

CERTIFICATE OF APPROPRIATENESS

Application Date: September 30, 2015

Applicant: Troy Schaum, Schaum Shieh, for Steve A. Radom, Radom Capital LLC., owner

Property: 420 E 20th Street, Lot 1 & 2 and Tract 3A, Block 107, Houston Heights Subdivision. The property includes a noncontributing 5,200 square foot brick clad one-story commercial storefront structure situated on a 17,820 square foot (132' x 135') corner lot.

Significance: Noncontributing commercial storefront structure, constructed circa 1955, located in the Houston Heights Historic District East.

Proposal: Alteration – Alter the existing noncontributing storefront building. The alterations will not expand the existing footprint of the building and will include the following work:

- Replace the existing metal and glass storefront system with a new metal and glass storefront system
- Install a round window on the façade and six additional windows on the west elevation

In March 2015, the HAHC granted a COA for the replacement of the storefronts.

See enclosed application materials and detailed project description on p. 4-17 for further details.

Public Comment: One in favor and one with No Objection. See Attachment A.

Civic Association: No comment received.

Recommendation: Approval

HAHC Action: Approved

CERTIFICATE OF APPROPRIATENESS

Basis for Issuance: HAHC Approval
Effective: October 22, 2015



**PLANNING &
DEVELOPMENT
DEPARTMENT**

COA valid for one year from effective date. COA is in addition to any other permits or approvals required by municipal, state and federal law. Permit plans must be stamped by Planning & Development Department for COA compliance prior to submitting for building or sign permits. Any revisions to the approved project scope may require a new COA.



PROPERTY LOCATION

HOUSTON HEIGHTS HISTORIC DISTRICT EAST



420 E 20th

- Building Classification**
- Contributing
 - Non-Contributing
 - Park

INVENTORY PHOTO



CURRENT PHOTO



ADDITIONAL PHOTOS



East Elevation (Facing Columbia St)



West Elevation (Facing Alley)



South Elevation (rear)



North Elevation (front)

