

**CERTIFICATE OF APPROPRIATENESS**

**Application Date:** September 30, 2015

**Applicant:** Mike Shelton, Harvard Heights Construction for Marcus Wagner, owner

**Property:** 1616 Cortlandt St, Lots 17 & 18, Tracts 16 & 19, Block 115, Houston Heights Subdivision. The property includes a historic 2,419 square foot, one and a half-story wood frame single-family residence and a detached garage situated on an 18,150 square foot (132' x 137.5') interior lot.

**Significance:** Contributing Modified L-plan Queen Anne style residence, constructed circa 1913, located in the Houston Heights Historic District East.

**Proposal:** New Construction – Construct a 1,800 square foot, two-story garage at the rear of the lot. The applicant received a certificate in July 2015 and is proposing the following revisions:

- Extend the first floor 4' forward the give a total depth of 38.5"
- Shift the structure to the north 1' and to the rear 1'

See enclosed application materials and detailed project description on p. 4-16 for further details.

**Public Comment:** Two in support. See Attachment A, pg. 17.

**Civic Association:** No comment received.

**Recommendation:** Approval

**HAHC Action:** Approved

**CERTIFICATE OF APPROPRIATENESS**

**Basis for Issuance:** HAHC Approval  
**Effective:** October 22, 2015



**PLANNING & DEVELOPMENT DEPARTMENT**

COA valid for one year from effective date. COA is in addition to any other permits or approvals required by municipal, state and federal law. Permit plans must be stamped by Planning & Development Department for COA compliance prior to submitting for building or sign permits. Any revisions to the approved project scope may require a new COA.

**APPROVAL CRITERIA**

**NEW CONSTRUCTION IN A HISTORIC DISTRICT**

Sec. 33-242: HAHC shall issue a certificate of appropriateness for new construction in a historic district upon finding that the application satisfies the following criteria:

**S D NA**

**S - satisfies D - does not satisfy NA - not applicable**

- (1) The new construction must match the typical setbacks of existing contributing structures in the historic district
- (2) The exterior features of new construction must be compatible with the exterior features of existing contributing structures in the historic district
- (3) The proportions of the new construction, including width and roofline, must be compatible with the typical proportions of existing contributing structures and objects in the historic district
- (4) The height of the eaves of a new construction intended for use for residential purposes must not be taller than the typical height of the eaves of existing contributing structures used for residential purposes in the historic district; and
- (5) The height of new construction intended for use for commercial purposes must not be taller than the typical height of the existing structures used for commercial purposes in the historic district.



