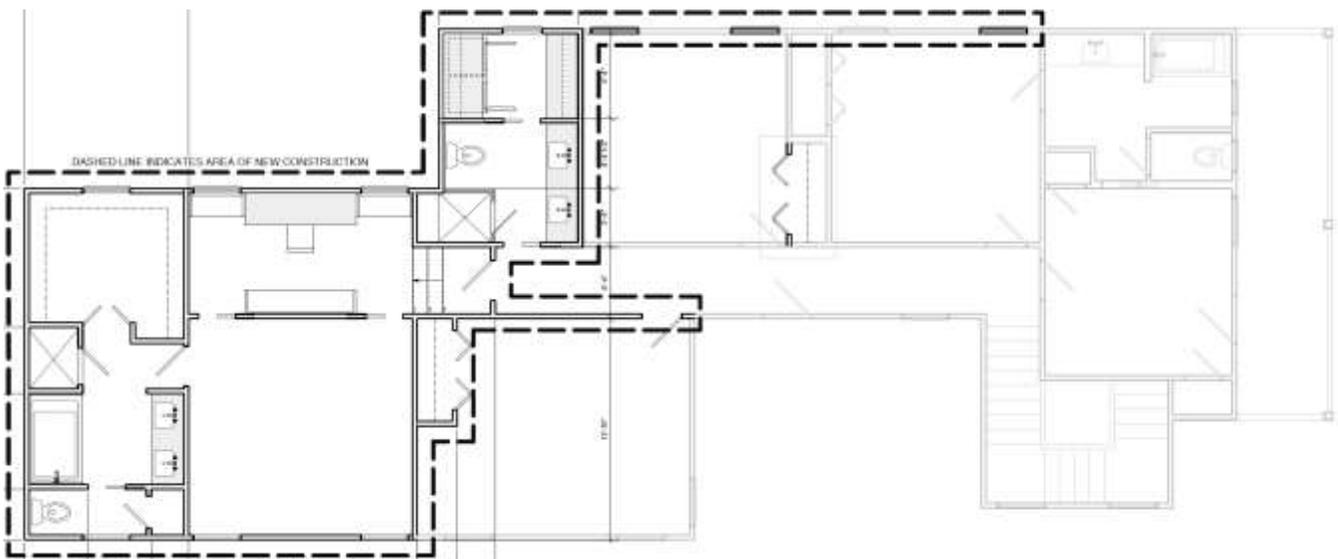


**SECOND FLOOR PLAN**

**EXISTING**



**PROPOSED**



**WINDOW / DOOR SCHEDULE**

## WINDOW SCHEDULE

Window	Window Type	Window Size	# of Windows
A	Dbl. Hung Vinyl	3.0X6.0	5
B	Fixed Vinyl	3.0X2.0	5

**PROJECT DETAILS**

**Shape/Mass:** The existing residence measures 32' wide overall, 76' deep on the first floor, 50' deep on the second floor, 22'-11" to the eave and 29'-1" to the ridge. The second floor addition will begin at the rear wall on the second floor over the attached garage and will measure 22' wide, 26' deep, 22'-11" to the eave, and 29'-1" to the ridge.

**Setbacks:** The residence is setback 21' from the front property line, 3', 5' and 17' from the side, east property line, 29' and 31' from the side, west property line, and 3' from the rear property line. The addition will be setback 17' from the side, east property line, 29' from the side, west property line, and 3' from the rear property line.

**Foundation:** The residence is built on a pier and beam foundation and the attached garage is built on a slab foundation.

**Windows/Doors:** The residence features vinyl 1-over-1 sash windows, and divided lite entry and french doors; all existing windows and doors will be retained. Three 1-over-1 vinyl sash windows and a single lite fixed window will be installed on the second floor of the existing residence. The addition will feature 1-over-1 vinyl sash windows and single lite fixed windows.

**Exterior Materials:** The residence is clad with cementitious horizontal lap siding. The existing lap siding will be retained. The addition will be clad with cementitious horizontal lap siding.

**Roof:** The existing residence features a gable on hip roof with a 7/12 pitch. The addition will feature a hip roof with a combination 5/12 and 7/12 pitch. The roof will be clad with composite shingles.

**Front Elevation:** Please see elevation drawings on pg. 5  
(South)

**Side Elevation:** Please see elevation drawings on pg. 6  
(East)

**Side Elevation:** Please see elevation drawings on pg. 7  
(West)

**Rear Elevation:** Please see elevation drawings on pg. 8  
(North)

**ATTACHMENT A**  
**PUBLIC COMMENT**

**From:** Kent Marsh  
**Sent:** Monday, October 19, 2015 11:10 AM  
**To:** DuCroz, Diana - PD  
**Cc:** CNL District C  
**Subject:** October 2015 Houston Heights South Historic District Certificate of Appropriateness Applications

The following are my comments regarding proposed Certificates of Appropriateness for the HHSHD:

301 E 10<sup>th</sup> St. – OBJECT – The historic character of the existing structure is significantly reduced with the proposed 2<sup>nd</sup> floor addition to the attached garage. The historic form is severely changed to a higher volume massing and less visual differentiation between the existing and the addition. This proposal results in the unnecessary removal of historic structural elements. The building volume to ground surface ratio is much greater than is typically found in the District.

415 E 9<sup>th</sup> St – NO OBJECTION

426 Arlington St. – NO OBJECTION

511 Arlington St. – DEFER TO CITY BUILDING INSPECTOR DETERMINATION/RECOMMENDATION

612 Arlington St. – NO OBJECTION

716 Arlington St. – NO OBJECTION

1020 Arlington St. – OBJECT – The proposed addition makes a bad condition even worse. The resulting building volume of 4819 SF will provide a building volume to land surface ratio much greater than typically found in the District and the proposal is not in context with the historic character of the District.

J. Kent Marsh, AICP CUD  
Vice President



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