3D RENDERING – FRONT FACING E 20TH STREET

PROPOSED



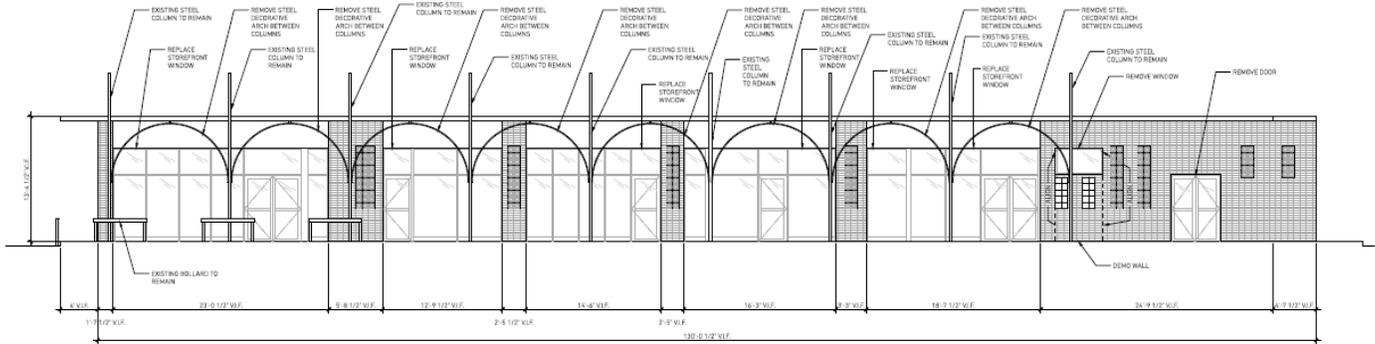
COMPONENT DRAWING



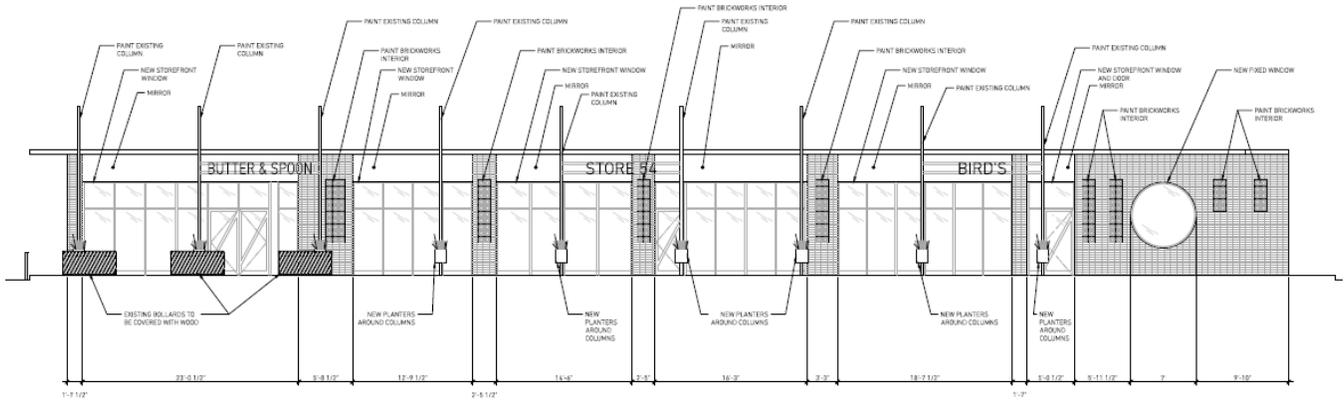
SCH / 420 EAST 20TH STREET
SH

Axonometric view
09/29/2015

NORTH ELEVATION – FRONT FACING E 20th Street
EXISTING

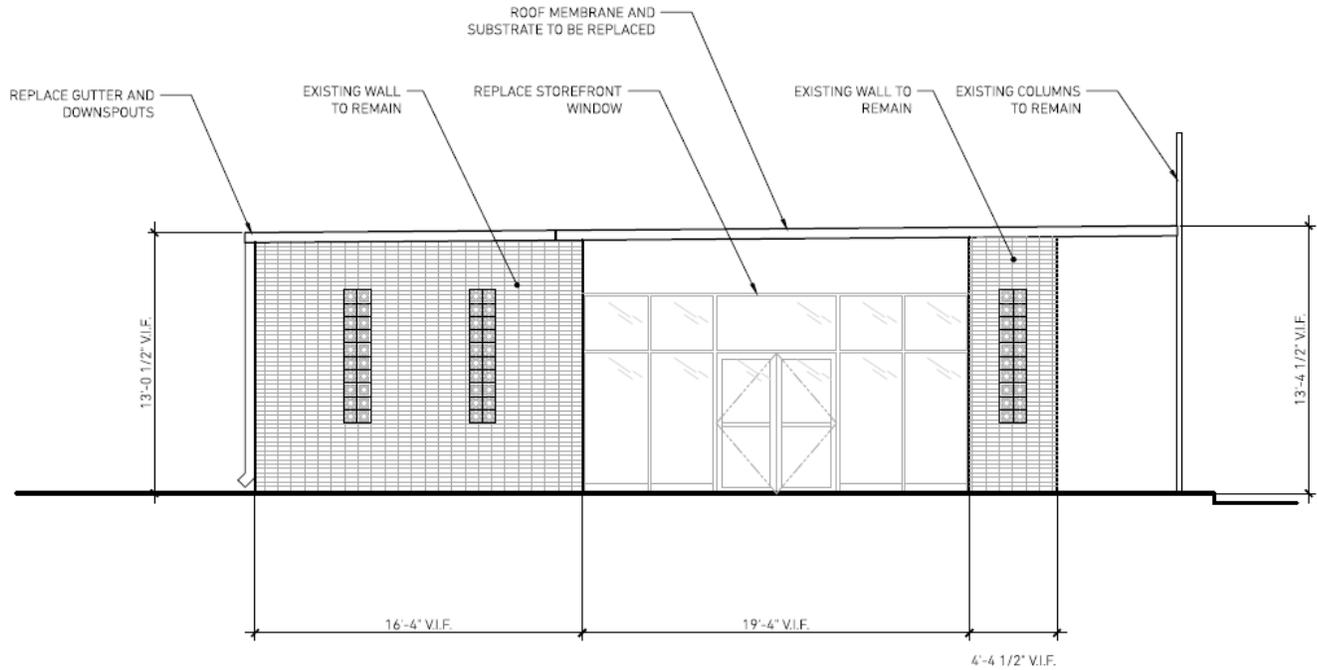


PROPOSED

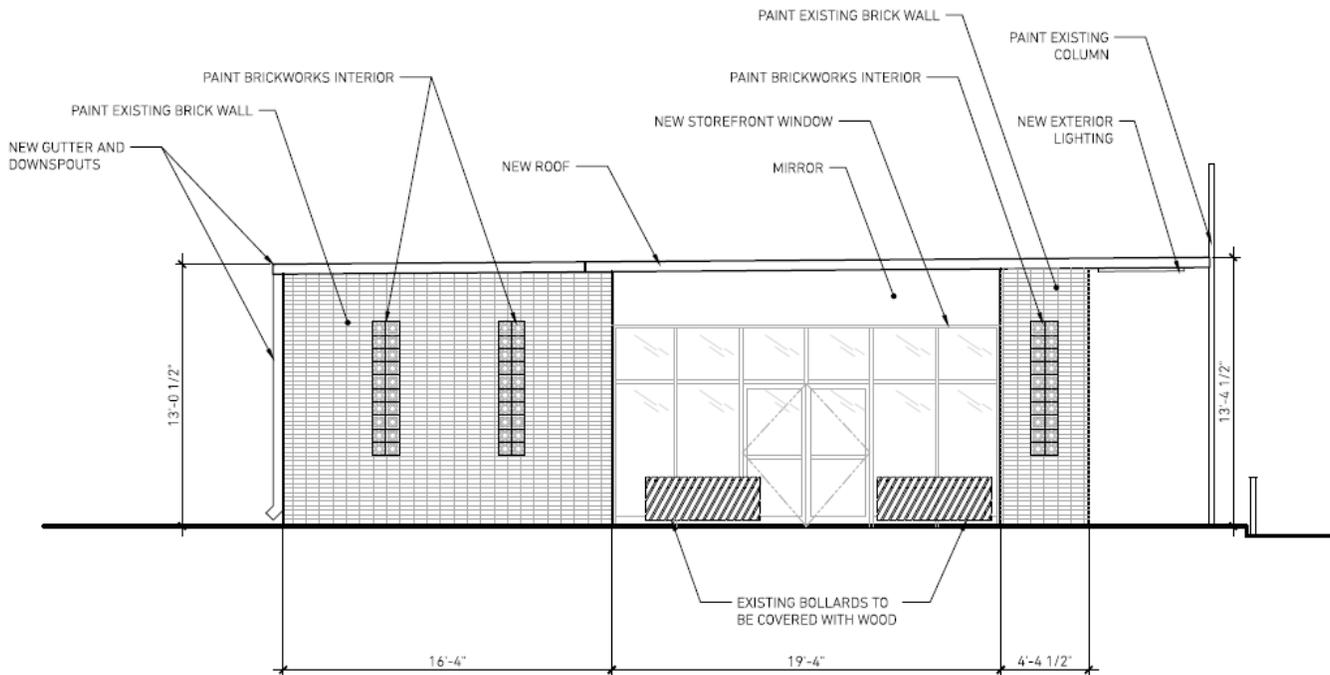


EAST SIDE ELEVATION

EXISTING / DEMO

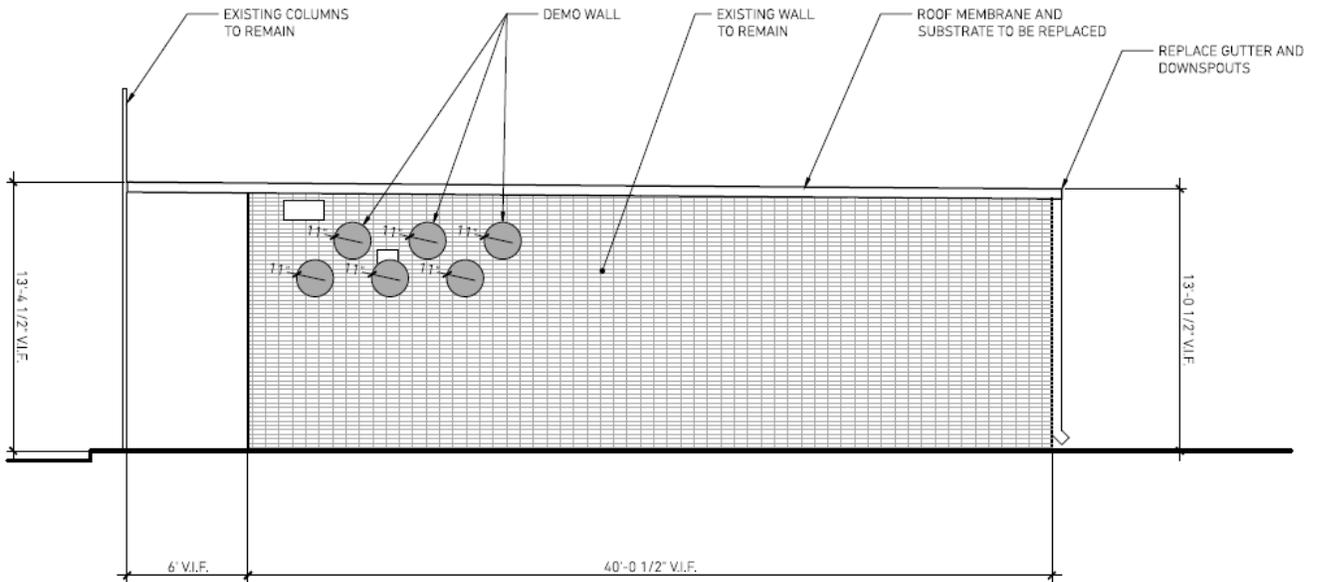


PROPOSED

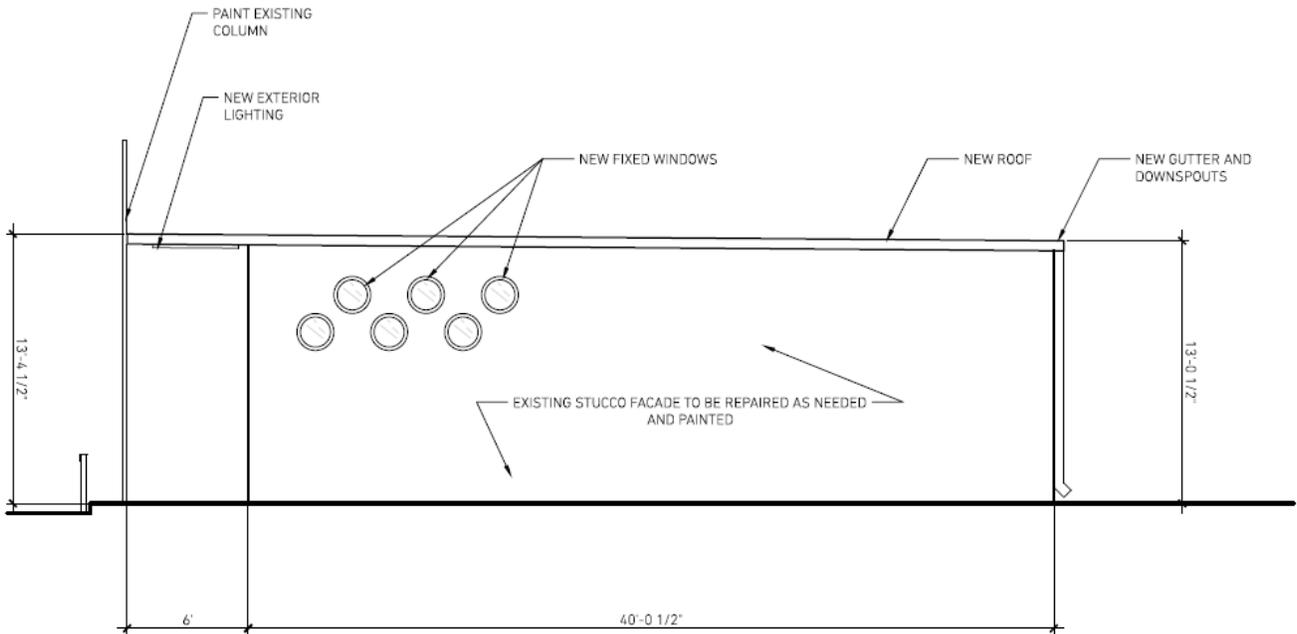


WEST SIDE ELEVATION