PROPERTY LOCATION  
HOUSTON HEIGHTS HISTORIC DISTRICT EAST

**Building Classification**

- Contributing
- Non-Contributing
- Park



CURRENT PHOTO



PHOTO PROVIDED BY APPLICANT



WEST ELEVATION – FRONT FACING CORTLANDT STREET

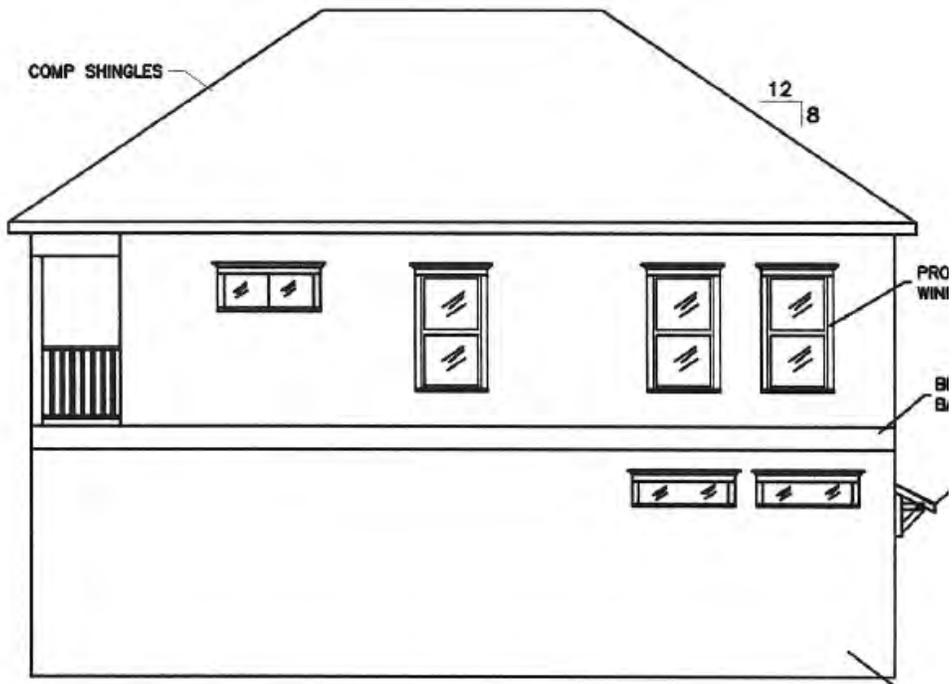
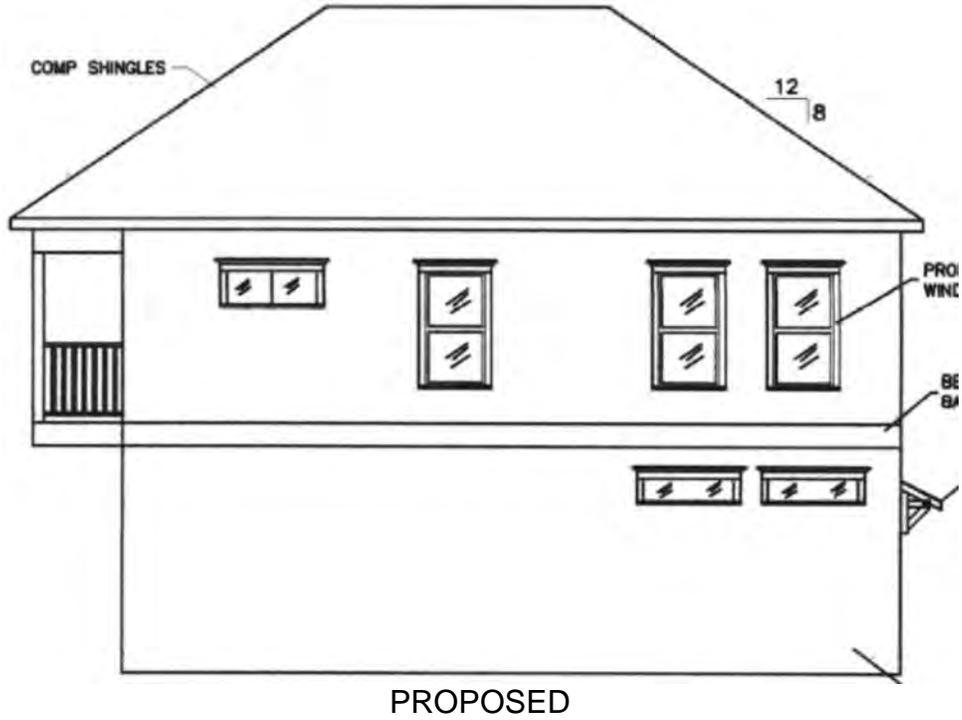
APPROVED 07/22/2015

