

CERTIFICATE OF APPROPRIATENESS

Application Date: March 1, 2017

Applicant: Stacianne Wilson, owner

Property: 919 West Melwood Street, Lot 14, Block 204, East Norhill Subdivision. The property includes a historic 1,016 square foot one-story wood frame single family residence and detached garage situated on a 5,200 square foot (50' x 104') interior lot.

Significance: Contributing Bungalow residence, constructed circa 1925, located in the Norhill Historic District.

Proposal: Alteration – Addition.

Construct a one-story 500 square foot addition at the rear of the original house. A 68 square foot non-original addition will be removed. The proposed addition will:

- Be inset 6" on the west and a 1'-0 3/4" on the east
• Have a width of 28'-7", a depth of 17'-6 1/2", and a ridge height of 18'-11 1/4" to match existing

The existing jalousie window on the west elevation will be replaced with two new 1-over-1 double-hung wood windows. The installation of these windows will require the enlargement of the original opening.

A single horizontally oriented window will be installed on the east elevation between the two pairs of original openings.

See project details on p. 4-14 and application materials in Attachment A.

Public Comment: No public comment received.

Civic Association: No comment received.

Recommendation: Approval with conditions: Replacement of the non-original window on the west elevation is appropriate but the new window should fit into the existing opening so that the opening and trim are left unaltered. On the east elevation, if evidence is uncovered of an original window location, a new window should be installed in the original opening and the new window should match the smaller 1-over-1 double-hung windows located in other locations of the house.

HAHC Action: Approved with Conditions: Replacement of the non-original window on the west elevation is appropriate but the new window should fit into the existing opening so that the opening and trim are left unaltered. On the east elevation, if evidence is uncovered of an original window location, a new window should be installed in the original opening and the new window should match the smaller 1-over-1 double-hung windows located in other locations of the house.

All materials in exterior walls, including windows, siding, framing lumber, and interior shiplap must be retained except where removal or replacement has been explicitly approved by HAHC. Shiplap is an integral structural component of the exterior wall assembly in balloon framed structures and its removal can cause torqueing, twisting and collapse of exterior walls. Shiplap may be carefully shored and removed in small portions to insulate, run wire or plumbing, and should be replaced when the work is complete. Maintenance and minor in-kind repairs of exterior materials may be undertaken without HAHC approval, but if extensive damage of any exterior wall element is encountered during construction, contact staff before removing or replacing the materials. A revised COA may be required.

CERTIFICATE OF APPROPRIATENESS

Basis for Issuance: HAHC Approval
Effective: March 23, 2017



PLANNING & DEVELOPMENT DEPARTMENT

COA valid for two years from effective date. COA is in addition to any other permits or approvals required by municipal, state and federal law. Permit plans must be stamped by Planning & Development Department for COA compliance prior to submitting for building or sign permits. Any revisions to the approved project scope may require a new COA.

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

- | S | D | NA | |
|-------------------------------------|-------------------------------------|--------------------------|--|
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | (1) The proposed activity must retain and preserve the historical character of the property; <i>Expanding the single window opening on the west elevation as well as creating a new window opening on the east elevation will alter the historical character of the property by altering the original fenestration pattern.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (2) The proposed activity must contribute to the continued availability of the property for a contemporary use; |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | (3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance; <i>The installation of a horizontally oriented fixed window is a characteristic of a more contemporary structure and not a 1920s bungalow. Staff believes that a window may have originally been installed in this location, but if a new window is to be installed it should match the smaller 1-over-1 double-hung windows located in other locations of the house. This would be more compatible with the age of this structure.</i> |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | (4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment; <i>Alteration of the single small window opening on the west elevation to a pair of windows does not preserve the distinguishing character of the existing building since it alters the original fenestration pattern and leads to the destruction of historic trim and siding material. The non-original window may be replaced but the new window should fit into the existing opening so that the opening and trim are left unaltered. Any new window on the original portion of the house should be 1-over-1 inset and recessed to match the other original windows.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale; |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | (7) The proposed replacement of missing exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures; <i>The installation of a horizontally oriented fixed window is a characteristic of a more contemporary structure and not a 1920s bungalow. Staff believes that a window may have originally been installed in this location, but if a new window is to be installed it should match the smaller 1-over-1 double-hung windows located in other locations of the house. This would be more compatible with the age of this structure.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site; |