EXISTING / DEMO

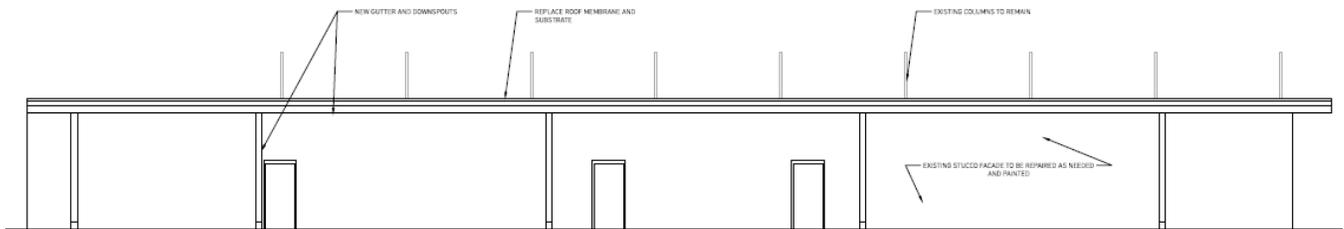


PROPOSED



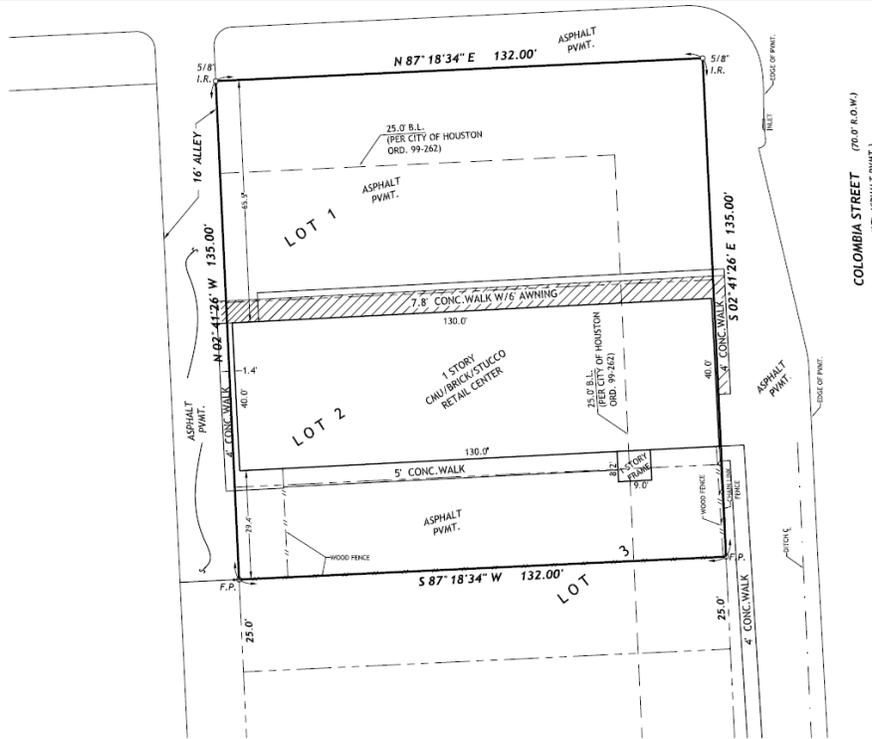
SOUTH (REAR) ELEVATION

EXISTING (NO CHANGE)

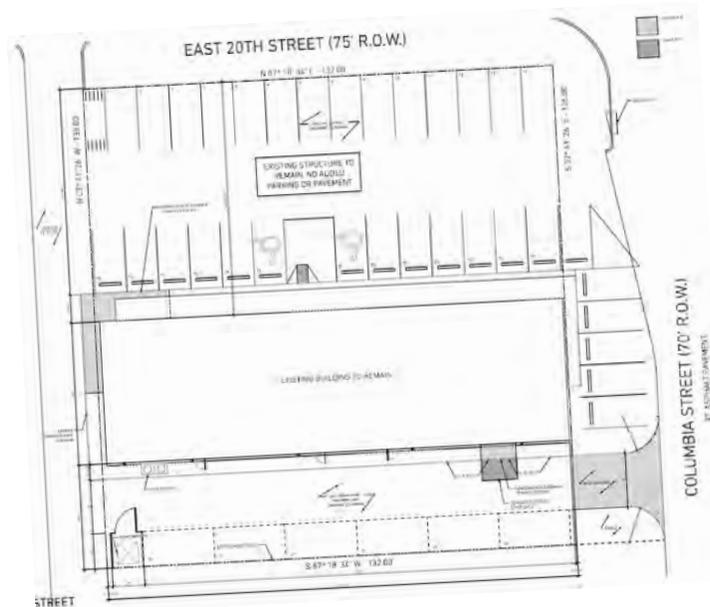




SITE PLAN
EXISTING



PROPOSED



WINDOW / DOOR SCHEDULE



PROJECT DETAILS

Shape/Mass: The existing commercial storefront building has a maximum width of 130'-0 3/4" and a maximum depth of 40'-0 1/4". The existing structure has a maximum height of 13'-4 1/4". The proposed alteration will not change the existing footprint