PROPOSED



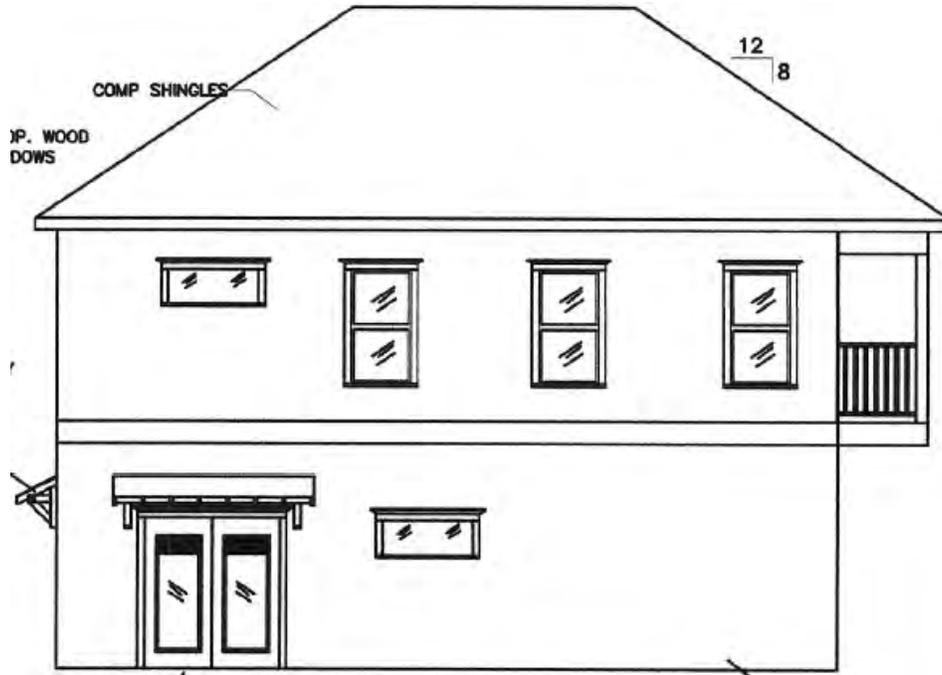
**SOUTH SIDE ELEVATION**

APPROVED 07/22/2015

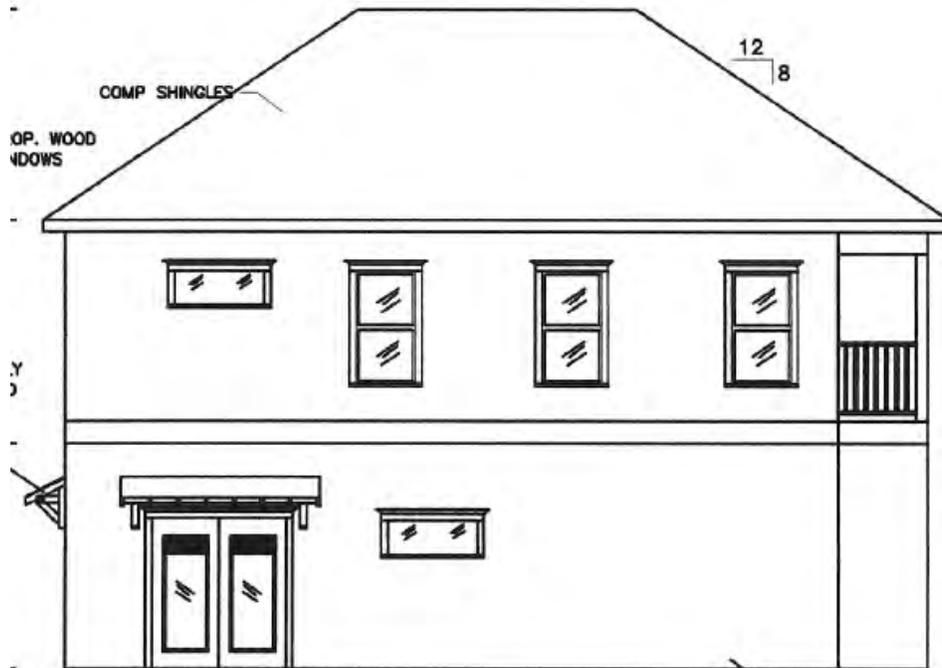


**NORTH SIDE ELEVATION**

APPROVED 07/22/2015



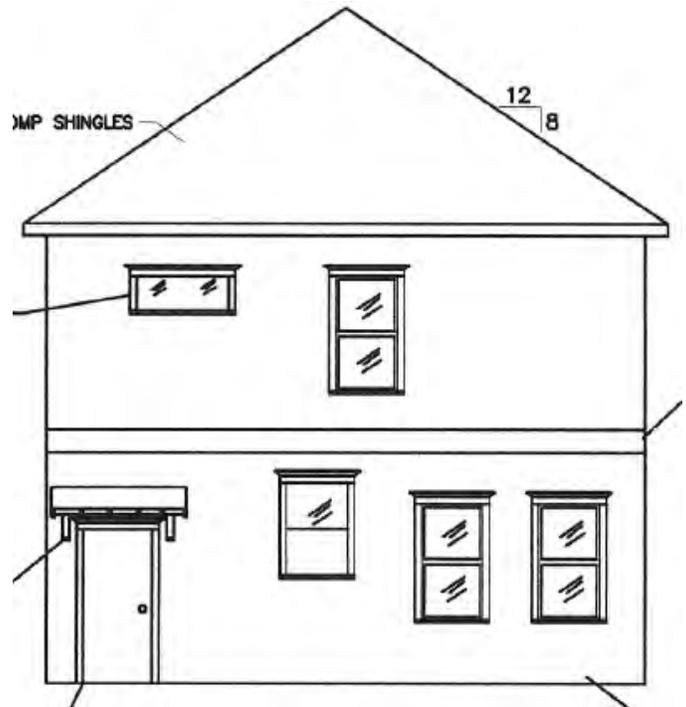
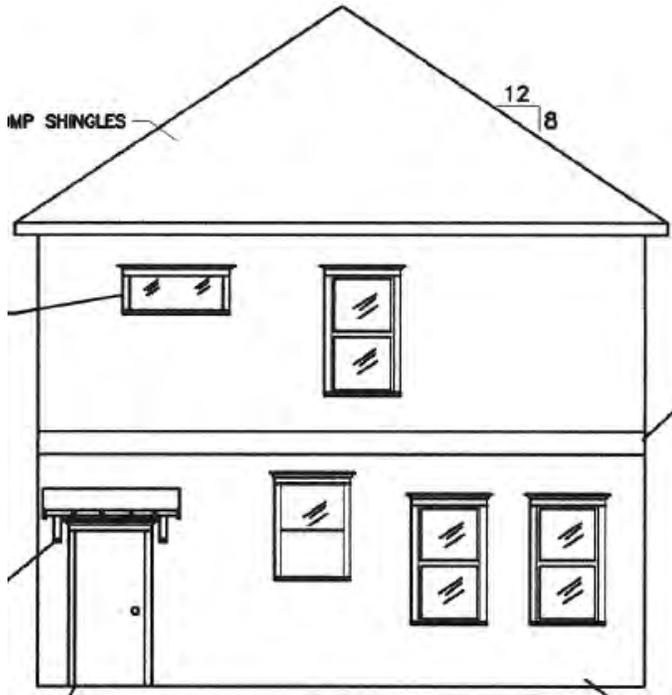
**PROPOSED**