- (9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements;
Expanding the single window opening on the west elevation as well as creating a new window opening on the east elevation will destroy original siding and trim material. Replacing the non-original window on the west elevation may be replaced but the new window should fit into the existing opening so that the opening and trim are left unaltered. On the east elevation, if evidence is uncovered of an original window location, a new window should be installed in the original opening and the new window should match the smaller 1-over-1 double-hung windows located in other locations of the house.

- (10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and

- (11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.



PROPERTY LOCATION
NORHILL HISTORIC DISTRICT



919 W. Melwood

Building Classification

- Contributing
- Non-Contributing
- Park

INVENTORY PHOTO



CURRENT PHOTO



SOUTH ELEVATION – FRONT FACING WEST MELWOOD STREET

EXISTING



PROPOSED

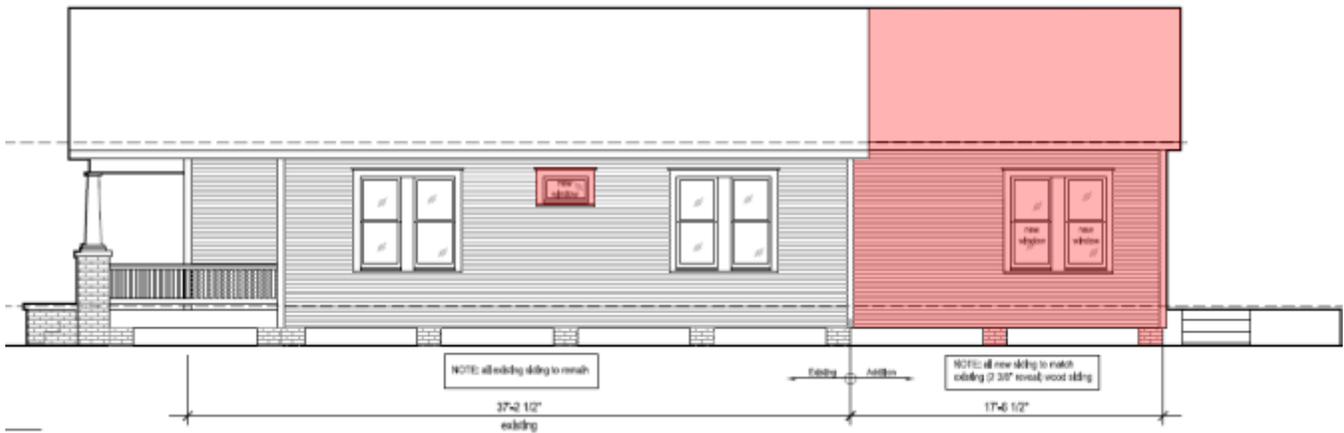


EAST SIDE ELEVATION

EXISTING

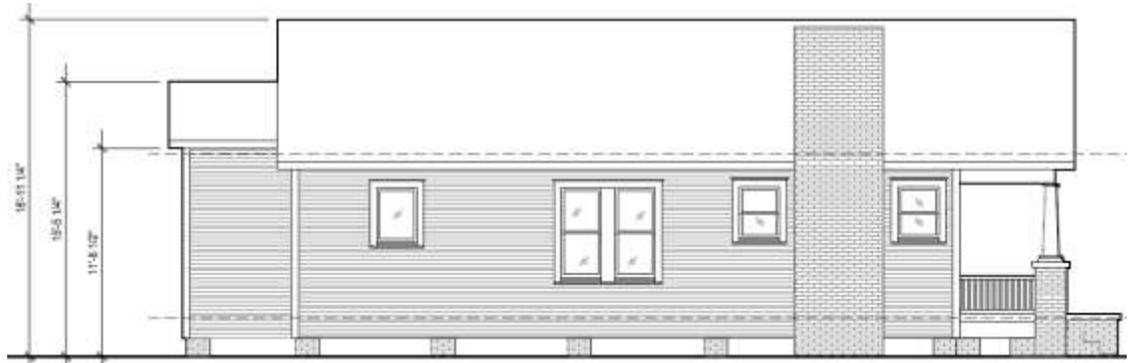


PROPOSED



WEST SIDE ELEVATION

EXISTING



PROPOSED

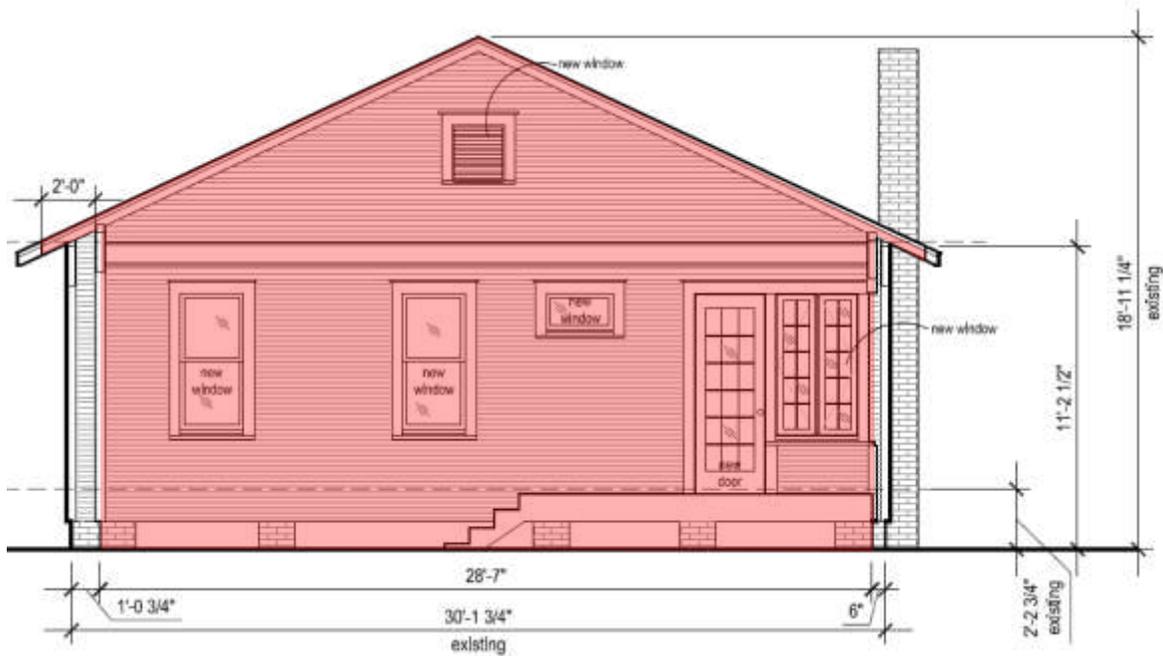


NORTH (REAR) ELEVATION

EXISTING

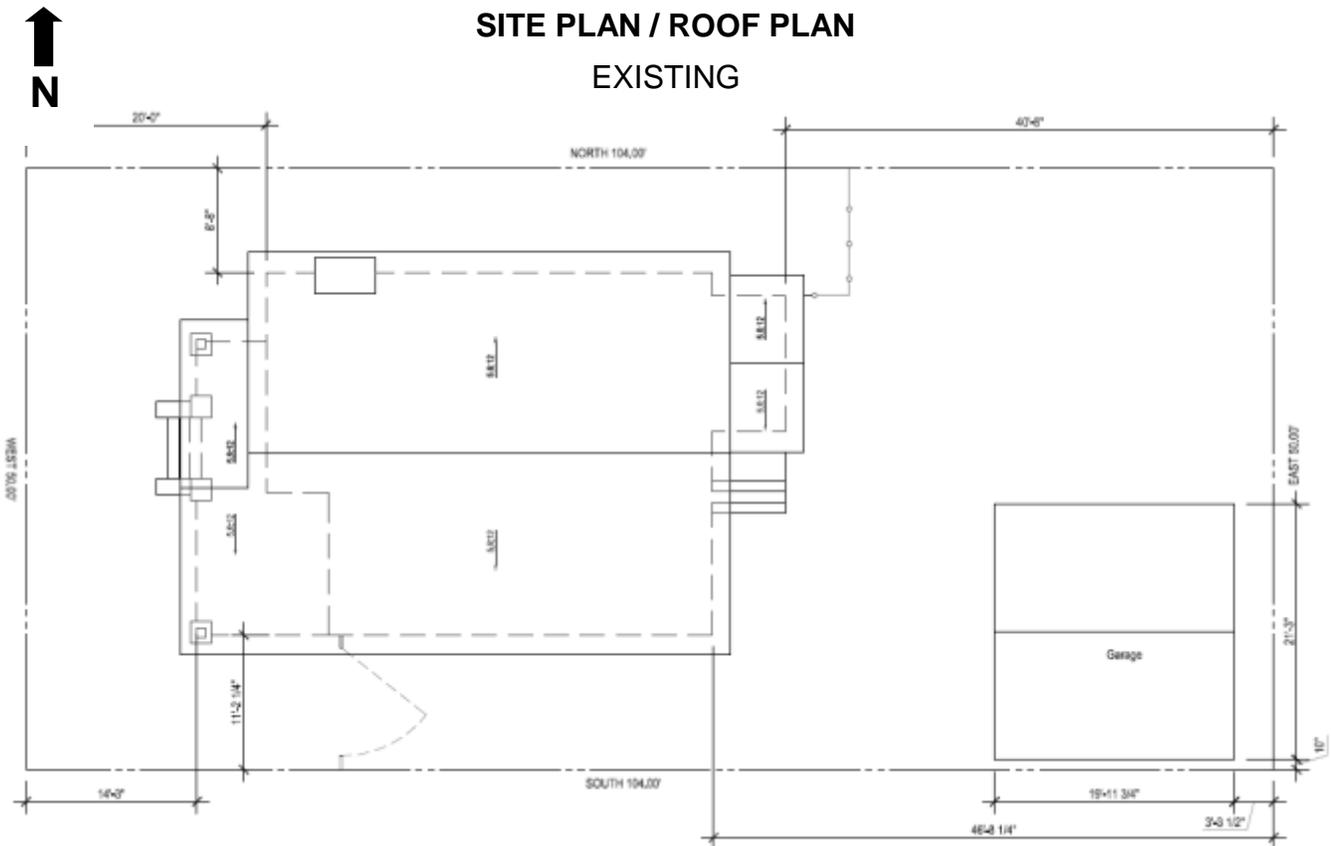


PROPOSED

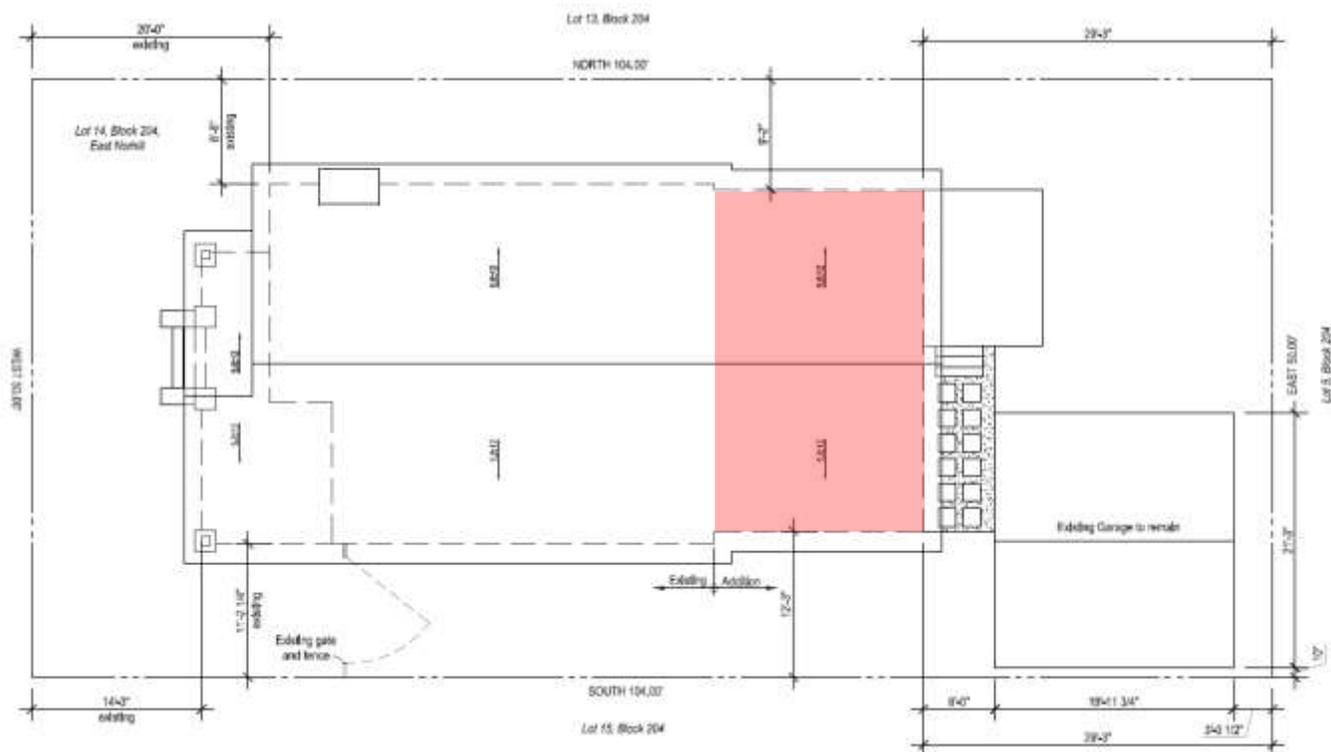


SITE PLAN / ROOF PLAN

EXISTING



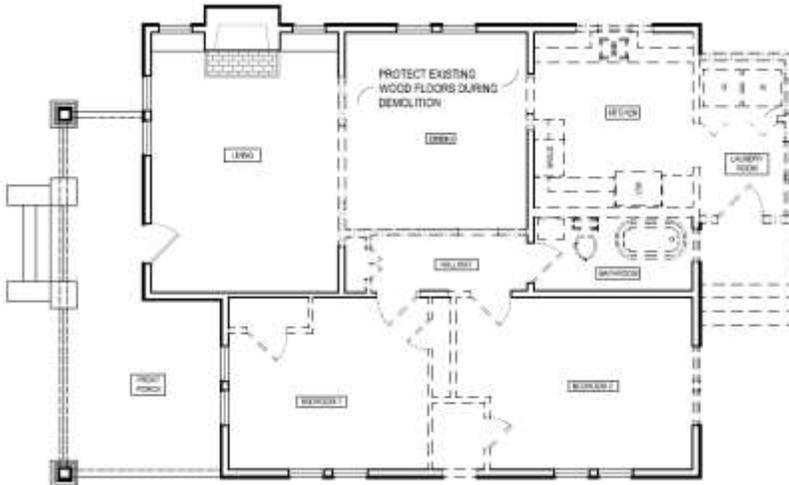
PROPOSED



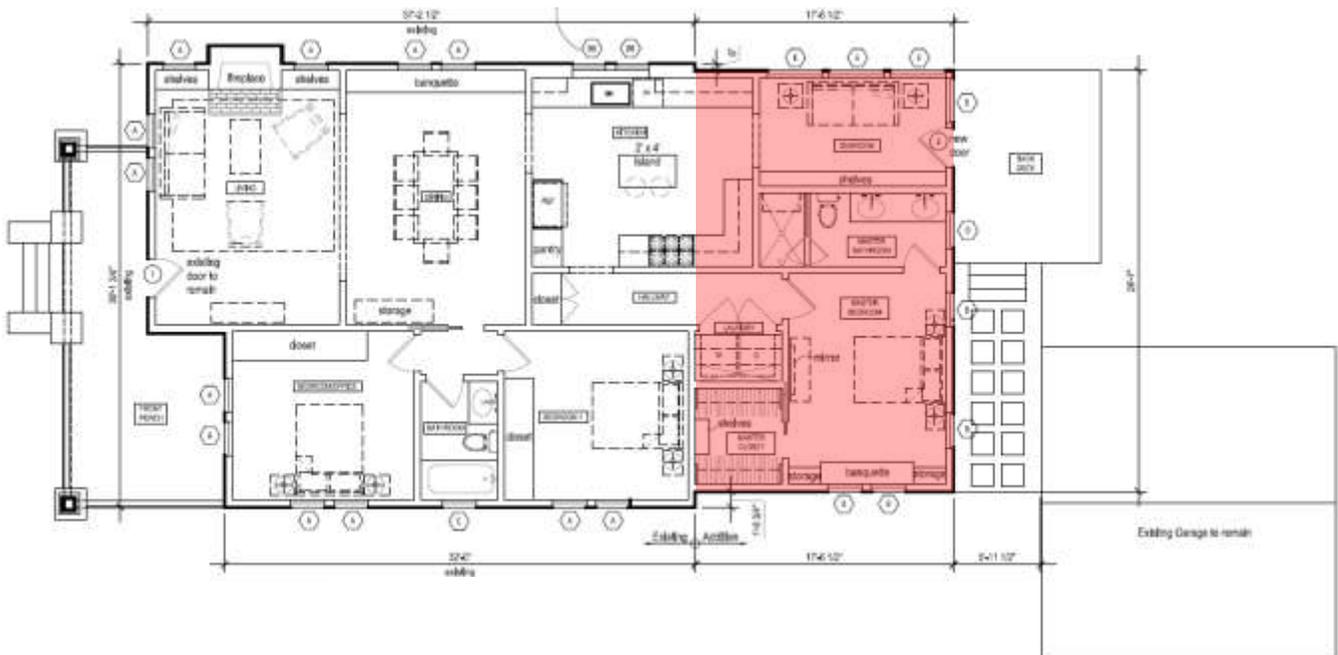


FIRST FLOOR PLAN

EXISTING