of the structure. A shed canopy extends 6'-0" over the front of the building and 4' along the 31' of the east elevation. See drawings for more detail.

Setbacks: The existing structure has front (north) setback of 65'-6"; a west side setback of 6 1/2"; an east side setback of 1'-4 1/4"; and a rear setback of 29'-3 3/4". The existing setbacks will not be altered. See drawings for more detail.

Windows/Doors: The existing commercial building has a metal and glass storefront system. The existing storefront system will be removed and replaced with a new metal and glass part storefront system similar to existing. The proposed system will feature a 6'-4" tall bottom window and a 2'-10" tall top window. The proposed 4 new entrance doors will be 7'-0" tall by 3'-0" wide and will be constructed from aluminum and glass. A single 7' diameter circular window will be installed on the façade where a set of doors currently exists (the doors will be removed). Six 1'-10" diameter circular windows will be installed on the west side elevation. The circular windows will also be constructed from aluminum and glass. See drawings for more detail.

Exterior Materials: The existing commercial storefront building is clad in brick featuring a stacked configuration. Portions of the building feature decorative brickwork on the piers between the bays as well as the east wall (facing Columbia Street). The rest of the building features a metal and glass storefront. The area above the storefronts is currently covered in plywood panels. The north and west elevations feature stucco walls.