**EAST (REAR) ELEVATION**

APPROVED 07/22/2015

PROPOSED

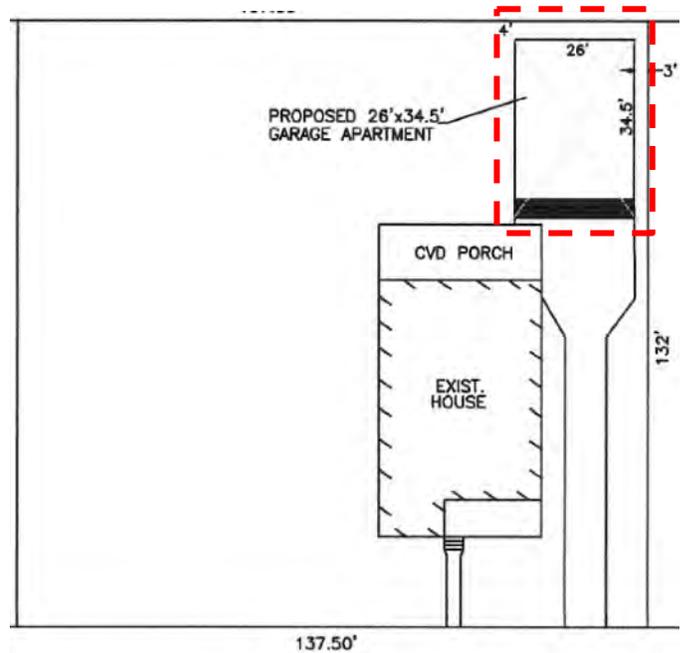
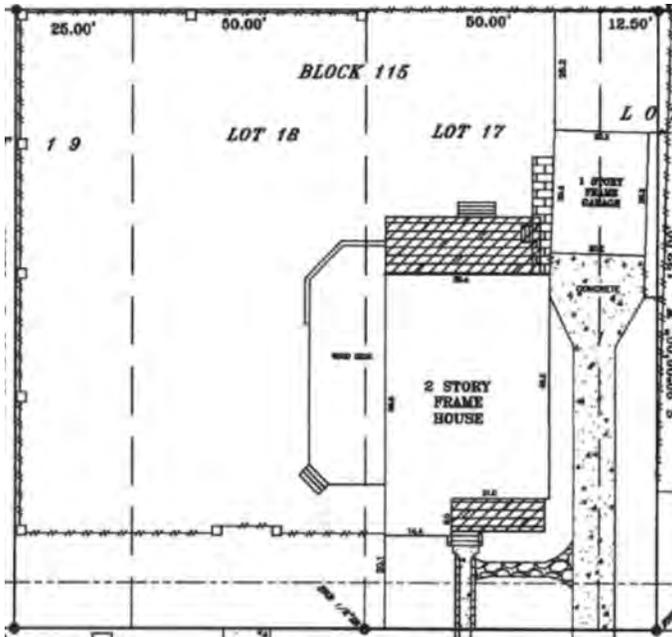