PROPOSED



WINDOW / DOOR SCHEDULE

| SYMBOL | QUANTITY | LOCATION | TYPE | WIDTH | HEIGHT | Top of sill, A.F.F. | NOTES |
|--------|----------|------------------|-----------------------|-----------|--------|---------------------|--|
| A | 5 | Various | Double Hung, Existing | 2'-3 3/8" | 5'-1" | 2'-2" | Existing to remain |
| B | 4 | Master Bedroom | Double Hung, New | 2'-3 3/8" | 5'-1" | 2'-2" | Windows inset and recessed |
| BB | 2 | Kitchen | Double Hung, New | 2'-3 3/8" | 3'-0" | 4'-2" | Windows inset and recessed |
| C | 1 | Hallway Bathroom | Fixed | 2'-6" | 1'-4" | 5'-11" | Clerestory windows; inset and recessed |
| D | 3 | Master Bathroom | Fixed | 2'-6" | 1'-4" | 5'-11" | Clerestory windows; inset and recessed |
| E | 4 | Sunroom | Double Casement | 3'-9" | 5'-1" | 2'-2" | Jeld-wen, site line series, with simulated divided lites, clad exterior, wood interior |
| 1 | 1 | Front Door | Single; swinging | | | | Existing to remain |
| 2 | 1 | Back Door | Single; swinging | 2'-8" | 6'-8" | | With single light |