The existing brick cladding will be retained along with the decorative brickwork. The storefronts will be replaced with new metal and glass storefronts. The plywood above the storefronts will be replaced with mirror panels. The stucco walls of the north and west elevations will be repaired. The existing decorative columns in the front elevation will remain and be painted (the arches connecting them will be removed). Proposed new tenant signage will be presented at future HAHC meetings. See drawings for more detail.

Roof: The existing roof will be retained and repaired if necessary. A new TPO roof will be installed, which will be unseen from the street. See drawings for more detail.

Front Elevation: The existing brick clad commercial storefront building is comprised of six bays. Each bay is delineated by a brick pier of varying widths. Some of the piers feature decorative brickwork. All of the bays feature glass storefront systems with the exception of the westernmost bay, which features a door and a fixed window but no storefront windows. A shed roof and canopy extend over the front and east portion of the building.

(North)

The existing storefronts will be removed and replaced with new storefronts that match the existing design. The westernmost bay will be opened where the existing door is located and a new 7 foot diameter circular window will be incorporated to the facade. The existing columns will be maintained, removing only the thin steel decorative arch between columns. The existing parking bollards will be repaired and wrapped with new veneers as shown in the enclosed renderings. See drawings for more detail.

Side Elevation: The existing east elevation consists of two bays. The southern bay features a brick wall with two vertical strips of decorative brickwork. The northern bay features a storefront.

(East)

The existing storefronts will be removed and replaced with new storefronts that match the existing design. See drawings for more detail.

Side Elevation: The west elevation features a solid stucco wall with no fenestration.

(West) The existing stucco wall will be repaired and prepped for painting. Six new circular windows will be added to this side elevation. See drawings for more detail.

Rear Elevation: The existing stucco wall will be repaired and prepped for painting. No new openings will be made on this elevation. Gutters and Downspouts will be repaired or replaced as needed. See drawings for more detail.

ATTACHMENT A

PUBLIC COMMENT

From: Kent Marsh
Sent: Monday, October 19, 2015 10:53 AM
To: DuCroz, Diana - PD
Subject: October 2015 HAHC Houston Heights East Historic District Certificates of Appropriateness Applications

The following are my comments regarding input from a homeowner within the HHEHD:

420 E. 20th St – SUPPORT – Recommend a minimum 5 foot wide sidewalk on Columbia Street

1141 Harvard – OBJECT – The visual massing of the proposed addition reduces the visual significance of the existing historic structure to a secondary visual element and is not in context with the visual importance of the mass of existing historic structures within the HHEHD. The existing windows in the historic structure should remain. The proposed addition should be re-configured to the rear of the property and a “hyphen” connector with the existing historic structure should be considered.

1245 Cortlandt St. – OBJECT – The change in relative massing between the existing structure and the proposed addition is not compatible with the existing historic character of the HHEHD. The encroachment into the existing historic structure is not essential and should be eliminated. Additional room on the site for structural differentiation between the existing structure and the proposed addition is available and should be used to provide the correct context for the perceived scale/massing of this corner lot. There is no need for existing historic material to be removed from the existing historic structure.

1515 Oxford – OBJECT – There are many elements in the proposed design that are not typical within the HHEHD. These include: antique brick, 9 lite over single lite windows, faux window shutters, multiple square windows, brick foundation surround, and brick walls on the first floor of a two story structure. These proposed elements should not be introduced into the existing visual context of the historic district as continued inclusion will dilute the historic character of the District. New construction design should be compatible with elements found in the historic district. The proposed building volume to land surface ratio exceeds 55% which is significantly greater than the typical ratio found within the HHEHD.

1616 Cortlandt - SUPPORT

J. Kent Marsh, AICP CUD
Vice President



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Based on a brief scan:

420 E 20th - no objection

1141 Harvard - object - addition too massive (not sure staff's suggestion about moving the garage back helps)

1245 Cortlandt - some concern - addition suitably modest, but still looms large in dead-on front view; wish we had perspective views from street level

1515 Oxford (no staff report?) - concern - too massive for location

1616 Cortlandt garage revision - support revision

—Mark