SITE PLAN

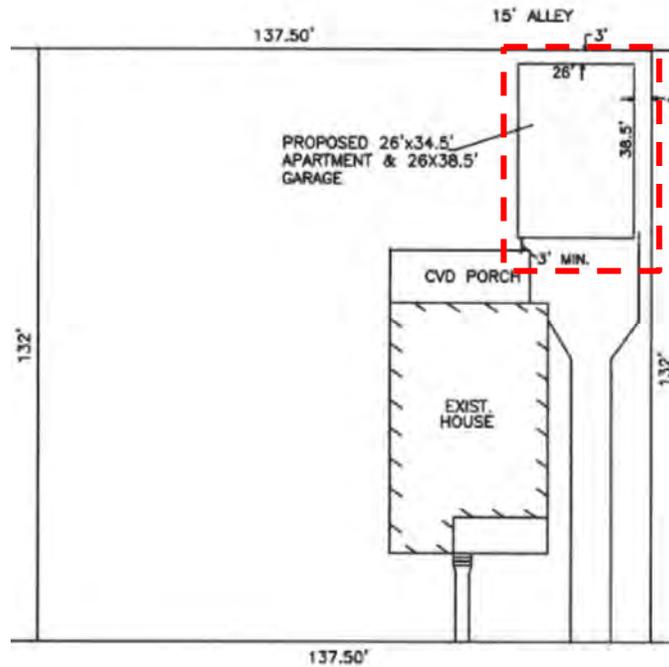


EXISTING

APPROVED 07/22/2015

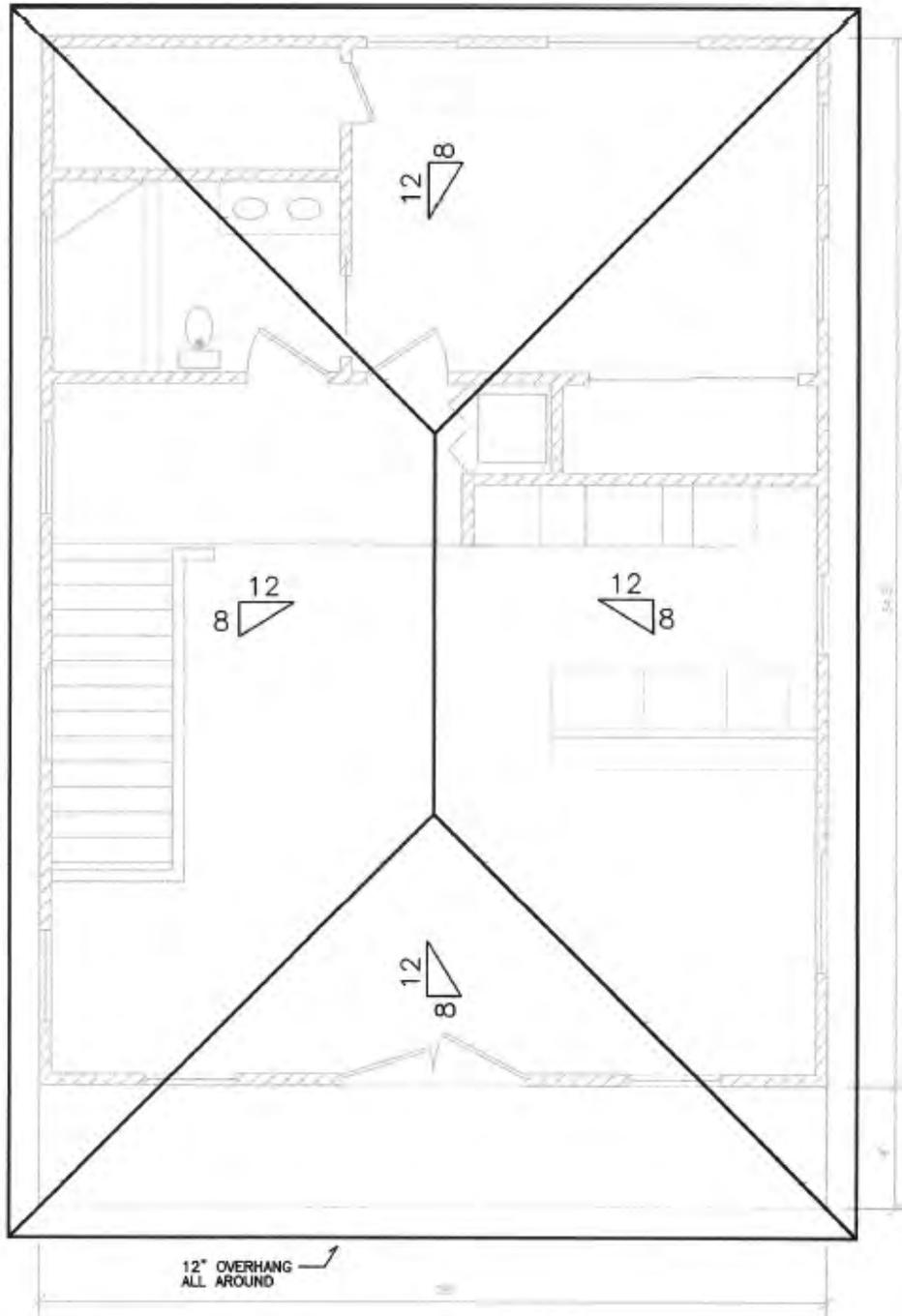


PROPOSED