WINDOW AND DOOR SCHEDULE

Wilson Residence, 919 West Melwood, Houston, TX 77009

March 6, 2017

- Notes:
1. All new windows are Jeld-Wen Tradition Plus All Wood Double Hung Units, unless noted otherwise with 1 over 1 lights
 2. All dimensions are from inside face of window trim to inside face of window trim.
 3. Rough opening to be determined per manufacturer
 4. Verify all dimensions with designer prior to placing window order

Divided Lites



Grilles Between the Glass (GBG)



Full-Surround (FS) and Knocked-Down (KD) Removable Wood Grilles



Simulated Divided Lites (SDL)

WEST ELEVATION PHOTO



EAST ELEVATION PHOTOS



PROJECT DETAILS

Shape/Mass: The existing 1,016 square foot house has a width of 30'-1 $\frac{3}{4}$ ", a depth of 43'-3", and a ridge height of 18'-11 $\frac{1}{4}$ ". This includes a 68 square foot 11'-4" wide by 5'-7 $\frac{1}{2}$ " addition at the rear of the house. The existing addition is inset 1'-10 $\frac{3}{4}$ ". The existing garage is to remain and will not be altered.

The existing addition will be removed and a new addition will be constructed with a 6" inset on the west and a 1'-0 $\frac{3}{4}$ " inset on the east. The proposed 501 square foot addition will be 28'-7" wide and 17'-6 $\frac{1}{2}$ " deep with a ridge height of 18'-11 $\frac{1}{4}$ " to match existing. See drawings for more detail.

Setbacks: The existing house has a front (south) setback of 14'-3"; an east side setback of 11'-2 $\frac{1}{4}$ "; a west side setback of 8'-8"; and a rear (north) setback of 40'-8".

The proposed addition will be constructed at the rear of the original existing house and will have an east side setback of 12'-3"; a west side setback of 9'-9"; and a rear (north) setback of 29'-3". See drawings for more detail.

Foundation: The existing house has a pier and beam foundation with a finished floor height of 2'-2 $\frac{3}{4}$ ".

The proposed addition will have a pier and beam foundation with a finished floor of 2'-2 $\frac{3}{4}$ " to match existing. See drawings for more detail.

Windows/Doors: The existing house has original 1-over-1 double-hung wood windows with a single jalousie window on the west elevation installed in an original opening. All existing original windows and the front door will be retained.

The existing jalousie window will be replaced with two new 1-over-1 double-hung wood windows. The installation of these windows will require the enlargement of the original opening. Additionally, a single horizontally oriented window will be installed on the east elevation between the two pairs of original openings. The addition will have 1-over-1 double-hung wood windows and double casement wood windows. All new windows will be recessed and the casement windows will feature exterior muntins. See drawings and window/door schedule for more detail.

Exterior Materials: The existing house features 117 wood siding. The existing siding will be retained.

The proposed addition will feature new 117 wood siding to match the original house. See drawings for more detail.

Roof: The existing house features a composition shingle gable roof with a pitch of 5.6:12 and eave height 10'-11 $\frac{1}{2}$ ".

The proposed addition will have a composition shingle gable roof with a pitch of 5.6:12 and eave height 11'-0 $\frac{1}{4}$ ". See drawings for more detail.