ROOF PLAN

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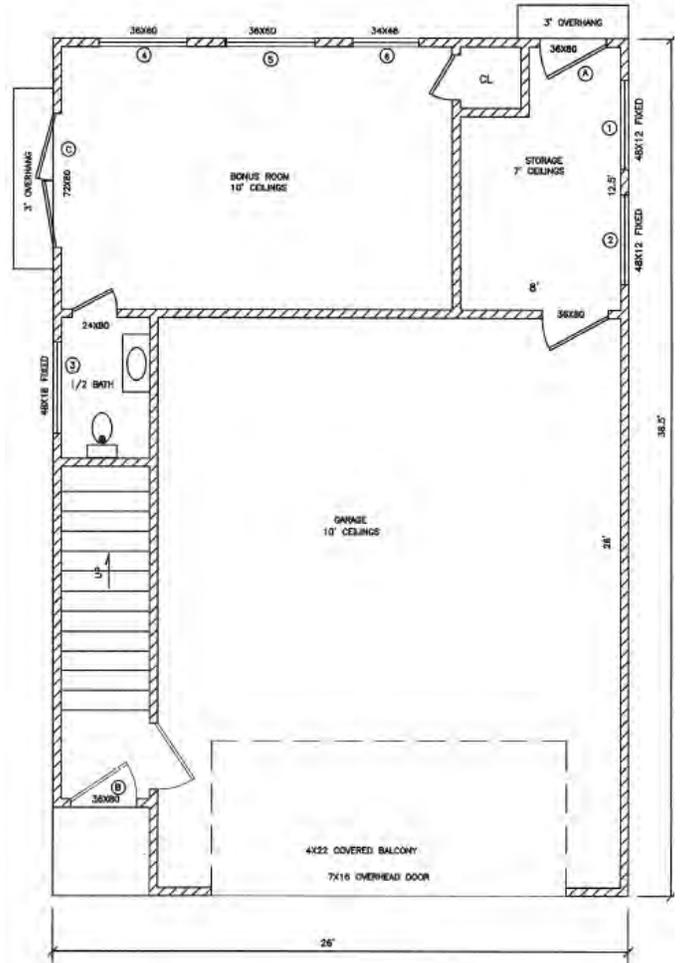
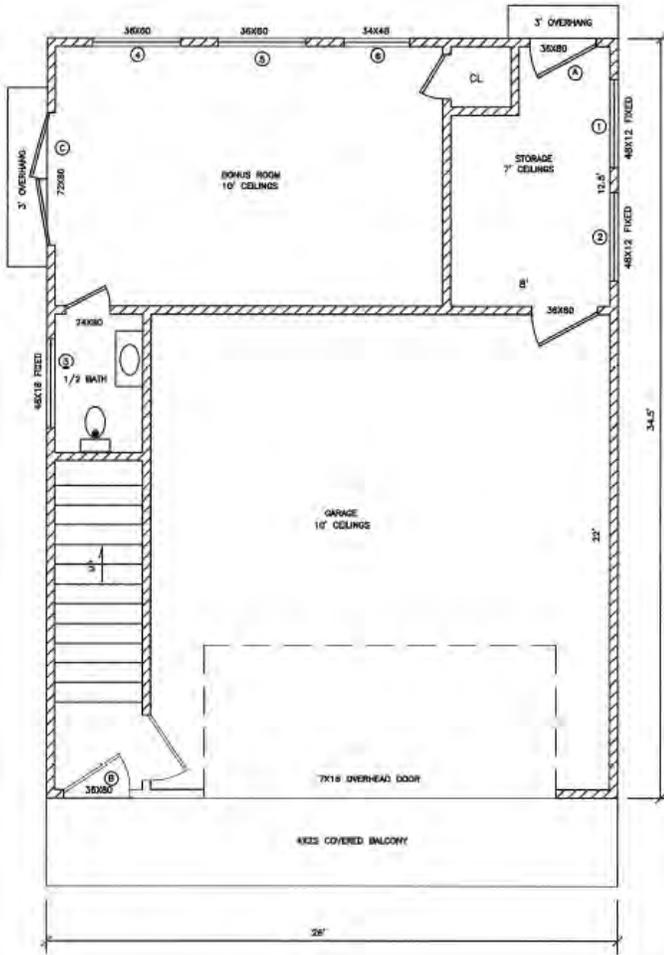


FIRST FLOOR PLAN



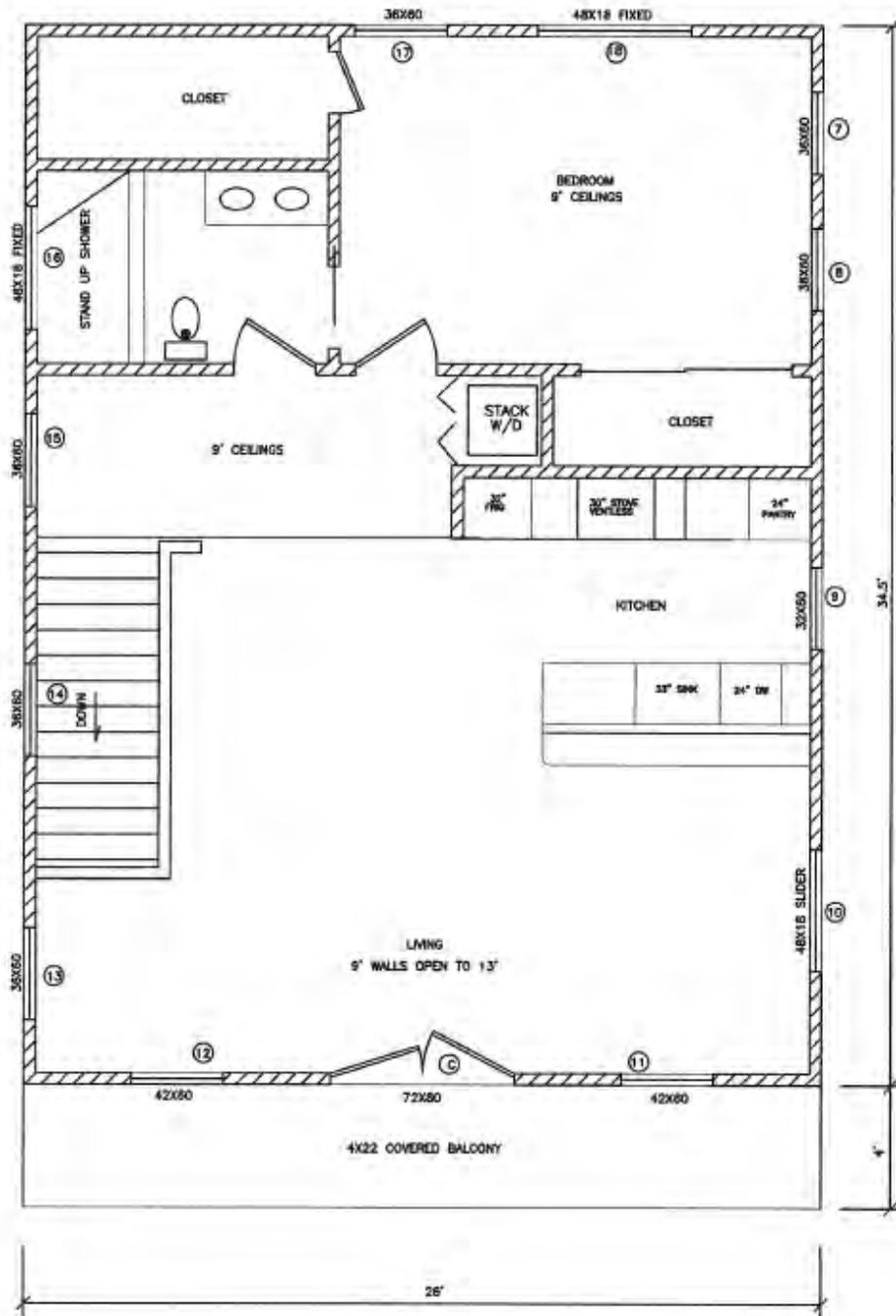
APPROVED 07/22/2015

PROPOSED



SECOND FLOOR PLAN

APPROVED 07/22/2015 / PROPOSED



**WINDOW / DOOR SCHEDULE**

DOOR SCHEDULE

LOCATION	DOOR SIZE	REMARKS
A	36"X80"	FLUSH
B	36"X80"	ONE LITE
C	72"X80"	ONE LITE

WINDOW SCHEDULE

LOCATION	WINDOW SIZE	SILL HEIGHT	REMARKS
1	48"X12"	82"	WOOD FIXED
2	48"X12"	82"	WOOD FIXED
3	48"X18"	89"	WOOD FIXED
4	36"X60"	24"	WOOD DH
5	36"X60"	24"	WOOD DH
6	34"X48"	60"	WOOD DH
7	36"X60"	24"	WOOD DH
8	36"X60"	24"	WOOD DH
9	32"X60"	24"	WOOD SLIDER
10	48"X18"	89'	WOOD SLIDER
11	42"X60"	24"	WOOD DH
12	42"X60"	24"	WOOD DH
13	36"X60"	24"	WOOD DH
14	36"X60"	24"	WOOD DH
15	36"X60"	24"	WOOD DH
16	48"X18"	89"	WOOD FIXED
17	36"X60"	24"	WOOD DH
18	48"X18"	89"	WOOD FIXED

**APPLICANT WRITTEN DESCRIPTION**

THE GARAGE APT WILL BE 1800 SF TOTAL, TWO STORY ON SLAB.  
WOOD ON WINDOWS, ONE LITE METAL DOORS, 6" HARDPLANK.  
AND COMPOSITION SHINGLES. IT WILL HAVE A COVERED WOODEN  
BALCONY IN FRONT PER ELEVATIONS.

### PROJECT DETAILS

**Shape/Mass:** The first floor of the garage measures 26' wide by 38.5' deep with a 4' deep indentation at the door. The second floor measures 34.5' by 26' wide with a 4' deep balcony. The structure is 29' tall.

**Setbacks:** The garage is setback approximately 91' from the front, 4' from the south (side) and 3' from the rear.

**Foundation:** The garage will have a slab foundation.

**Windows/Doors:** The garage will contain wood, double-hung, slider and fixed windows and metal single-lite doors and a sectional garage door.

**Exterior Materials:** The garage will be clad in 6" cementitious lap siding.

**Roof:** The roof is hipped and measures 29' to the ridge, 20' to the eave with a 12" overhang and has an 8-over-12 pitch.

**Front Elevation:** This elevation contains a single-lite pedestrian and a sectional garage door on the first floor, and **(West)** two 1-over-1 windows and a pair of double doors on the second floor behind the balcony.

**Side Elevation:** This elevation contains two fixed windows on the first floor and three 1-over-1 windows and a **(South)** slider window on the second floor.

**Side Elevation:** This elevation contains a fixed window and a pair of double doors on the first floor that have a shed-roof cover measuring 3' deep and three 1-over-1 windows and a fixed window on the **(North)** second floor.

**Rear Elevation:** Not visible from public right-of-way. Please see elevations for details. **(East)**

ATTACHMENT A  
PUBLIC COMMENT

From: Kent Marsh  
 To: DuCroz, Diana - PD  
 Cc:  
 Subject: Fwd: October 2015 HAHC Houston Heights East Historic District Certificates of Appropriateness Applications

Sent: Tue 10/20/2015 6:42 PM

From the HHEHDDRC. Kent Marsh

*Sent from my Verizon Wireless 4G LTE DROID*

----- Original Message -----  
 Subject: Re: October 2015 HAHC Houston Heights East Historic District Certificates of Appropriateness Applications  
 From: "Mark R. Williamson"  
 To: Kent Marsh < >  
 CC:

Kent,

On Oct 19, 2015, at 11:23 AM, Kent Marsh < > wrote:  
 The Staff reports are on the Historic Preservation website. If you wish to comment to the DRC, please do so no later than 12 noon tomorrow. Thanks for your continued support.

Based on a brief scan:

420 E 20th - no objection

1141 Harvard - object - addition too massive (not sure staff's suggestion about moving the garage back helps)

1245 Cortlandt - some concern - addition suitably modest, but still looms large in dead-on front view; wish we had perspective views from street level

1515 Oxford (no staff report?) - concern - too massive for location

**1616 Cortlandt garage revision - support revision**

—Mark

From: Kent Marsh  
 To: DuCroz, Diana - PD  
 Cc:  
 Subject: October 2015 HAHC Houston Heights East Historic District Certificates of Appropriateness Applications

Sent: Mon 10/19/2015 10:53 AM

The following are my comments regarding input from a homeowner within the HHEHD:

420 E. 20<sup>th</sup> St – SUPPORT – Recommend a minimum 5 foot wide sidewalk on Columbia Street

1141 Harvard – OBJECT – The visual massing of the proposed addition reduces the visual significance of the existing historic structure to a secondary visual element and is not in context with the visual importance of the mass of existing historic structures within the HHEHD. The existing windows in the historic structure should remain. The proposed addition should be re-configured to the rear of the property and a "hyphen" connector with the existing historic structure should be considered.

1245 Cortlandt St. – OBJECT – The change in relative massing between the existing structure and the proposed addition is not compatible with the existing historic character of the HHEHD. The encroachment into the existing historic structure is not essential and should be eliminated. Additional room on the site for structural differentiation between the existing structure and the proposed addition is available and should be used to provide the correct context for the perceived scale/massing of this corner lot. There is no need for existing historic material to be removed from the existing historic structure.

1515 Oxford – OBJECT – There are many elements in the proposed design that are not typical within the HHEHD. These include: antique brick, 9 lite over single lite windows, faux window shutters, multiple square windows, brick foundation surround, and brick walls on the first floor of a two story structure. These proposed elements should not be introduced into the existing visual context of the historic district as continued inclusion will dilute the historic character of the District. New construction design should be compatible with elements found in the historic district. The proposed building volume to land surface ratio exceeds 55% which is significantly greater than the typical ratio found within the HHEHD.

**1616 Cortlandt - SUPPORT**

J. Kent Marsh, AICP CUD  
 Vice President

**marshdarcy**  
 PARTNERS

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